

From: [Dana-Lynn](#)
To: [Tracy City Council](#)
Subject: Please construct the Aquatic Center
Date: Sunday, September 4, 2022 9:36:45 AM

Elected officials,

Our family wants you to move forward with the plans to construct the Aquatic Center as approved by the community and council!

Dana-Lynn Galvin



From: [Matt Jensen](#)
To: [Tracy City Council](#)
Subject: Quick note about the Tracy Aquatic Center
Date: Tuesday, September 6, 2022 12:58:05 PM

Dear Honorable Mayor and City Council Members,

Please don't rescind the plan for the aquatic park. We specifically purchased our home in Ellis, to be near the water park, and know many, many other people who did the same. There are so many important things a water park will add to the community, and to the city as a whole – but I don't want to get into all that, since I'm sure many other people emailed you.

Instead, I'd like to say: Tracy has a history and reputation for incompetence and lack of follow-through. The other cities nearby – Manteca, Lathrop, Livermore, Dublin – even STOCKTON, of all places. They all make fun of us, and of the city of Tracy's inability to push important projects forward. They say, "It's been over 20 years Tracy has been trying to get a water park off the ground". They mock, "They can't keep any of their city's businesses open". They harangue us with insults about the downtown area being a sterile no-mans-land. They call us out for not even being able to successfully widen Corral Hollow, one of the city's main thoroughfares. They laugh at us for all of the restaurants opening here being hamburgers-only. Stockton, Manteca and Livermore all joke about how we don't even have a Chick-Fil-A.

There is zero night life, zero culture, zero fun things to do in Tracy – and anything actually-good inevitably goes out of business. It's a city where commuters go to live their miserable lives unentertained and pass away peacefully in their sleep at 80. It's an apocalyptic wasteland, if the apocalypse came in the form of everyone being extremely bored all the time – and no one in power seems to want to change any of those predisposed views about our people-dense, but culturally-vacuous town.

So, I'm asking – I'm begging, actually – please stop letting all the other cities make fun of us. Please step up (for once) and save this water park from the circular file where all our dreams go to die. Please show the Bay Area that we deserve to be absorbed into its culture-packed arms, rather than just turn us into a concrete jungle of apathy. Because you've already paved over all the farm land. We might as well get some property value out of it.

Thanks!

From: [Melanie Del Rosario](#)
To: [Tracy City Council](#)
Subject: Move forward with Tracy Aquatic Center
Date: Saturday, September 3, 2022 1:49:27 PM

Hello,

As a family of 4, we strongly advise you to move forward with the Aquatic Center.

Thank you,

Melanie Del Rosario

Public Comment - Agenda Item 3.C

A copy of the same email was received by the following 30 people:

Aman Parvee, Sekhon, Mybnw Msix, Barbara Pinto-Choate, Prissila Avelar, Rahul Reddy, Siddu Rati, Vamsi Punyamurtula, Donna Hanson, Adam Cooper, KK Khan, James Reyes, Torria Harris, Judi Forth, Rose Aranda, C Friday, Rama Rao Kasinadhuni, Marjori Elizaga, Adya Rout, Catherine Sena, Joseph Sena, Joe Tulabing, Jackie Sioson, Vener Llacuna, Srikanth Kyatham, Maricris Oana, Vidya Sagar Reddy Gopala, Armie Llacuna, Phraveen,

Dear Honorable Mayor and City Council Members,

I am writing to express my support for keeping the current Tracy Aquatic Center Concept Plan moving forward. Revoking the Concept Plan will set the project back by years! Our community has waited 20+ years for a water park that reflects the community's needs and input and has sufficient funding. Please do what is right for the community and move the current Concept Plan forward to construction.

Thank you.

Sent from my iPhone

Public Comment – Agenda Item 3C

A copy of the same email was received by the following 47 people:

Narendra Singh Parmar, Vijaykumar Nagarajan, Teresa & Lam, Lam Votran, Opto Job, Gaurav Saikia, Parveen Singh, Madhuri Palakurthi, Sidhima Seth, Aakash Jacob, Chacko Abraham, Jessy Abraham, Diana Martinez, Prasanthi Karuturi, Surinder Soni, Jason Arias, Arzoo Parveen, Parveen, Cynthia Gulick, Maricris Oana, Sean Donahue, Shamiladnarayan, Bhavna Mathur, Tracy Guintu, Jenah Cabanajenahc, Christina Siller, Samirah Javed, Curtis and Marshetta Nelson, Shailaja Veeraraghavalu, Luis Chavez, Preetha R., Anu Rajkumari, Alam Monsur, Vaishali Samant, Hytham Abou Youssef, Anna Tado, Srikanth Kyatham, Manish Ladani, Hemal Gandhi, Digna Gandhi, Babbu Baria, Sanjana Baria, Lakshmi Praveena, Jessica Mazur, Vidya Sagar Reddy, Vidya Sagar Reddy Gopala, Taral Chhatbar

Dear Honorable Mayor and City Council Members,

Thank you for supporting the Tracy Aquatic Center's funding! Your support in moving the project forward on a much faster timeline is much appreciated. We are grateful for your commitment in bringing the Aquatic Center to our community, and we look forward to continuing to work with you as the process continues.

Thank you.

From: Vijaykumar Nagarajan <[REDACTED]>
Sent: Friday, September 2, 2022 7:14 PM
To: Tracy City Council <tracycitycouncil@cityoftracy.org>
Subject: Thank you for funding the Tracy Aquatic Center

Dear Honorable Mayor and City Council Members,

Thank you for supporting the Tracy Aquatic Center's funding! Your support in moving the project forward on a much faster timeline is much appreciated. We are grateful for your commitment in bringing the Aquatic Center to our community, and we look forward to continuing to work with you as the process continues.

Thank you.

From: Megan Souza <[REDACTED]>
Sent: Tuesday, September 6, 2022 4:34 PM
To: Kimberly Matlock <Kimberly.Matlock@cityoftracy.org>; Tracy City Council <tracycitycouncil@cityoftracy.org>; Planning Admin <PlanningAdmin@cityoftracy.org>; Kellie Jones <Kellie.Jones@cityoftracy.org>
Cc: Dotty Nygard <[REDACTED]>
Subject: MOM TR LLC - CUP

Hello Kimberly,

After listening to community feedback during our Planning Commission hearing we are proposing an amendment to our CUP application as seen in the attachment to this email. We are proposing this amendment only if it can be incorporated before the September 14th hearing date so as to not cause additional delays.

The proposed changes include moving the front entrance of the facility from 10th Street to B Street. This approximately doubles the distance between the dance studio front entrance and our project's front entrance, measured by way of the walking path on the sidewalk. It also leads to a visual separation between the uses, meaning the patrons to the dance studio will not be able to see the cannabis retail store from the sidewalk in front of the studio. Further, with the main entrance closer to the parking lot it will incentivize customers to utilize the private lot rather than street parking, further reducing any customer walking traffic in front of the dance studio.

The changes also create two non-cannabis retail spaces at the front of the building, which accomplishes a few things:

- puts additional businesses in between the cannabis retail and dance studio uses
- makes the cannabis retail less "front and center" on that street corner
- reduces the total square footage of the cannabis retail use
- leads to additional economic vitality of the downtown

We believe that these changes make meaningful strides to mitigate the concerns expressed from some of the public. MOM is committed to being a good community steward and this compromise is being made with that mission in mind.

Thank You,

--

Megan Souza
[REDACTED]

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REVISIONS
REV # REV DATE REV DESCRIPTION

