

DEVELOPMENT SERVICES DIRECTOR PUBLIC HEARING

AGENDA ITEM 1

REQUEST

PUBLIC HEARING TO CONSIDER A DEVELOPMENT REVIEW PERMIT APPLICATION FOR ADDITIONAL PARKING AT 6551 WEST SCHULTE ROAD, ASSESSOR'S PARCEL NUMBER 209-120-09. APPLICANT IS HPA, INC. AND PROPERTY OWNER IS PROLOGIS, L.P. – APPLICATION NUMBER D22-0049

DISCUSSION

Project Background and Description

On September 8, 2016, the Development Services Director approved a development review permit for an approximately 324,000 sq ft light industrial building in the Cordes Ranch Specific Plan Area, also known as IPC Building 3 (D16-0011), at 6551 W. Schulte Rd. The project was constructed in 2017 and has since been occupied by industrial uses. According to the applicant, the property owner had intended to add additional automobile parking areas in the future, but such parking was not included in the development review permit. Therefore, on December 29, 2022, the applicant submitted a development review permit application for 107 additional automobile parking spaces to be constructed. The expanded parking area will allow flexibility in use of the building, such as additional office areas supporting the light industrial uses.

The additional parking areas are proposed on two sides of the building in place of existing planters. The subject planter areas are in excess of the required onsite landscaping, where the northwestern planter is currently comprised by rock and the southeast planter is a large landscaping area that can accommodate a new parking area within the planter. The northwestern parking area will have 68 stalls and will be served by an existing drive aisle that currently runs along the building. The southeastern parking area will be comprised of 39 stalls and a new drive aisle that connects to existing drive aisles on the perimeter of the site. Landscaping, including canopy shade trees, will be provided for the additional parking areas with a palette that complements the existing landscaping. These proposed improvements are consistent with the Cordes Ranch Specific Plan and City standards for parking and landscaping.

Environmental Document

The Development Services Director has determined that the proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. The project will not introduce significant on or off-site impacts which were not already discussed in the Cordes Ranch and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original

environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

RECOMMENDATION

Staff recommends that the Development Services Director approve the development review permit for additional parking at 6551 W. Schulte Rd., based on the findings contained in the Director's Determination dated April 10, 2023 (Attachment B).