SEAL

NOT FOR CONSTRUCTION

PROJECT
 MEGAN'S ORGANIC MARKET CANNABIS DISPENSARY
 104 W. 10TH STREET
 TRACY, CA 95376

CLIENT
 MOM EC LLC dba
 MEGAN'S ORGANIC MARKET

SHEET TITLE
 FIRST FLOOR PLAN

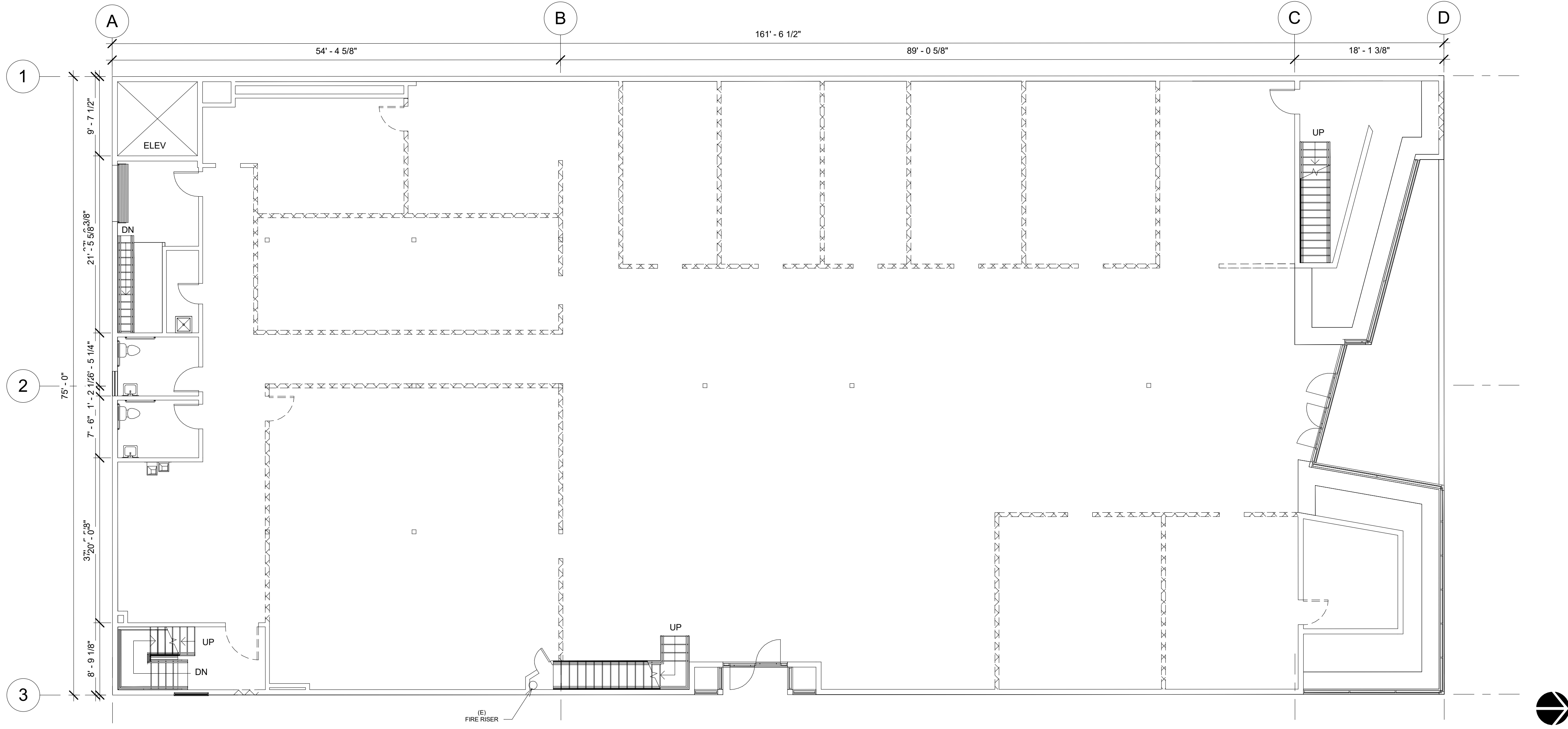
DATE: 12/22/2021

TECHNICIAN: GLW

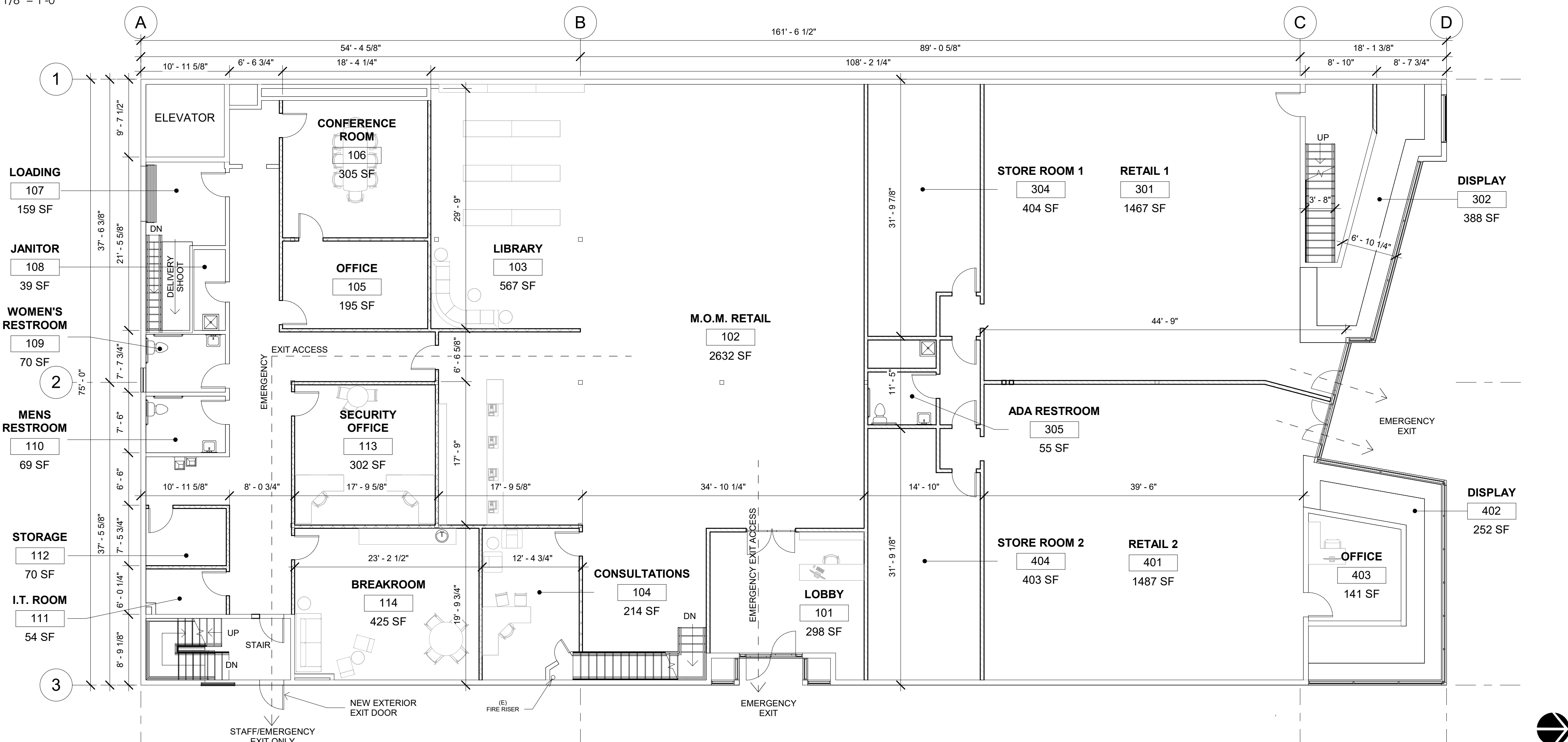
PROJECT MANAGER: ACG

JOB NUMBER: 560
SHEET NUMBER

A2.1



42 DEMO FLOOR PLAN - LEVEL 1
 1/8" = 1'-0"



44 PROPOSED FLOOR PLAN - LEVEL 1
 1/8" = 1'-0"

GENERAL NOTES: FLOOR PLAN

- FURNITURE IN PLAN IS ONLY DIAGRAMMATIC. NOT FOR CONSTRUCTION. CONTRACTOR TO VERIFY FURNITURE W/ OWNER PRIOR TO CONSTRUCTION.
- PROVIDE RATED 2A:10B:C FIRE EXTINGUISHERS SUCH THAT AN EXTINGUISHER IS LOCATED WITHIN A 75-FOOT TRAVEL DISTANCE TO ANY POINT IN THE BUILDING. EXTINGUISHERS SHALL BE MOUNTED ON THE WALL OR IN CABINETS, SUCH THAT THE TOP OF THE EXTINGUISHER IS NO HIGHER THAN 48 INCHES ABOVE THE FLOOR.
- GENERAL CONTRACTOR TO PROVIDE NEW SIGNAGE AS REQUIRED TO COMPLY WITH APPLICABLE BUILDING CODES. ALL SIGNAGE SHALL COMPLY WITH ACCESSIBILITY GUIDELINES, AND CBC INCLUDING BUT NOT LIMITED TO PROPORTION, COLOR, CONTRAST AND RELIEF, FONT STYLE AND GRADE 2 BRAILLE REQUIREMENTS. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER APPLICABLE CODE. RE: A-0.2
- ALL DOOR HARDWARE TO BE FALCON LEVER ACTION.
- ALL WORK SHALL BE IN COMPLIANCE TO LOCAL BUILDING CODES. CONTRACTOR TO SUBMIT ON RFI (REQUEST FOR INFORMATION) TO THE ARCHITECT ON RECORD FOR CLARIFICATION OF CONSTRUCTION METHODS, DETAILS OR SPECIFICATIONS AS NEEDED.

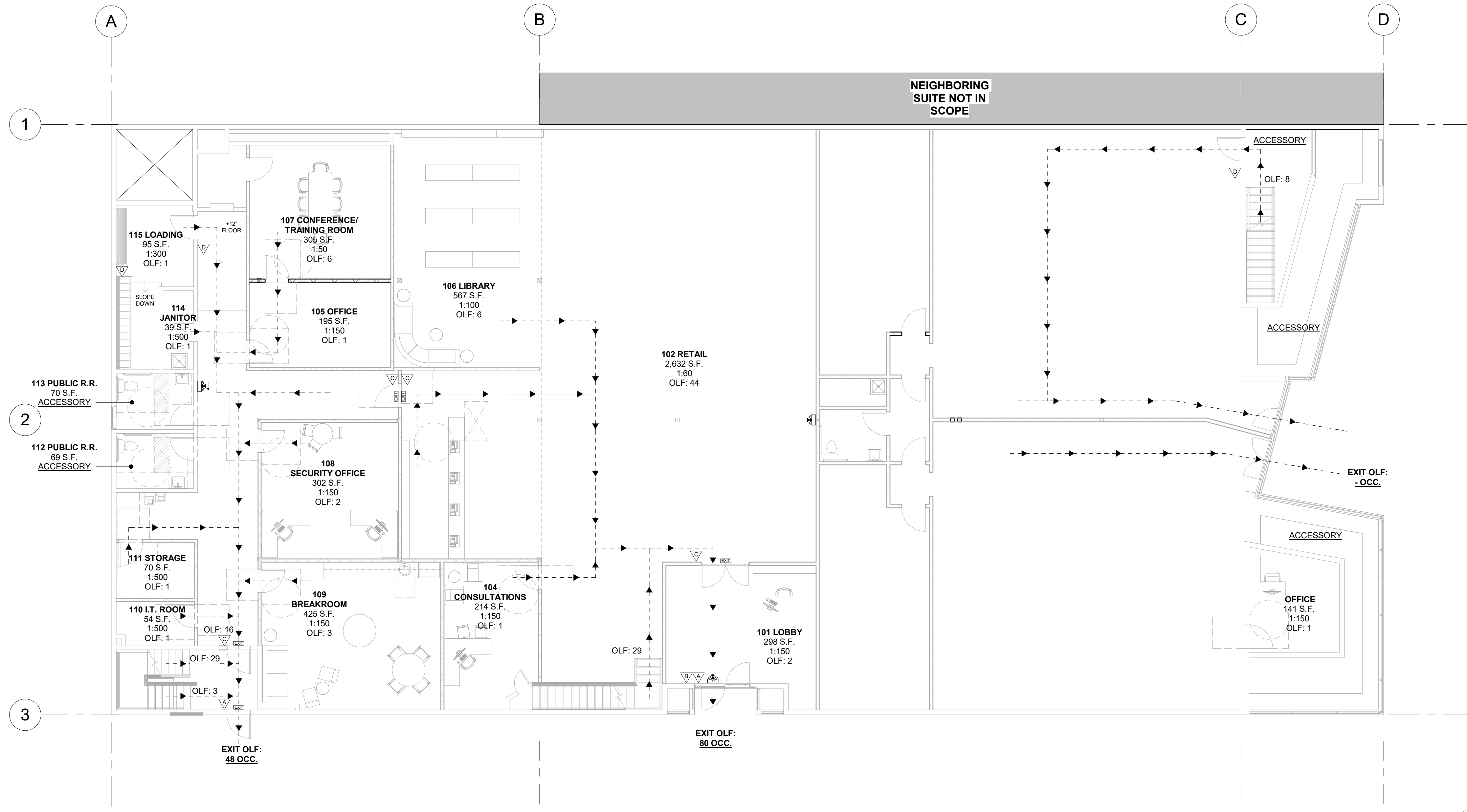
WALL TYPES

	(E) EXT. MASONRY WALL. EXT. FINISH PER ELEVATION.
	(E) INT. WALL TO REMAIN.
	(E) WALL TO BE REMOVED.
	(N) 2X4 D.F. WOOD STUD WALL @ 16" O.C. W/ PLASTER FINISH.

SIGNAGE SCHEDULE						
SIGN	DESCRIPTION	AREA	PICTOGRAM	SIZE (WxH)	MFR. #	REMARKS
A	TACTILE EXIT SIGN	EXIT	-	6"x6"	1	DECAL, 1" HIGH TEXT ON CONTRASTING BACKGROUND. BLACK ON WHITE, OR BLACK ON CLEAR. RE: 44/A5.0
B	ROOM CAPACITY SIGN	MAXIMUM BUILDING OCCUPANTS - "XX PERSONS."	-	8.5"x11"	1	SEE DETAIL 43/A5.0 FOR MORE INFO. POST MAXIMUM OCCUPANT LOAD PERMANENTLY ABOVE OR NEAR FRONT DOOR. ADD OCCUPANCY "XX PERSONS."
C	TACTILE EXIT SIGN	EXIT ROUTE	-	6"x6"	1	DECAL, 1" HIGH TEXT ON CONTRASTING BACKGROUND. BLACK ON WHITE, OR BLACK ON CLEAR. RE: 44/A5.0
D	TACTILE EXIT SIGN	NOT AN EXIT	-	6"x6"	1	DECAL, 1" HIGH TEXT ON CONTRASTING BACKGROUND. BLACK ON WHITE, OR BLACK ON CLEAR. RE: 44/A5.0

- COLOR BLACK BACKGROUND WITH WHITE GRAPHICS, UNLESS NOTED OTHERWISE. CHARACTERS, SYMBOLS, AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH.
- TEXT: CHARACTERS ARE RAISED 1/32", SANS-SERIF UPPERCASE CHARACTERS, 5/8" HIGH MIN., 2" HIGH MAX.
- BRAILLE: SEE CBC 11B-703.3. FOLLOWING NOTES FOR REFERENCE ONLY:
 - TEXT IS ACCOMPANIED BY GRADE 2 BRAILLE
 - DOTS DISTANCE IN THE SAME CELL TO BE .100"
 - DOT BASE DIAMETER TO BE .059" TO .063"
 - DOTS DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS TO BE .300"
 - DOT HEIGHT TO BE .025" TO .037"
 - DOTS SHALL BE DOMED OR ROUNDED
- CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT. BRAILLE SHALL BE PLACED A MINIMUM 3/8" AND A MAXIMUM 1/2" DIRECTLY BELOW THE CHARACTERS; FLUSH LEFT OR CENTERED.
- ADHESIVE FOAM ON BACK.
- MANUFACTURER: EMEDCO OR EQUAL.
- FOR INFORMATION, CONTRACTOR TO COORDINATE WITH OWNER.
- TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MIN. ABOVE THE FINISHED FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND MEASURED FROM THE BASELINE OF THE HIGHEST CHARACTERS. (CBC 11B-703.4.1)
- EXIT SIGNAGE: THE PATH OF TRAVEL TO AND WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF CBC SECTION 1011. EXIT SIGNS SHALL BE READILY VISIBLE FROM THE DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINTS SHALL BE MORE THAN 100 FT. FROM THE NEAREST VISIBLE SIGN.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY: APPLY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY ON OR ADJACENT TO BUILDING ENTRANCE. THE SYMBOL SHALL BE A WHITE FIGURE ON A BLUE BACKGROUND.

41 SIGNAGE SCHEDULE



44 EGRESS PLAN - LEVEL 1
1/8" = 1'-0"

FIRE BLOCKING NOTES

PER CBC 718.2.
718.2.2 CONCEALED WALL SPACES: FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).

718.2.3 CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES: FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY FOR FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.

718.2.5 CEILING AND FLOOR OPENINGS: WHERE REQUIRED BY SECTION 712.1.7, EXCEPTION 1 OF SECTION 714.4.1.2 OR SECTION 714.4.2, FIREBLOCKING OF THE ANNULAR SPACE AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILINGS AND FLOOR LEVELS SHALL BE INSTALLED WITH A MATERIAL SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

718.2.6 EXTERIOR WALL COVERINGS: FIREBLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL COVERINGS AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION AS SPECIFIED IN SECTION 1406 OR WHERE ERECTED WITH COMBUSTIBLE FRAMES. FIREBLOCKING SHALL BE INSTALLED AT MAXIMUM INTERVALS OF 20 FEET (6096 MM) IN EITHER DIMENSION SO THAT THERE WILL BE NO CONCEALED SPACE EXCEEDING 100 SQUARE FEET (9.3 M²) BETWEEN FIREBLOCKING. WHERE WOOD FIRING STRIPS ARE USED, THEY SHALL BE OF APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF NONCONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH AT LEAST 4 INCHES (102 MM) OF SEPARATION BETWEEN SECTIONS.

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REVISIONS

REV # | REV DATE | REV DESCRIPTION

GENERAL LIFE SAFETY NOTES

THESE NOTES ARE FOR THIS SHEET ONLY.

- (N) INTERNALLY ILLUMINATED "EXIT" SIGN ABOVE DOOR.
- PROVIDE TACTILE EXIT SIGNS PER CBC 1011.4 & 11B-703
 - EACH GRADE-LEVEL EXTERIOR DOOR SHALL BE IDENTIFIED BY "EXIT".
 - EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN SHALL BE IDENTIFIED BY "EXIT ROUTE".
- DOOR TO REMAIN LOCKED FROM OUTSIDE. KNOX BOX TO BE INSTALLED FOR FIRE DEPARTMENT. EMPLOYEE ACCESS ONLY OTHERWISE.
- ROOM CAPACITY SIGNAGE TO NOT EXCEED MAXIMUM OCCUPANTS PER SUITE TOTAL IN 34/G0.2.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- ALL EXTERIOR DOORS MUST REMAIN UNLOCKED DURING BUSINESS HOURS PER EGRESS REQUIREMENTS.

GENERAL LIFE SAFETY NOTES

- PROVIDE A MEANS OF EGRESS ILLUMINATION TO BE COMPLIANT WITH 2019 CBC 1025 LUMINOUS EGRESS PATH MARKINGS. THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FT CANDLE AT FLOOR LEVEL. RE: ELECTRICAL DRAWINGS.
- PROVIDE SECURITY SURVEILLANCE CAMERA SYSTEM IN COMPLIANCE WITH REQUIREMENTS IN TRACY MUNICIPAL CODE. PROFESSIONALLY INSTALLED, INCLUDING PANIC BUTTONS, AND SENSORS TO DETECT ENTRY AND EXIT FROM ALL SECURE AREAS. COORDINATE THESE SECURITY FEATURES WITH EGRESS COMPONENTS AND OVERRIDE ANY LOCKS IN THE CASE OF EMERGENCY. RE: SECURITY PLANS.
- PROVIDE EXIT SIGNAGE ON ALL EXIT ACCESS DOORS EVEN IF EXIT SIGNS ARE NOT REQUIRED PER CBC 1013. ILLUMINATED SIGNS ARE REQUIRED. RE: SIGNAGE SCHEDULE NOTES.
- SEE 23/G0.2 AND 34/G0.2 FOR REQUIREMENTS ON EGRESS FLOOR SIZE AND HARDWARE.
- PROVIDE AND MAINTAIN A MINIMUM OF 2 REMOTELY LOCATED MEANS OF EGRESS AT ROUGHLY 1/2 THE LENGTH OF THE OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA SERVED.