Prepared by: Kimberly Matlock, Associate Planner

Reviewed by: Alan Bell, Senior Planner

Approved by: Bill Dean, Assistant Development Services Director

ATTACHMENTS

Attachment A – Proposed Development Plans dated December 29, 2022

Attachment B – Development Services Director Determination

Exhibit 1 – Conditions of Approval

RECEIVED
December 29, 2022
City of Tracy
Development Services

International Park of Commerce Bldg. 3 Tracy, CA

ARCHITECTURAL

TI-A0.1 TITLE SHEET
TI-A1.1 OVERALL SITE PLAN
A0.1 DETAILS

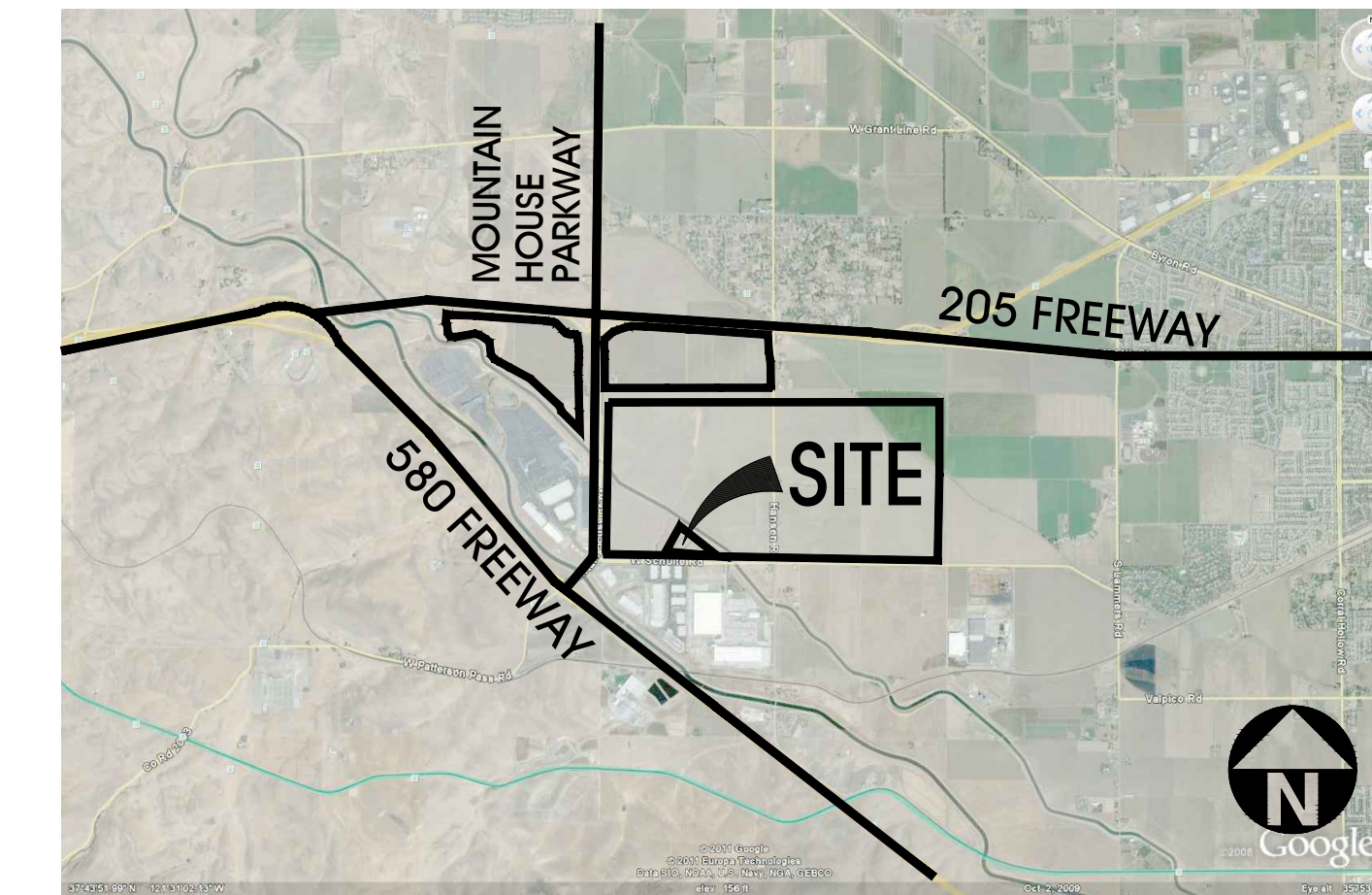
CIVIL

C1.1 TITLE SHEET
C1.2 NOTES
C2.1 TOPOGRAPHIC SURVEY
C3.1 DEMOLITION PLAN
C3.2 DEMOLITION PLAN
C4.1 GRADING AND DRAINAGE PLAN
C4.2 GRADING AND DRAINAGE DETAILS
C5.1 EROSION CONTROL PLAN
C6.1 HORIZONTAL CONTROL PLAN
C7.1 STORMWATER QUALITY CONTROL PLAN
C8.1 DETAILS

LANDSCAPE

L1.1 TI LANDSCAPE PLAN
L1.2 TI LANDSCAPE PLAN
L2.1 IRRIGATION PLAN
L2.2 IRRIGATION PLAN
L3.1 LANDSCAPE IRRIGATION DETAILS
L3.2 IRRIGATION DETAILS
L3.3 IRRIGATION DETAILS

SHEET INDEX



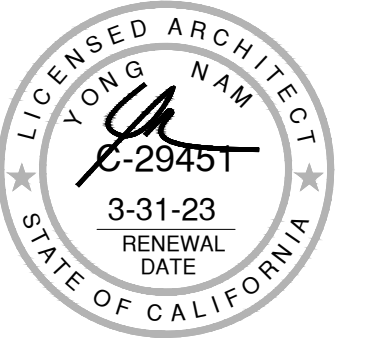
VICINITY MAP

SCOPE OF WORK

ADD NEW AUTO PARKING AT AREAS
PREVIOUSLY PLANNED FOR FUTURE PARKING



HPA, Inc.
383 4th Street, Suite 101
Oakland, CA
94607
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Owner:



3353 Gateway Blvd.
Fremont, CA 94538
tel: (510) 656-1900

Project:

International Park of
Commerce
IPC 3
Tenant Improvement

Tracy, CA

Consultants:

CIVIL Kier & Wright
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL Green Design
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: TITLE SHEET

Project Number: 22608

Drawn by: ST

Date: 09/30/22

Revision:

Sheet:

TI-A0.1

OWNER:

PROLOGIS
3353 GATEWAY BLVD.
FREMONT, CA 94538-6526
PHONE: +1 (209) 833-5395
CONTACT: CLAIRE WILSON

ARCHITECT:

HPA, INC.
18831 BARDEEN AVE., SUITE 100
IRVINE, CA 92612
PHONE: (949) 863-1770
FAX: (949) 863-0851
CONTACT: TERESA GOODWIN

BUILDING & PLANNING DEPT.

TRACY BUILDING DIVISION
333 CIVIC CENTER DR.
TRACY, CA 95376

OWNER / APPLICANT

PROLOGIS
3353 GATEWAY BLVD.
FREMONT, CA 94538-6526
PHONE: +1 (209) 833-5395
CONTACT: CLAIRE WILSON

LAND USE/ZONING:

BPI (BUSINESS PARK INDUSTRIAL)

AREA JUSTIFICATION:

60' SIDE YARDS ALL SIDES
FULLY SPRINKLERED- UNLIMITED AREA

BUILDING ADDRESS:

6551 WEST SCHULTE ROAD, SUITE 100
TRACY, CA

ASSESSOR'S PARCEL NO.:

209-120-030-000
209-120-040-000
209-120-060-000
209-120-080-000
209-120-090-000

CODE

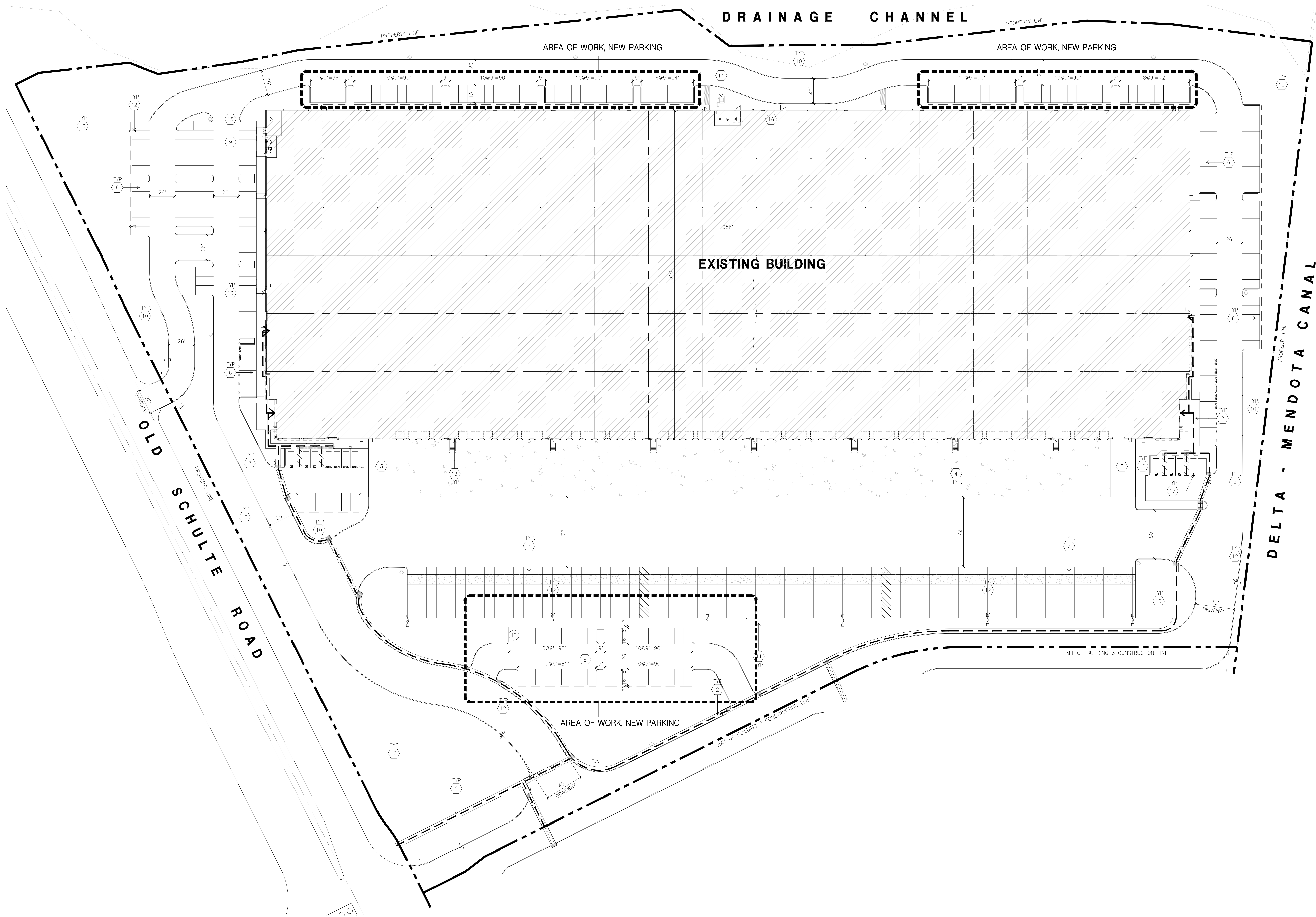
CBC 2019
CPC 2019
CMC 2019
CEC 2019
CFC 2019
ENERGY STANDARDS 2019
2019 CALGREEN