LEGEND: CODE PLAN

- # EXIT: CUMULATIVE OCCUPANT LOAD SERVED
- A SIGN: REFER TO SIGNAGE SCHEDULE FOR TYPE AND DESCRIPTION - RE: 34/A0.2
- ← PATH OF TRAVEL (P.O.T.)
- FE FIRE EXTINGUISHER LOCATION
- EGRESS ILLUMINATION LIGHTS, ONE FOOT-CANDLE MIN., W/ 90 MINUTE BATTERY BACKUP.
- ILLUMINATED EMERGENCY EXIT SIGNS, HIGH AND LOW MOUNTED EXIT SIGNS, WALL MOUNT OR CEILING MOUNT TO BE VERIFIED ON SITE.

SEAL

NOT FOR CONSTRUCTION

PROJECT

MEGAN'S ORGANIC MARKET CANNABIS DISPENSARY
104 W. 10TH STREET
TRACY, CA 95376

CLIENT

MOM EC LLC dba
MEGAN'S ORGANIC MARKET

SHEET TITLE

FIRST FLOOR CODE PLAN

DATE: 12/22/2021

TECHNICIAN: AMM

PROJECT MANAGER: ACG

JOB NUMBER: 560

SHEET NUMBER

A2.2

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REVISIONS
REV # REV DATE REV DESCRIPTION
1 03/31/2022 CUP REVIEW #1

SEAL

NOT FOR CONSTRUCTION

PROJECT
 MEGAN'S ORGANIC MARKET CANNABIS DISPENSARY
 104 W. 10TH STREET
 TRACY, CA 95376

CLIENT
 MOM EC LLC dba MEGAN'S ORGANIC MARKET

SHEET TITLE
 SECOND FLOOR PLAN

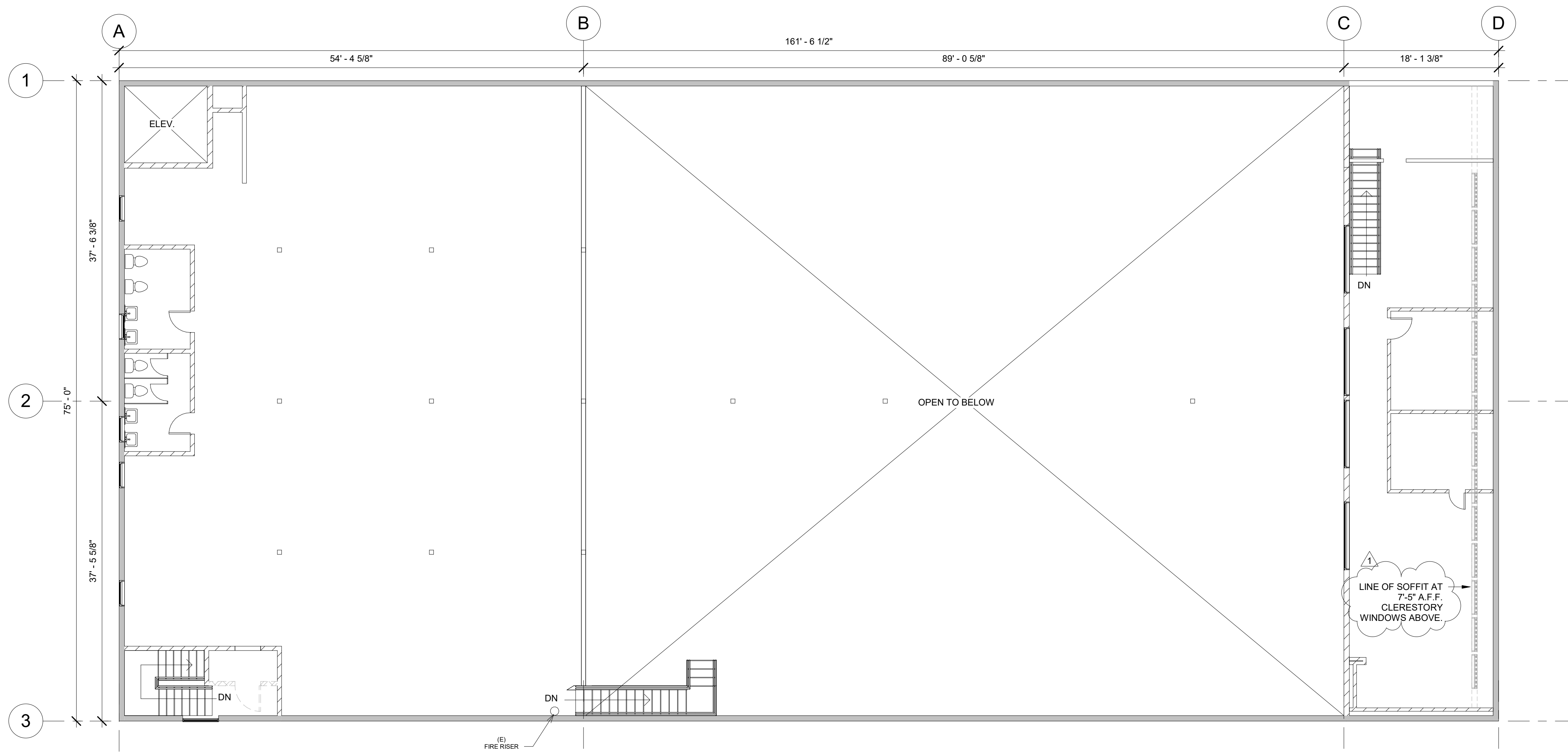
DATE: 12/22/2021

TECHNICIAN: AMM

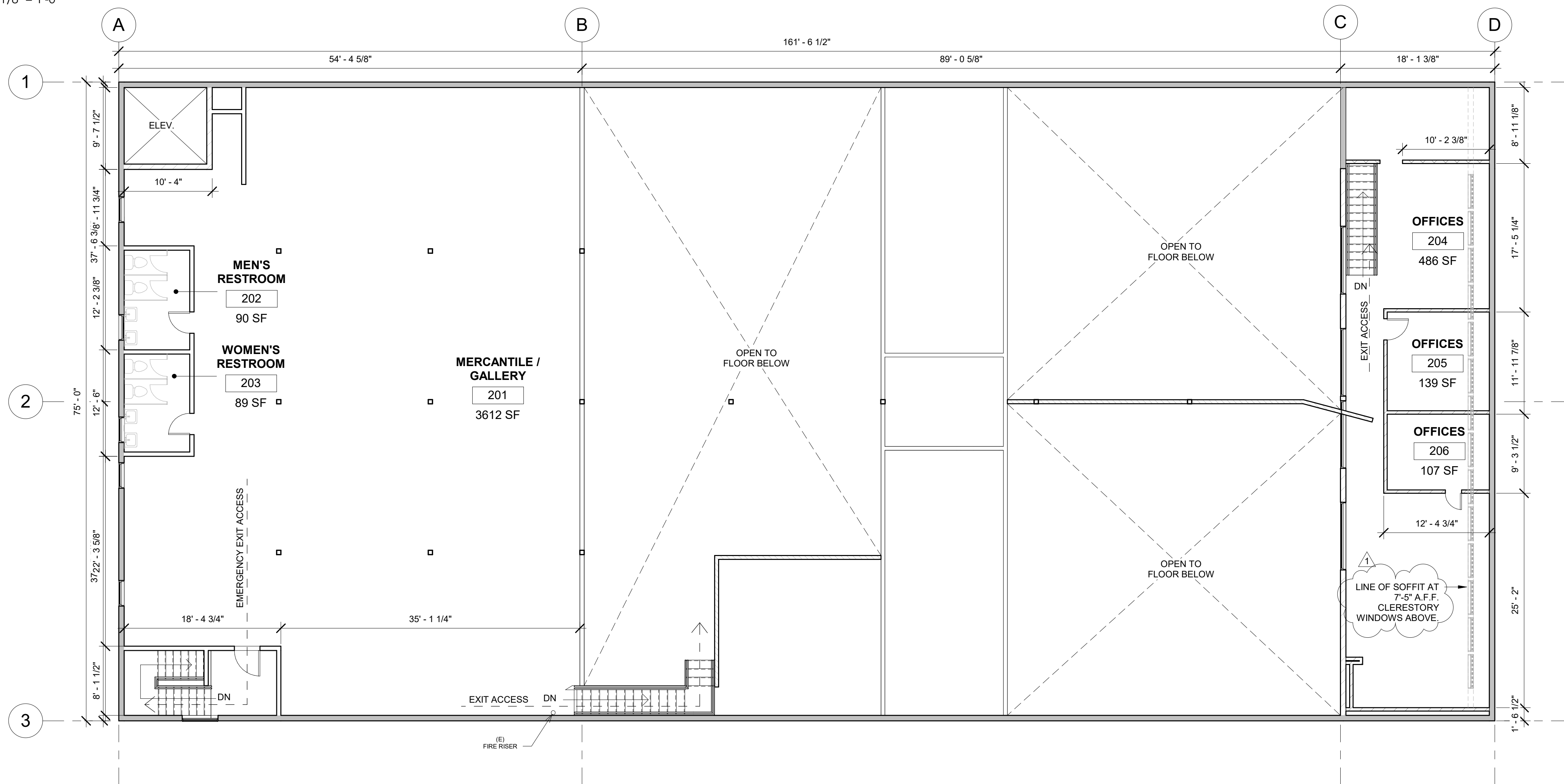
PROJECT MANAGER: ACG

JOB NUMBER: 560
 SHEET NUMBER

A2.3



42 DEMO FLOOR PLAN - LEVEL 2
 1/8" = 1'-0"



44 PROPOSED FLOOR PLAN - LEVEL 2
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WALL TYPES

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	(E) WALL TO BE REMOVED.
	(N) 2x4 D.F. WOOD STUD WALL @ 16" O.C. W/ PLASTER FINISH.

FIRE BLOCKING NOTES

PER CBC 718.2
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GENERAL LIFE SAFETY NOTES

1. PROVIDE A MEANS OF EGRESS ILLUMINATION TO BE COMPLIANT WITH 2019 CBC 1025 LUMINOUS EGRESS PATH MARKINGS. THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FT CANDLE AT FLOOR LEVEL. RE: ELECTRICAL DRAWINGS.

2. PROVIDE SECURITY SURVEILLANCE CAMERA SYSTEM IN COMPLIANCE WITH REQUIREMENTS IN TRACY MUNICIPAL CODE. PROFESSIONALLY INSTALLED, INCLUDING PANIC BUTTONS, AND SENSORS TO DETECT ENTRY AND EXIT FROM ALL SECURE AREAS. COORDINATE THESE SECURITY FEATURES WITH EGRESS COMPONENTS AND OVERRIDE ANY LOCKS IN THE CASE OF EMERGENCY. RE: SECURITY PLANS.

3. PROVIDE EXIT SIGNAGE ON ALL EXIT ACCESS DOORS EVEN IF EXIT SIGNS ARE NOT REQUIRED PER CBC 1013. ILLUMINATED SIGNS ARE REQUIRED. RE: SIGNAGE SCHEDULE NOTES.

4. SEE 23/GO.2 AND 34/GO.2 FOR REQUIREMENTS ON EGRESS DOOR SIZE AND HARDWARE.

5. PROVIDE AND MAINTAIN A MINIMUM OF 2 REMOTELY LOCATED MEANS OF EGRESS AT ROUGHLY 1/2 THE LENGTH OF THE OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA SERVED.

GENERAL LIFE SAFETY NOTES

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2. PROVIDE TACTILE EXIT SIGNS PER CBC 1011.4 & 11B-703
A. EACH GRADE-LEVEL EXTERIOR DOOR SHALL BE IDENTIFIED BY "EXIT"
B. EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN SHALL BE IDENTIFIED BY "EXIT ROUTE".

3. DOOR TO REMAIN LOCKED FROM OUTSIDE. KNOX BOX TO BE INSTALLED FOR FIRE DEPARTMENT. EMPLOYEE ACCESS ONLY OTHERWISE.

4. ROOM CAPACITY SIGNAGE TO NOT EXCEED MAXIMUM OCCUPANTS PER SUITE TOTAL IN 34/GO.2.

5. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE OR EFFORT.

6. ALL EXTERIOR DOORS MUST REMAIN UNLOCKED DURING BUSINESS HOURS PER EGRESS REQUIREMENTS.

LEGEND: CODE PLAN

	EXIT: CUMULATIVE OCCUPANT LOAD SERVED
	SIGN: REFER TO SIGNAGE SCHEDULE FOR TYPE AND DESCRIPTION - RE: 34/A0.2.
	PATH OF TRAVEL (P.O.T.)
	FIRE EXTINGUISHER LOCATION
	EGRESS ILLUMINATION LIGHTS, ONE FOOT CANDLE MIN., W/ 90 MINUTE BATTERY BACKUP.
	ILLUMINATED EMERGENCY EXIT SIGNS, HIGH AND LOW MOUNTED EXIT SIGNS: WALL MOUNT OR CEILING MOUNT TO BE VERIFIED ON SITE.

NOT FOR CONSTRUCTION

PROJECT

MEGAN'S ORGANIC MARKET CANNABIS DISPENSARY
104 W. 10TH STREET
TRACY, CA 95376

CLIENT

MOM EC LLC dba
MEGAN'S ORGANIC MARKET

SHEET TITLE

SECOND FLOOR CODE PLAN

DATE: 12/22/2021

TECHNICIAN: Author

PROJECT MANAGER: Designer

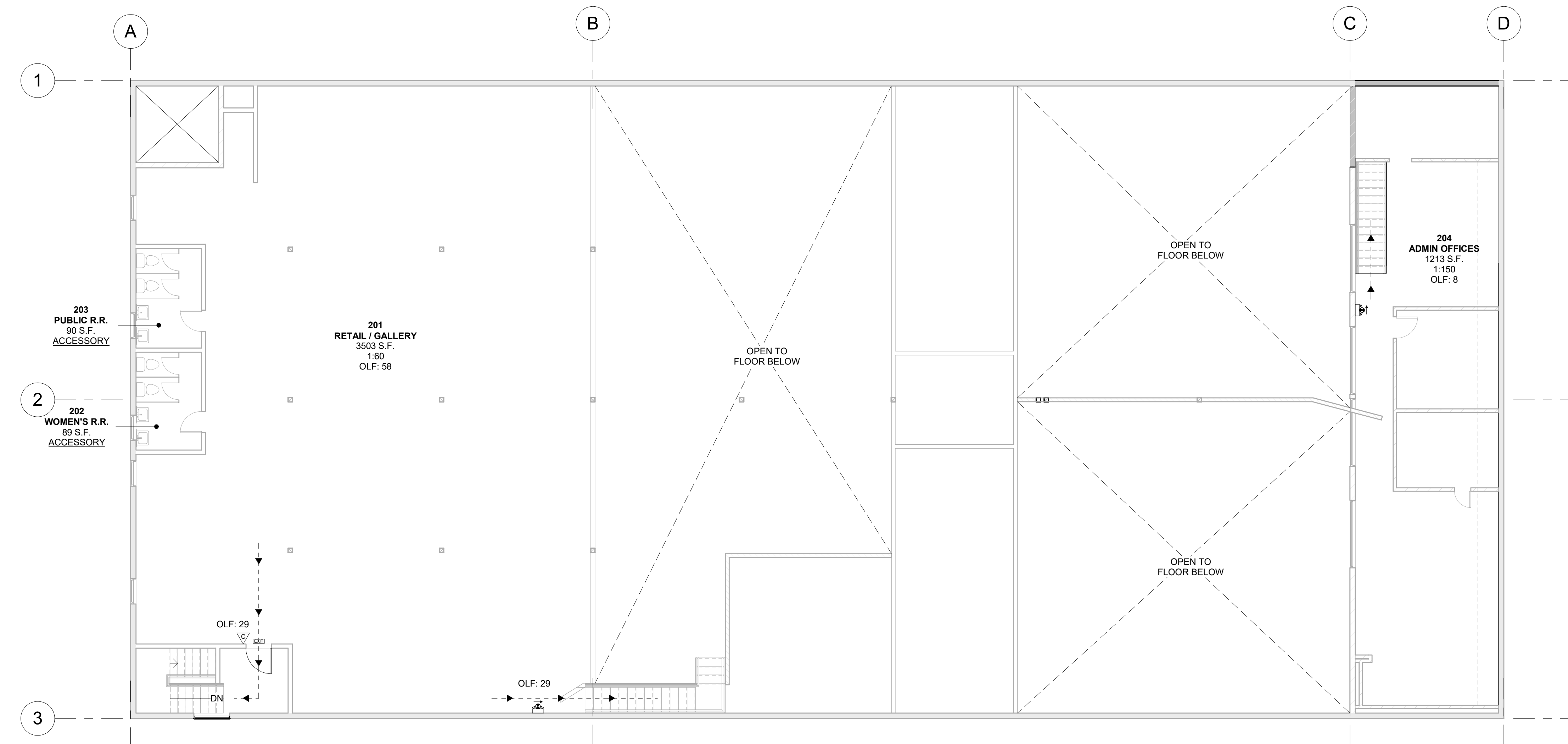
JOB NUMBER: 560
SHEET NUMBER

A2.4

SIGNAGE SCHEDULE						
SIGN	DESCRIPTION	AREA	PICTOGRAM	SIZE (WxH)	MFR. #	REMARKS
A	TACTILE EXIT SIGN	EXIT	-	6"x6"	1	DECAL, 1" HIGH TEXT ON CONTRASTING BACKGROUND. BLACK ON WHITE, OR BLACK ON CLEAR. RE: 44/A5.0
B	ROOM CAPACITY SIGN	MAXIMUM BUILDING OCCUPANTS - "XX PERSONS."	-	8.5"x11"	1	SEE DETAIL 43/A5.0 FOR MORE INFO. POST MAXIMUM OCCUPANT LOAD PERMANENTLY ABOVE OR NEAR FRONT DOOR. ADD OCCUPANCY "XX PERSONS."
C	TACTILE EXIT SIGN	EXIT ROUTE	-	6"x6"	1	DECAL, 1" HIGH TEXT ON CONTRASTING BACKGROUND. BLACK ON WHITE, OR BLACK ON CLEAR. RE: 44/A5.0
D	TACTILE EXIT SIGN	NOT AN EXIT	-	6"x6"	1	DECAL, 1" HIGH TEXT ON CONTRASTING BACKGROUND. BLACK ON WHITE, OR BLACK ON CLEAR. RE: 44/A5.0