PROJECT DATA:

| | TOTAL |
|---|--------------|
| SITE AREA | |
| in s.f. | 817,095 s.f. |
| in acres | 18.8 ac |
| BUILDING AREA | |
| office | 11,009 s.f. |
| warehouse | 312,979 s.f. |
| TOTAL | 323,988 s.f. |
| COVERAGE (50% Max.) | 39.7% s.f. |
| AUTO PARKING REQUIRED | |
| office @ 1/250 s.f. | 44 stalls |
| warehouse 1st 20K @ 1/1,000 s.f. | 20 stalls |
| 2nd 20K @ 1/2,000 s.f. | 10 stalls |
| above 40K @ 1/4,000 s.f. | 69 stalls |
| TOTAL | 143 stalls |
| AUTO PARKING PROVIDED | |
| Existing standard (9'x20') | 145 stalls |
| New standard (9'x20') | 107 stalls |
| TOTAL | 252 stalls |
| TRAILER PARKING PROVIDED | |
| trailer (10'x53') | 73 stalls |
| MAXIMUM FLOOR AREA RATIO | |
| F.A.R. - .50 | |
| ZONING ORDINANCE FOR THE CITY | |
| Zoning Designation - Cordes Ranch Specific Plan - Business Park Industrial (BPI) | |
| SETBACKS | |
| Building | |
| front / Street - 30' | |
| side & rear (non street) - 10' | |
| Landscape | |
| Old Schulte Road - 30' | |

PROJECT REPRESENTATIVES

PROJECT DATA & CODE SUMMARY



OVERALL SITE PLAN
 scale: 1"=40'-0"
 SCALE: 1"=40'-0"
 0' 40' 80' 120'
 PLAN NORTH TRUE NORTH

SITE PLAN KEYNOTES

| | |
|---|---|
| 1 (E) GATE | 9 (E) FIRE CONTROL ROOM |
| 2 (E) CONCRETE WALKS | 10 (E) LANDSCAPING |
| 3 (E) DRIVE-IN DOOR & CONC. DRIVE-IN RAMP | 11 (E) FENCE |
| 4 (E) STAIRS | 12 (E) EXTERIOR LIGHTING |
| 5 (E) DETENTION POND | 13 (E) EXTERIOR DOOR |
| 6 (E) AUTO PARKING | 14 (E) TRANSFORMER |
| 7 (E) TRAILER PARKING | 15 (E) PUMP ROOM |
| 8 (N) AUTO PARKING | 16 (E) ELECTRICAL ROOM |
| | 17 NEW ADA SYMBOL AT EXISTING ADA COMPLIANT PARKING STALL |



HPA, Inc.
 383 4th Street, Suite 101
 Oakland, CA
 94607
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com



Owner:



3353 Gateway Blvd.
 Fremont, CA 94538
 tel: (510) 656-1900

Project:

International Park of
 Commerce
 IPC 3
 Tenant Improvement

Tracy, CA

Consultants:

- | | |
|-----------------|---------------|
| CIVIL | Kier & Wright |
| STRUCTURAL | - |
| MECHANICAL | - |
| PLUMBING | - |
| ELECTRICAL | Green Design |
| LANDSCAPE | - |
| FIRE PROTECTION | - |
| SOILS ENGINEER | - |

Title: overall site plan

Project Number: 22608
 Drawn by: ST
 Date: 09/30/22
 Revision:

Sheet:

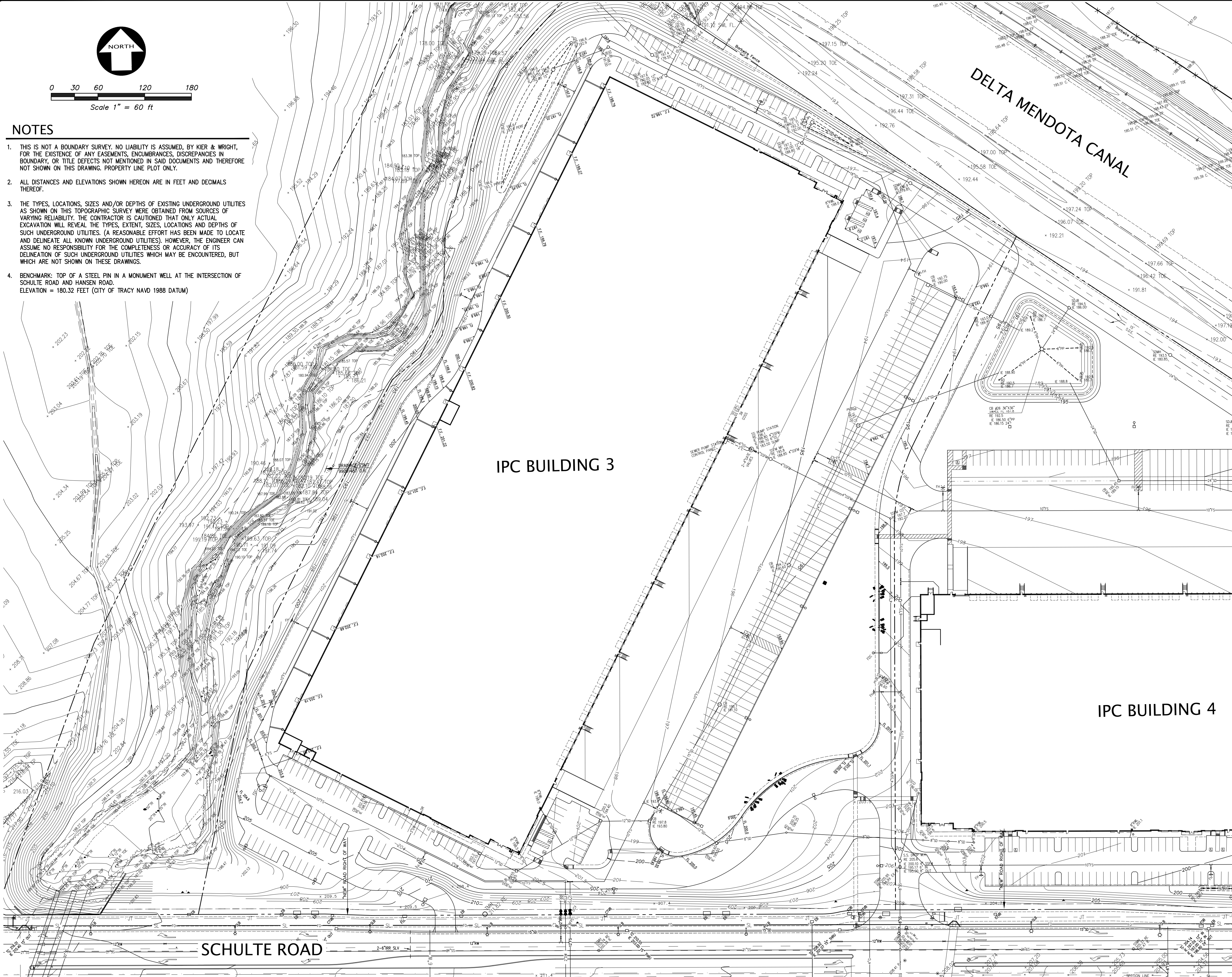
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0 30 60 120 180
Scale 1" = 60 ft

NOTES

1. THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING. PROPERTY LINE PLOT ONLY.
2. ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
4. BENCHMARK: TOP OF A STEEL PIN IN A MONUMENT WELL AT THE INTERSECTION OF SCHULTE ROAD AND HANSEN ROAD. ELEVATION = 180.32 FEET (CITY OF TRACY NAVD 1988 DATUM)



LEGEND

- ASPHALT BERM
- BUILDING LINE
- CAST IRON PIPE
- CENTERLINE
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- CONTOUR LINE
- OBSOURED CONTOUR LINE
- EDGE OF PAVEMENT
- ELECTRIC LINE
- FENCE LINE
- FIBER OPTICS LINE
- FIRE SERVICE & VALVE
- GAS LINE-VALVE & METER
- HIGH PRESSURE GAS LINE
- LOT LINE
- MONUMENT/MONUMENT LINE
- OIL LINE
- OVERHEAD POWER LINE
- PROPERTY LINE
- SANITARY SEWER-MANHOLE & CLEANOUT
- SIDEWALK
- STORM ELEVATION
- STORM DRAIN-MANHOLE & CATCH BASIN
- TELEPHONE LINE
- WATER LINE & VALVE
- BACKFLOW PREVENTION DEVICE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- POST INDICATOR VALVE
- POWER POLE/JOINT POLE
- TRANSFORMER
- TRAFFIC SIGN
- TREE
- UTILITY BOX
- BENCHMARK/TEMPORARY BENCHMARK
- IRON PIN
- ANGLE POINT
- ANGLE POINT
- ASPHALT PAVEMENT
- BOTTOM OF PIPE
- BEGIN
- BUILDING LINE
- BOLLARD
- BLRD
- BSCQ
- BACK-SIGHT CHECK
- BACK OF WALK
- C.
- CIP
- CO
- DOCK
- DOCK
- EAST
- EP
- EDGE OF PAVEMENT
- EASEMENT
- ESMT
- EV
- ELECTRICAL VAULT
- EW
- EDGE OF WALK
- FDC
- FIRE DEPARTMENT CONNECTION
- FH
- FIRE HYDRANT
- FNC
- FENCE
- FND
- FO
- FIBER OPTICS
- FS
- FIRE SERVICE
- FSCK
- FORE-SIGHT CHECK
- GAS LINE
- GAB
- GRADE BREAK
- GM
- GAS MARKER/METER
- GUY
- GUY ANCHOR
- HPG
- HIGH PRESSURE GAS LINE
- HPO
- HIGH PRESSURE OIL LINE
- IE
- INVERT ELEVATION
- IP
- IRON PIPE
- IRR
- IRRIGATION LINE
- JP
- JOINT POWER POLE
- JT
- JOINT TRENCH
- LIP
- LIP OF GUTTER
- LL
- LANE LINE
- MON
- MONUMENT
- (DESTROYED) MONITORING WELL
- N
- NORTH
- NE
- NORTH EAST
- NW
- NORTH WEST
- OR
- OFFICIAL RECORDS
- OH
- OVERHEAD
- P.
- PAVEMENT
- PG&E
- PACIFIC GAS & ELECTRIC
- PM
- PARCEL MAP
- POC
- POINT OF CONNECTION
- PP
- POWER POLE
- RE
- RIM ELEVATION
- RW
- RECLAIMED WATER LINE
- S
- SOUTH
- SD
- STORM DRAIN
- SDMH
- STORM DRAIN MANHOLE
- SL
- STREET LIGHT
- SS
- SANITARY SEWER
- SSE
- SANITARY SEWER EASEMENT
- SSMH
- SANITARY SEWER MANHOLE
- SW
- SOUTH WEST
- TB
- TELEPHONE BOX
- TC
- TOP OF CURB
- TP
- TELEPHONE POLE
- TREE
- TREE
- TSB
- TRAFFIC SIGNAL BOX
- TSP
- TRAFFIC SIGNAL POLE
- USAY
- GAS-OIL-STREAM CHEMICAL
- W
- WEST
- WV
- WATER VALVE