- COLOR BLACK BACKGROUND WITH WHITE GRAPHICS, UNLESS NOTED OTHERWISE. CHARACTERS, SYMBOLS, AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH.
- TEXT: CHARACTERS ARE RAISED 1/32", SANS-SERIF UPPERCASE CHARACTERS, 5/8" HIGH MIN., 2" HIGH MAX.
- BRAILLE: SEE CBC 11B-703.3. FOLLOWING NOTES FOR REFERENCE ONLY:
 - TEXT IS ACCOMPANIED BY GRADE 2 BRAILLE
 - DOTS DISTANCE IN THE SAME CELL TO BE .100"
 - DOT BASE DIAMETER TO BE .069" TO .063"
 - DOTS DISTANCE BETWEEN CORRESPONDING DOTS IN ADJACENT CELLS TO BE .300"
 - DOT HEIGHT TO BE .025" TO .037"
 - DOTS SHALL BE DOMED OR ROUNDED
- CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT. BRAILLE SHALL BE PLACED A MINIMUM 3/8" AND A MAXIMUM 1/2" DIRECTLY BELOW THE CHARACTERS; FLUSH LEFT OR CENTERED.
- ADHESIVE FOAM ON BACK.
- MANUFACTURER: EMEDCO OR EQUAL.
- FOR INFORMATION, CONTRACTOR TO COORDINATE WITH OWNER.
- TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MIN. ABOVE THE FINISHED FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND MEASURED FROM THE BASELINE OF THE HIGHEST CHARACTERS. (CBC 11B-703.4.1)
- EXIT SIGNAGE: THE PATH OF TRAVEL TO AND WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF CBC SECTION 1011. EXIT SIGN SHALL BE READILY VISIBLE FROM THE DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINTS SHALL BE MORE THAN 100 FT. FROM THE NEAREST VISIBLE SIGN.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY: APPLY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY ON OR ADJACENT TO BUILDING ENTRANCE. THE SYMBOL SHALL BE A WHITE FIGURE ON A BLUE BACKGROUND.

41 SIGNAGE SCHEDULE



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REVISIONS	
REV #	REV DATE REV DESCRIPTION

SEAL

NOT FOR CONSTRUCTION

PROJECT
 MEGAN'S ORGANIC MARKET CANNABIS DISPENSARY
 104 W. 10TH STREET
 TRACY, CA 95376

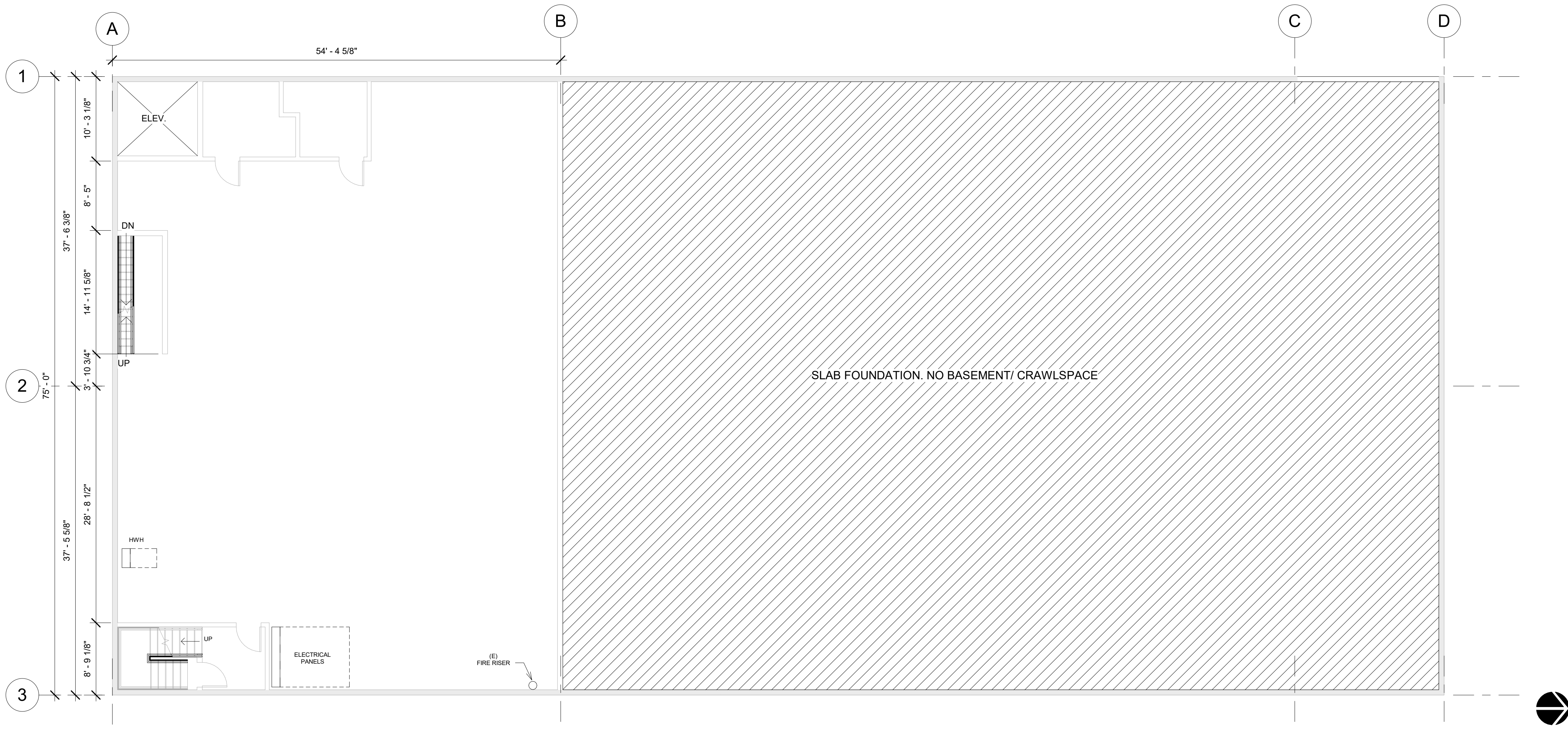
CLIENT
 MOM EC LLC dba
 MEGAN'S ORGANIC MARKET

GENERAL NOTES: FLOOR PLAN

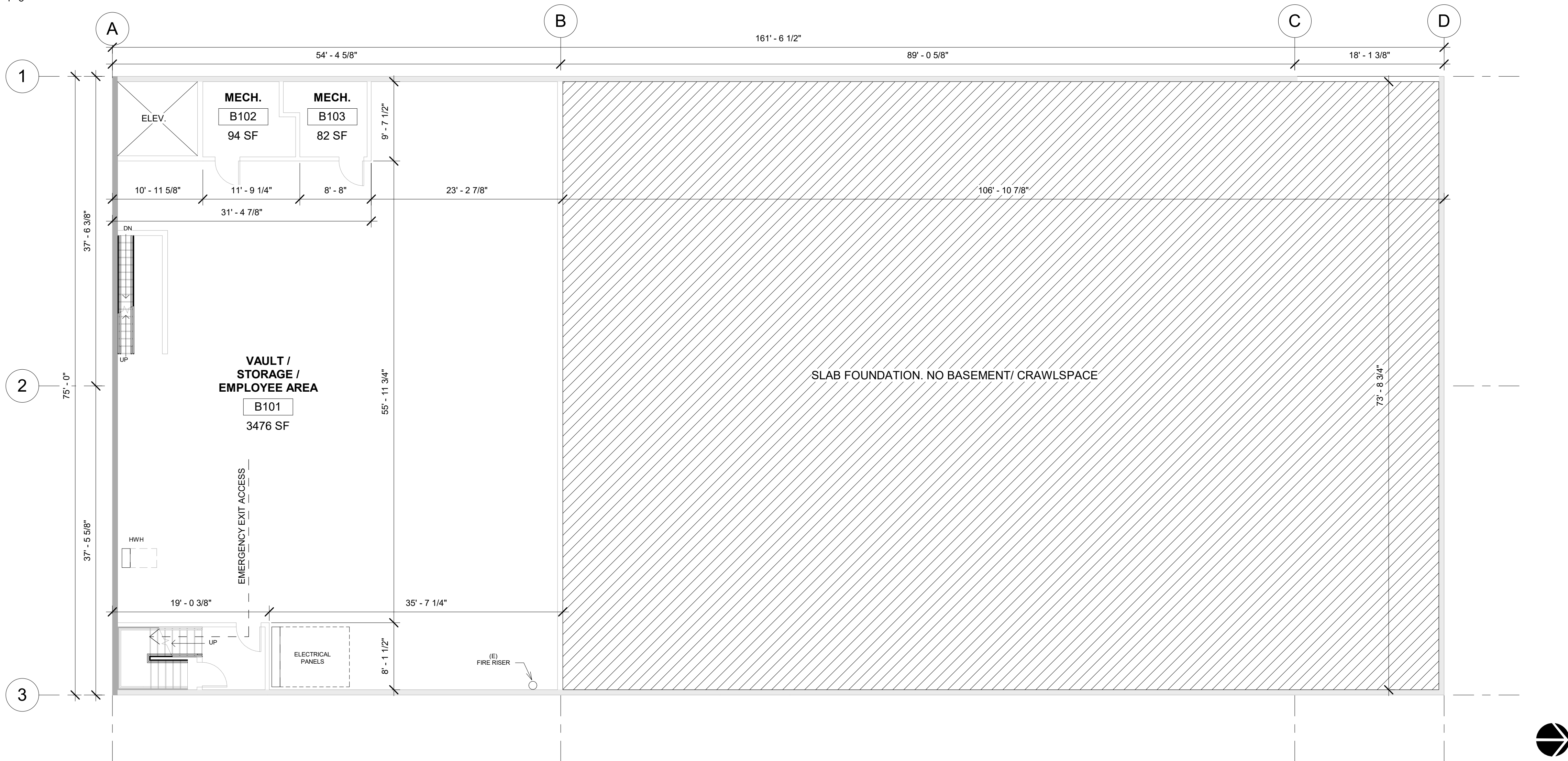
- FURNITURE IN PLAN IS ONLY DIAGRAMMATIC. NOT FOR CONSTRUCTION. CONTRACTOR TO VERIFY FURNITURE W/ OWNER PRIOR TO CONSTRUCTION.
- PROVIDE RATED 2A-10B-C FIRE EXTINGUISHERS SUCH THAT AN EXTINGUISHER IS LOCATED WITHIN A 75-FOOT TRAVEL DISTANCE TO ANY POINT IN THE BUILDING. EXTINGUISHERS SHALL BE MOUNTED ON THE WALL OR IN CABINETS, SUCH THAT THE TOP OF THE EXTINGUISHER IS NO HIGHER THAN 48 INCHES ABOVE THE FLOOR.
- GENERAL CONTRACTOR TO PROVIDE NEW SIGNAGE AS REQUIRED TO COMPLY WITH APPLICABLE BUILDING CODES. ALL SIGNAGE SHALL COMPLY WITH ACCESSIBILITY GUIDELINES, AND CBC INCLUDING BUT NOT LIMITED TO PROPORTION, COLOR, CONTRAST AND RELIEF, FONT STYLE AND GRADE 2 BRAILLE REQUIREMENTS. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER APPLICABLE CODE. RE: A-0.2
- ALL DOOR HARDWARE TO BE FALCON LEVER ACTION.
- ALL WORK SHALL BE IN COMPLIANCE TO LOCAL BUILDING CODES. CONTRACTOR TO SUBMIT ON RFI (REQUEST FOR INFORMATION) TO THE ARCHITECT ON RECORD FOR CLARIFICATION OF CONSTRUCTION METHODS, DETAILS OR SPECIFICATIONS AS NEEDED.

WALL TYPES

	(E) EXT. MASONRY WALL EXT. FINISH PER ELEVATION.
	(E) INT. WALL TO REMAIN.
	(E) WALL TO BE REMOVED.
	(N) 2X4 D.F. WOOD STUD WALL @ 16" O.C. W/ PLASTER FINISH.



42 DEMO FLOOR PLAN - BASEMENT
 1/8" = 1'-0"



44 PROPOSED FLOOR PLAN - BASEMENT
 1/8" = 1'-0"

SHEET TITLE
 BASEMENT FLOOR PLAN

DATE: 12/22/2021

TECHNICIAN: AMM

PROJECT MANAGER: ACG

JOB NUMBER: 560
 SHEET NUMBER

A2.5

FIRE BLOCKING NOTES

PER CBC 718.2
718.2.2 CONCEALED WALL SPACES, FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).

718.2.3 CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SOACES CREATED BY AN ASSEMBLY FOR FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.

718.2.5 CEILING AND FLOOR OPENINGS, WHERE REQUIRED BY SECTION 712.1.7, EXCEPTION 1 OF SECTION 714.4.1.2 OR SECTION 714.4.2, FIREBLOCKING OF THE ANNULAR SPACE AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS SHALL BE INSTALLED WITH A MATERIAL SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

718.2.6 EXTERIOR WALL COVERINGS, FIREBLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL COVERINGS AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION AS SPECIFIED IN SECTION 1406 OR WHERE ERECTED WITH COMBUSTIBLE FRAMES, FIREBLOCKING SHALL BE INSTALLED AT MAXIMUM INTERVALS OF 20 FEET (6096 MM) IN EITHER DIMENSION SO THAT THERE WILL BE NO CONCEALED SPACE EXCEEDING 100 SQUARE FEET (9.3 M²) BETWEEN FIREBLOCKING. WHERE WOOD FIRING STRIPS ARE USED, THEY SHALL BE OF APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF NONCONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH AT LEAST 4 INCHES (102 MM) OF SEPARATION BETWEEN SECTIONS.

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REVISIONS

REV # | REV DATE | REV DESCRIPTION

GENERAL LIFE SAFETY NOTES

1. PROVIDE A MEANS OF EGRESS ILLUMINATION TO BE COMPLIANT WITH 2019 CBC 1025 LUMINOUS EGRESS PATH MARKINGS. THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FT CANDLE AT FLOOR LEVEL. RE: ELECTRICAL DRAWINGS.

2. PROVIDE SECURITY SURVEILLANCE CAMERA SYSTEM IN COMPLIANCE WITH REQUIREMENTS IN TRACY MUNICIPAL CODE. PROFESSIONALLY INSTALLED, INCLUDING PANIC BUTTONS, AND SENSORS TO DETECT ENTRY AND EXIT FROM ALL SECURE AREAS. COORDINATE THESE SECURITY FEATURES WITH EGRESS COMPONENTS AND OVERRIDE ANY LOCKS IN THE CASE OF EMERGENCY. RE: SECURITY PLANS.

3. PROVIDE EXIT SIGNAGE ON ALL EXIT ACCESS DOORS EVEN IF EXIT SIGNS ARE NOT REQUIRED PER CBC 1013. ILLUMINATED SIGNS ARE REQUIRED. RE: SIGNAGE SCHEDULE NOTES.

4. SEE 23/GO.2 AND 34/GO.2 FOR REQUIREMENTS ON EGRESS FLOOR SIZE AND HARDWARE.

5. PROVIDE AND MAINTAIN A MINIMUM OF 2 REMOTELY LOCATED MEANS OF EGRESS AT ROUGHLY 1/2 THE LENGTH OF THE OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA SERVED.

GENERAL LIFE SAFETY NOTES

THESE NOTES ARE FOR THIS SHEET ONLY.

1. (N) INTERNALLY ILLUMINATED "EXIT" SIGN ABOVE DOOR.

2. PROVIDE TACTILE EXIT SIGNS PER CBC 1011.4 & 11B-703
A. EACH GRADE-LEVEL EXTERIOR DOOR SHALL BE IDENTIFIED BY "EXIT"
B. EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN SHALL BE IDENTIFIED BY "EXIT ROUTE".

3. DOOR TO REMAIN LOCKED FROM OUTSIDE. KNOX BOX TO BE INSTALLED FOR FIRE DEPARTMENT. EMPLOYEE ACCESS ONLY OTHERWISE.

4. ROOM CAPACITY SIGNAGE TO NOT EXCEED MAXIMUM OCCUPANTS PER SUITE TOTAL IN 34/GO.2.

5. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE OR EFFORT.

6. ALL EXTERIOR DOORS MUST REMAIN UNLOCKED DURING BUSINESS HOURS PER EGRESS REQUIREMENTS.

LEGEND: CODE PLAN

	EXIT: CUMULATIVE OCCUPANT LOAD SERVED
	SIGN: REFER TO SIGNAGE SCHEDULE FOR TYPE AND DESCRIPTION - RE: 34/A0.2.
	PATH OF TRAVEL (P.O.T.)
	FIRE EXTINGUISHER LOCATION
	EGRESS ILLUMINATION LIGHTS, ONE FOOT CANDLE MIN., W/ 90 MINUTE BATTERY BACKUP.
	ILLUMINATED EMERGENCY EXIT SIGNS, HIGH AND LOW MOUNTED EXIT SIGNS: WALL MOUNT OR CEILING MOUNT TO BE VERIFIED ON SITE.

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41 SIGNAGE SCHEDULE



NOT FOR CONSTRUCTION

PROJECT

MEGAN'S ORGANIC MARKET CANNABIS DISPENSARY
104 W. 10TH STREET
TRACY, CA 95376

CLIENT

MOM EC LLC dba
MEGAN'S ORGANIC MARKET

SHEET TITLE

BASEMENT CODE PLAN

DATE: 12/22/2021

TECHNICIAN: Author

PROJECT MANAGER: Designer

JOB NUMBER: 560
SHEET NUMBER



September 6, 2022

City of Tracy
Mayor, City Councilmembers, City Manager
333 Civic Center Plaza
Tracy, CA 95376

Submitted via Electronic Mail

Re: Comments in Opposition Item 3.E on the City Council’s Agenda to Adopt an Urgency Ordinance Making Findings and Establishing A Temporary Moratorium Pursuant to Government Code 65858 on the Processing of Condition Use Permits for Cannabis Establishments Under Chapter 10.08 of the Tracy Municipal Code, to Take Effect Immediately Upon Adoption.