| | | |
|-----|------------|----|
| NO. | REVISION | BY |
| 1 | 10/03/2022 | |
| 2 | | |
| 3 | | |
| 4 | | |

KIER+WRIGHT

2850 Collier Canyon Road
Livermore, CA 94551

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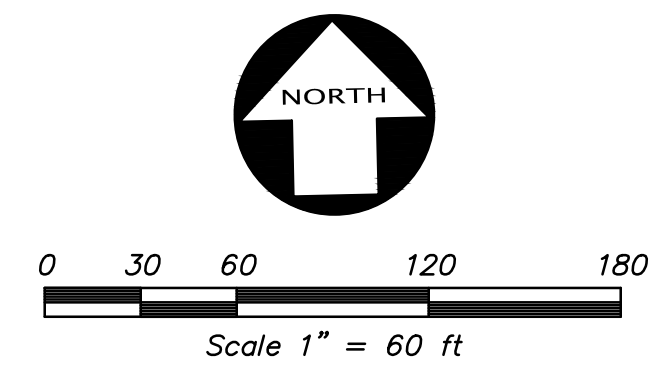
TOPOGRAPHIC SURVEY
OF
I.P.C. - BUILDING 3
PARKING ADDITION

CALIFORNIA

TRACY,

| | |
|----------|--------------|
| DATE | 10/03/2022 |
| SCALE | 1" = 60' |
| ENGINEER | M.F.B. |
| DRAWN BY | R.S. |
| JOB NO. | A09500-455 |
| SHEET | C.2.1 |
| OF | 11 SHEETS |

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DEMOLITION NOTES

1. ALL BACK FILLING OF THE FOOTING, EXCAVATION, TRENCHING, HOLES, OVER EXCAVATION, ETC. DURING CONSTRUCTION SHALL BE BACK FILLED AND RECOMPACTED TO 90% RELATIVE COMPACTION PER ASTM D-1557, LATEST EDITION, AND SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND APPROVAL. THE COMPACTION OF ALL EXCAVATIONS GREATER THAN 5 FEET IN DEPTH SHALL BE 95% RELATIVE COMPACTION OR PER THE GEOTECHNICAL ENGINEER'S REQUIREMENTS.
2. ANY UTILITIES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY AND AS APPROVED BY THE COUNTY OF SAN JOAQUIN STANDARDS AND REQUIREMENTS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE GEOTECHNICAL ENGINEER 48 HOURS IN ADVANCE OF ANY GRADING AND FILLING OF THE SITE RELATING TO ANY DEMOLITION OR REMOVAL OF SITE FEATURES. ALL A.C. PAVEMENT, CONCRETE AND BASE ROCK SHALL BE CRUSHED, SALVAGED AND STOCK PILED FOR USE ON-SITE AS FILL MATERIAL. ALL REMOVAL, CRUSHING AND STOCK PILING SHALL BE INSPECTED, TESTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
4. IN GENERAL, FILL MATERIAL SHALL NOT CONTAIN CLUMPS LARGER THAN 6 INCHES IN ITS GREATEST DIMENSION WITH NO MORE THAN 15% LARGER THAN 2.5 INCHES.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT FROM DAMAGE THROUGHOUT THE COURSE OF CONSTRUCTION OF ALL BUILDINGS AND SITE FEATURES ITEMS SUCH AS, BUT NOT LIMITED TO CATCH BASINS, CONDUIT, TELEPHONE AND POWER POLES, FENCING, RETAINING WALLS, GAS LINES, OIL LINES, GASOLINE LINES, FIRE AND WATER SERVICE ASSEMBLIES, CONCRETE CURB, GUTTER AND SIDEWALK, TREES, BUSHES AND PLANT MATERIAL, ETC. BOTH ON-SITE AND OFF-SITE. THE CONTRACTOR SHALL PROVIDE ALL REPAIRS, MAINTENANCE, SHORING, SUPPORT, ETC. TO MAINTAIN ALL FEATURES DESIGNATED TO REMAIN IF DAMAGED. NOTIFY ARCHITECT/ENGINEER IF ANY DISCREPANCIES EXIST OR IF CLARIFICATIONS ARE REQUIRED.
6. NO BURNING SHALL BE ALLOWED WITHOUT THE PERMISSION OF THE AIR POLLUTION CONTROL DISTRICT. DISPOSE OF ALL MATERIAL IN ACCORDANCE WITH ACCEPTED SAFETY STANDARDS DESCRIBED BY AUTHORITIES HAVING JURISDICTION. NO PILING OR BURNING OF ANY MATERIAL WILL BE PERMITTED WITHIN AREAS OF 90% COMPACTION.
7. COMPLY WITH ALL APPLICABLE REGULATIONS AND SAFETY ORDERS IN EFFECT AT THE CONSTRUCTION SITE. PROTECT OPEN EXCAVATION, TRENCHES, ETC. WITH FENCES, COVERS, OR RAILINGS AS REQUIRED TO MAINTAIN SAFE PEDESTRIAN AND VEHICLE TRAFFIC. MAINTAIN DESIGNATED SITE ACCESS FOR VEHICLE AND PEDESTRIAN TRAFFIC.
8. WHEN DUST CONDITIONS EXIST, DAMPEN THE AREAS TO PREVENT THE TRANSPORTATION OF DEBRIS INTO THE BUILDINGS AND ONTO ADJACENT PROPERTY.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE FINISHED CONDITION OF HIS WORK. BEFORE WORKING OVER BACKFILL OR SIMILAR WORK COMPLETED BY OTHER CONTRACTORS, VERIFY THAT SUCH WORK HAS BEEN PROPERLY BACKFILLED AND COMPACTIONED. NOTIFY THE ARCHITECT PROMPTLY IN WRITING IF ANY CONDITIONS DO NOT MEET THE PROPER STANDARDS. WITHOUT EXTRA COST TO THE OWNER, ALL FEATURES DAMAGED IN THE PERFORMANCE OF ALL WORK SHALL BE RESTORED TO THE SATISFACTION OF THE OWNER AND AUTHORITIES HAVING JURISDICTION.
10. CONTRACTOR ACKNOWLEDGES THAT HE HAS THOROUGHLY INFORMED HIMSELF REGARDING REQUIREMENTS OF DRAWINGS, SPECIFICATIONS, AND REGULATIONS PERTAINING TO THE PROJECT. SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY. WHAT IS CALLED BY ONE IS AS BINDING AS IF CALLED FOR BY ALL. THE CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH THE SITE AND COMPARE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATION WITH WORK TO BE PERFORMED BY THE CONTRACTOR, INCLUDING TOPOGRAPHY, APPROACHES AND IMPROVEMENTS ON OR ABOUT THE SITE.
11. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF DEMOLITION WORK, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. ANY ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK OR TO MEET THEIR SCHEDULE WILL MAINTAIN RESPONSIBILITY.
12. CONTRACTOR TO PROVIDE ALL CONSTRUCTION BARRICADES REQUIRED BY GOVERNING AGENCIES AND AS NOTED IN SPECIFICATIONS.
13. NO TRENCHING DEEPER THAN 5 FEET SHALL BE ALLOWED WITHOUT THE CONTRACTOR OBTAINING A PERMIT FROM OSHA.

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| NO. | BY | REVISION | DATE | | | | |
| 1 | MICHAEL F. BASTIEN | PERMIT SUBMITTAL | 10/03/2022 | | | | |

KIER+WRIGHT

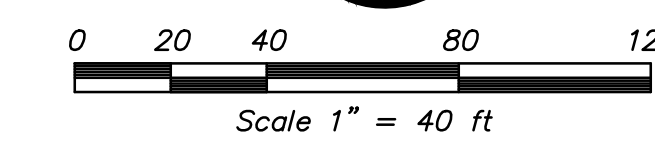
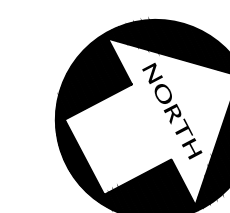
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DEMOLITION PLAN
OF
I.P.C. - BUILDING 3
PARKING ADDITION

CALIFORNIA

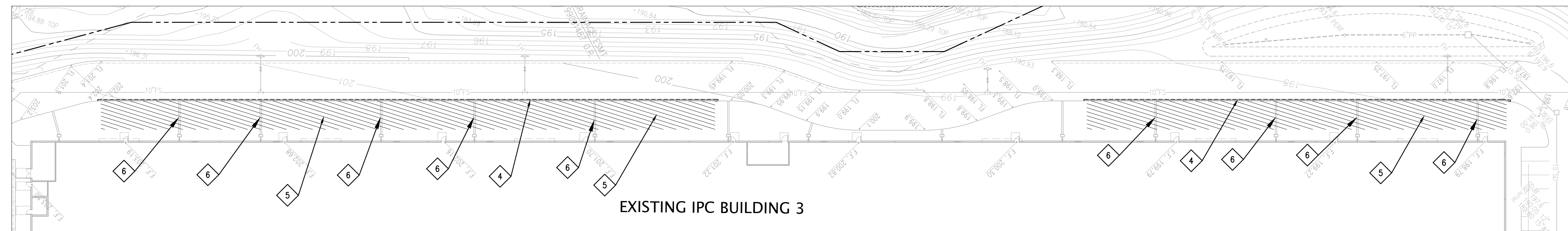
TRACY,

| | | | | | | | |
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| DATE | 10/03/2022 | SCALE | 1" = 60' | ENGINEER | M.F.B. | DRAWN BY | R.S. |
| JOB NO. | A09500-455 | SHEET | C.3.1 | OF | 11 | SHEETS | |