Dear Hon. Mayor and Councilmembers:

I. Introduction

This letter is submitted on behalf of GOE-Tracy (“GOE”). GOE Tracy was among the Final Applications; however was not selected among the initial four awarded Applicants after the Community Benefits Plan review. The Council, in response to stakeholder concerns related to the Cannabis Application Process and Selection (the “Process”), and for increased transparency and public participation, passed Ordinance 1318 on October 5, 2021 to allow all qualifying Final Applicants (“2021 Cohort”) to move forward with the City’s Conditional Use Permit (“CUP”) process. In good faith reliance on Council’s express directive for the eligible 2021 Cohort to move through the CUP process, those parties have detrimentally relied on that directive. GOE has diligently submitted a CUP application, engaged in the process and continues to incur expenses believing there was a solid foundation to having those efforts heard by the Planning Commission.

GOE strongly opposes Council’s attempt to rewrite history and inflict detrimental harm to the CUP process and cannabis permitting. The Council’s actions are unwarranted - the CUP process is designed to solicit community input and evaluate a single project’s viability **at a specific location** in the City. In the event an CUP applicant is denied approval of their project, the City has a clearly enumerated appeals process in which the City Council takes part in. The

Emergency Ordinance is harmful to the City, taxpayers, cannabis permittees and the larger community potentially exposing the City to legal liability.

II. The Council Should Reject the Emergency Moratorium and Allow for Accountability, Transparency and Public Participation Allowing Permittees to Continue with the CUP Process and Directing the Planning Commission to Utilize that Process.

A. Background

For a matter of background and to expand on the item’s Staff Report, the City Council has been grappling with licensing regulated cannabis locally since 2019. After an extensive application process, release of the winners for the four highly competitive Storefront Retail cannabis businesses permits significant concerns were raised by stakeholder applicants about the integrity of the Application scoring process. In October 2021, after months of deliberative discussion and debate, the Council voted to expand the maximum number of Storefront Retail Commercial Cannabis Businesses permitted in the City at any one time in TMC Section 6.36.040 from 4 to 11 for transparency, accountability and to minimize potential legal exposure. In approving the motion the Council specifically acknowledged and authorized that all eligible Final Applicants (including Embarc) - the 2021 Cohort - would be entitled to have their projects reviewed by the Planning Commission pursuant to the City’s standard CUP process.

The Council’s actions to increase the total maximum number of Commercial Cannabis Businesses that can operate in the City at one time **did not then and does not now** guarantee that (1) the City will ultimately have the maximum number of cannabis businesses operating or (2) that those will be concentrated in the Central Business District (“CBD”) downtown. The City merely addressed the inequity and lack of transparency in the review process by providing the ability for all of the Final Applicants to engage in the CUP process, provided that application materials remain accurate and compliant with the City ordinance and State laws.

B. The Emergency Findings Cannot be Satisfied and the CUP Process is Sufficient to Address the Concerns Raised.

The Staff Report is focused on the Center Business District (“CBD”) and the influx of CUP applications in the district. This is an issue that was not addressed during the zoning discussion for the application process in 2019 and 2020. Nor was the issue addressed or raised during the discussions surrounding the expansion of the maximum number of retailers. Instead it was reinforced that each project would be assessed at Planning Commission hearings with a focus on

the specific location which includes public comment considering neighborhood and use cohesion.

The Staff Report provides that, to date, only one business has been approved in the CBD zone, nine are awaiting CUPs, and of those, five are seeking to be located in the CBD zone. As was highlighted above and will be explained further below, just because those are requesting to be located in that area of the City there is no guarantee or vested right for those businesses to be approved in the CBD zone. The Staff Report stated that only 2 CUPs have been issued and prior to expanding the maximum number of permits, the City allowed for 4 Storefront Retailers - to cut the program off with two approved CUPs is counter to the initial Council direction let alone the expansion.

Eligible zones and properties exist outside of the CBD and this expanded zoning was considered for certain applicants upon the initial assessment of a cannabis storefront viability and neighborhood cohesion. For example, GOE's proposed location at 2420 W Grant Line is not located in the CBD zone and is scheduled for a CUP hearing later this month on September 28th. The location of GOE's site was selected with consideration of location in mind and sensitivity of the CBD zone. GOE, as others, have been waiting months while incurring financial and staffing resources. It is illogical that a project well outside of the CBD, such as GOE, would suffer when the Staff Report is focused explicitly on the CBD zone. That is compounded by the fact that the City has not even reached its initial four Storefront Retailers who could all have been located and zoned in the CBD zone prior to the modification of the Ordinance to expand the number of permits.

The Staff Report further states that “[a]bsent the adoption of this interim urgency ordinance, it is likely that the establishment and operation of cannabis locations within the City, without appropriate controls in place to regulate the number of such establishments and their relative proximity to each other and other uses will result in harmful effects to the businesses, property owners and residents of the downtown zoning district as well as the overall City.” This assertion is false as the CUP process is a public process allowing residents to voice their opinion, support and/or concerns over the individual projects with the Planning Commission.

Furthermore, the Planning Commission is under **no** obligation to issue approvals on all cannabis CUP applications that are heard before them. The Planning Commission's role as a body made up of appointed citizens to act as an advisory group to the municipal governing body on issues and policies related to planning, land use regulation and community development. In this role they hear projects that are not permitted by right, such as for purposes of this letter - cannabis storefront dispensaries. The hallmark of a CUP process is the level of detail provided in the submission site and building plans. There is a robust public component where local neighbors are noticed within a standard distance from the project site, the project is noticed in the Planning

Commission's public agenda and there is a public hearing where the project applicant and any community can voice support or opposition and can provide comments to inform the decision of the Planning Commission. The City of Tracy, like most other jurisdictions, has an appeals process to the City Council of the Planning Commission's decision on a project.

The City should trust their standard land use rhetoric and process. Allow the Planning Commission and CUP process to be informed by the community and make decisions on a project by project basis. The Planning Commission knows what projects they have come before them and what projects are on the horizon as the Staff Report demonstrates. Should the applicant or the community not agree with the Planning Commission, there are stipulated appeals deadlines and that project will come back to the Council for discussion and resolution.

III. Conclusion

We strongly urge the Council to oppose and reject the proposed Emergency Ordinance, Item 3.E. For the reasons stated herein, the Emergency Ordinance is unwarranted as the CUP process is meant to solicit community feedback and the Planning Commission is vested with express authority to approve or deny projects in the best interest of the City and the community. If the Planning Commission and the downtown community agree on a project that is not well suited or viable for the downtown corridor, the CUP can be denied. In the event an applicant is denied the City has existing appeals procedures. Neither the public, the City nor the cannabis permittees are served by the current Emergency Ordinance. In a direct contradiction, these actions to advance the Emergency Ordinance open the City to unnecessary legal liability.

Respectfully Submitted,



Pamela N. Epstein, Esq., L.L.M.



Public Comment – Agenda Item 3E

From: Evelia Hanna [REDACTED]
Sent: Tuesday, September 6, 2022 2:43 PM
To: Tracy City Council <tracycitycouncil@cityoftracy.org>
Subject: Fw: Marijuana Dispensaries

City of Tracy,

I would like to bring the attention to you of the marijuana dispensaries that the City of Tracy plans on opening and giving permits. It would be fine if it was 1 or 2 but not in the downtown area. Please bring in nicer grocery stores for the large influx of people moving into Tracy due to the homes being built and people moving to Tracy from the Bay area and everywhere else.

The City of Tracy should get a "Wholefoods, Trader Joe's," and other better quality grocery stores for the huge amount of people moving to Tracy. Please do the City of Tracy a favor and open up better and more grocery stores and less marijuana Dispensaries. Thank you for your assistance.

Best,
Evelia Hanna
[REDACTED]

THE LAW OFFICE OF JAMES OSBORNE



September 6, 2022

The Honorable Mayor, Members of the City Council, and the City Manager
City of Tracy, California

Good evening,

My firm represents [REDACTED]. The purpose of this letter is to ask that the City Council consider a 45-day Moratorium on the issuance of any further Conditional Use Permits (CUP) for cannabis dispensaries. Neither my client or I oppose cannabis dispensaries, however, we believe that the Planning Commission and Ordinance 1278 are woefully inadequate in addressing some zoning issues surrounding the CUPs. We understand the CUP is already approved for the location at the former In Shape Fitness Center and we do not oppose that location.

Specifically, we believe the zoning ordinance should more fully address the issues of density and locations. We propose a one-mile buffer between any two dispensaries and that the dispensaries be located no greater than 500 feet (preferably 1000 feet from youth centric locations. Not just schools but music and dance studios where children take lessons, and business where minors tend to congregate after school and on weekends such as coffee shops, tea shops, ice cream parlors, etc.

We would also suggest the Council and Planning Commission research the ordinance in use in the City of Longmont, Colorado.

We respectfully request the Council approve a 45-day moratorium to allow the Planning Commission and city staff to better research these issues. If you fail to do so, my client reserves the option of all legal remedies. Thank you.

Sincerely,

A handwritten signature in cursive script, appearing to read "J Osborne".

James Osborne, Esq.

Attorney at Law

Public Comment – Agenda Item 3E

-----Original Message-----

From: Lisa Roth <[REDACTED]>
Sent: Tuesday, September 6, 2022 5:58 PM
To: Public Comment <publiccomment@cityoftracy.org>
Subject: Item 3E

Hi City Council,

I'd like to express my support of long overdue cannabis retail businesses in Tracy, including in our downtown district.

Based on previous staff reports —> item 3E, which would halt cannabis retail businesses from being issued CUPs, does not deserve status as an “emergency item” and I urge your NO vote.

These are new and legal businesses that residents support overwhelmingly, not just “someplace else in Tracy” but convenient as well.

Lisa Roth
707-484-7141
[REDACTED]