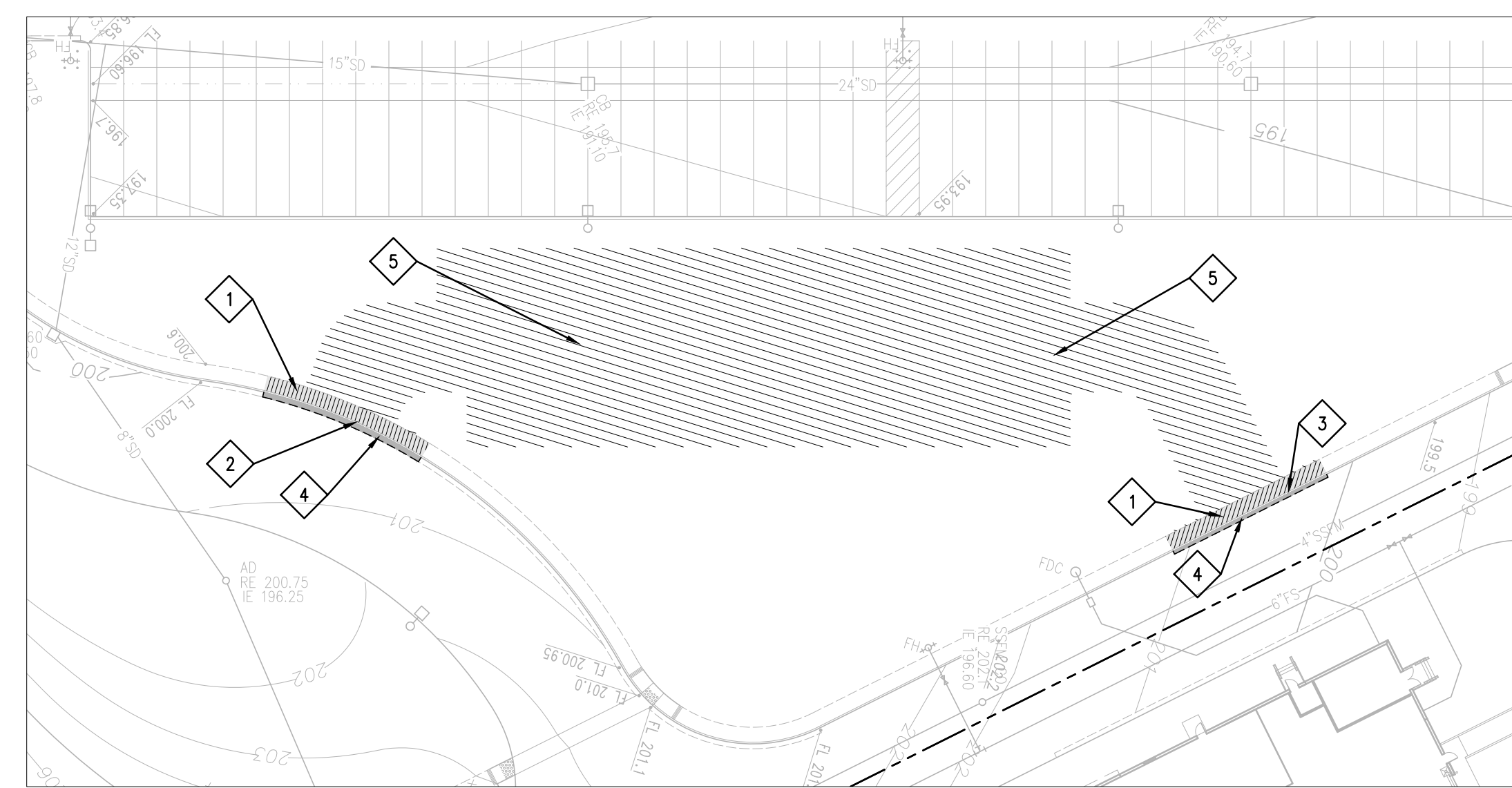


LEGEND

- EXISTING CONCRETE TO BE REMOVED
- EXISTING AC PAVEMENT TO BE REMOVED
- EXISTING PLANTER TO BE REMOVED
- SAWCUT LINE
- REMOVE CONCRETE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE CONCRETE CURB
- REMOVE PAVEMENT
- REMOVE PLANTER
- REMOVE PORTION OF CURB-0-LET

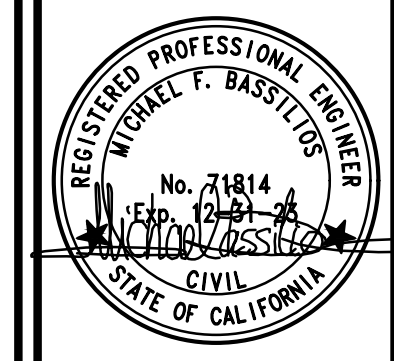


DEMOLITION PLAN 1
SCALE 1" = 40'



DEMOLITION DETAIL 2
SCALE 1" = 40'

| | | |
|-----|------------------|------------|
| NO. | REVISION | DATE |
| | PERMIT SUBMITTAL | 10/03/2022 |

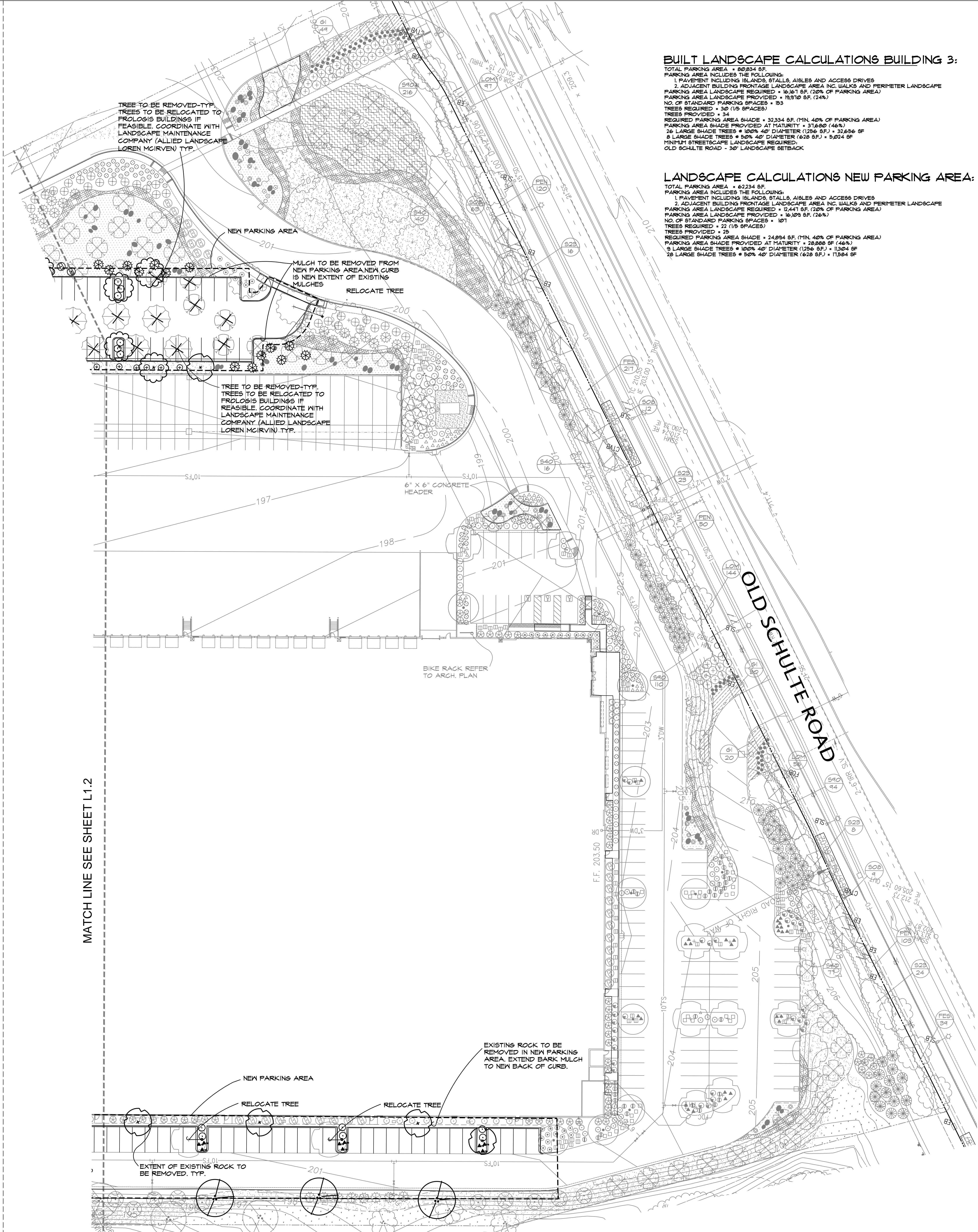


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 2850 Collier Canyon Road
 Livermore, CA 94551
 Phone: (925) 245-6788
 www.kierwright.com

DEMOLITION PLAN
 OF
 I.P.C. - BUILDING 3
 PARKING ADDITION

TRACY, CALIFORNIA

| | |
|----------|------------|
| DATE | 10/03/2022 |
| SCALE | 1" = 30' |
| ENGINEER | M.F.B. |
| DRAWN BY | R.S. |
| JOB NO. | A09500-455 |
| SHEET | C.3.2 |
| OF | 11 SHEETS |



BUILT LANDSCAPE CALCULATIONS BUILDING 3:

TOTAL PARKING AREA = 80,834 SF.
 PARKING AREA INCLUDES THE FOLLOWING:
 1. PAVEMENT INCLUDING ISLANDS, STALLS, AISLES AND ACCESS DRIVES
 2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS AND PERIMETER LANDSCAPE
 PARKING AREA LANDSCAPE PROVIDED = 16,161 SF. (20% OF PARKING AREA)
 PARKING AREA LANDSCAPE REQUIRED = 64,673 SF. (80% OF PARKING AREA)
 NO. OF STANDARD PARKING SPACES = 53
 TREES PROVIDED = 34
 REQUIRED PARKING AREA SHADE = 32,334 SF. (MIN. 40% OF PARKING AREA)
 PARKING AREA SHADE PROVIDED AT MATURITY = 37,690 SF. (46%)
 26 LARGE SHADE TREES = 100% 40" DIAMETER (1256 SF.) = 32,656 SF.
 8 LARGE SHADE TREES = 50% 40" DIAMETER (628 SF.) = 5,224 SF.
 MIN. 1" STREETSCAPE LANDSCAPE REQUIRED:
 OLD SCHULTE ROAD - 30' LANDSCAPE SETBACK

LANDSCAPE CALCULATIONS NEW PARKING AREA:

TOTAL PARKING AREA = 62,234 SF.
 PARKING AREA INCLUDES THE FOLLOWING:
 1. PAVEMENT INCLUDING ISLANDS, STALLS, AISLES AND ACCESS DRIVES
 2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS AND PERIMETER LANDSCAPE
 PARKING AREA LANDSCAPE PROVIDED = 12,441 SF. (20% OF PARKING AREA)
 PARKING AREA LANDSCAPE REQUIRED = 49,793 SF. (80% OF PARKING AREA)
 NO. OF STANDARD PARKING SPACES = 101
 TREES PROVIDED = 25
 REQUIRED PARKING AREA SHADE = 24,894 SF. (MIN. 40% OF PARKING AREA)
 PARKING AREA SHADE PROVIDED AT MATURITY = 28,888 SF. (46%)
 9 LARGE SHADE TREES = 100% 40" DIAMETER (1256 SF.) = 1,130 SF.
 28 LARGE SHADE TREES = 50% 40" DIAMETER (628 SF.) = 1,754 SF.

PLANT LIST: EXISTING

| SYM. NO. | BOTANICAL NAME | COMMON NAME | SIZE | WATER REGIME / ZONE | MATURE HABIT H X W | NO. PER TI |
|-----------------------------------|--------------------------------|-------------------|---------|---------------------|--------------------------|------------|
| TREES | | | | | | |
| 20 | CEDRUS DECOARA | DECODAR CEDAR | 24" BOX | L | 80' X 40' | |
| 21 | QUERCUS WILZONI | INTERIOR LIVE OAK | 24" BOX | VL | 50' X 50' | |
| 31 | QUERCUS R. 'CRIMSON SPIRE' | COLUMBIAN OAK | 24" BOX | M | 50' X 15' | |
| 5 | LAIURUS N. 'SARATOGA' | SWEET BAY | 24" BOX | L | 25' X 20' MULTI-STEM | |
| 20 | OLEA EUROPAEA 'SIAM HILL' | FRUITLESS OLIVE | 24" BOX | L | 25' X 25' | |
| 26 | PISTACIA G. 'KEITH DAVEY' | CHINESE PISTACHE | 24" BOX | L | 50' X 30' | 8 |
| 5 | ULMUS 'FRONTIER' | FRONTIER ELM | 24" BOX | M | 50' X 60' | 10 |
| 15 | LAGERSTROEMIA 'TUSCARORA' | CRAPE MYRTLE | 24" BOX | L | 20' X 12' | |
| 23 | ULMUS PARVIFLORA 'TRUE GREEN' | EVERGREEN ELM | 24" BOX | M | 50' X 30' | |
| 20 | QUERCUS VIRGINIANA | SOUTHERN LIVE OAK | 24" BOX | L | 50' X 50' | 3 |
| 13 | QUERCUS SHUMARDII | SHUMARD RED OAK | 24" BOX | L | 50' X 50' | |
| EVERGREEN SCREENING SHRUBS | | | | | | |
| 18 | RHUS OVATA | SUGAR BUSH | 5 GAL. | VL | 8' X 12' PLANT 8'-0" OC | |
| 105 | CEANOTHUS 'CONCHA' | CEANOTHUS | 5 GAL. | L | 6' X 8' PLANT 1'-0" OC | |
| 133 | ARBITUS U. 'COMPACTA' | DW. STRAWBERRY | 5 GAL. | L | 8' X 10' PLANT 6'-0" OC | |
| 54 | ARCTOSTAPHYLOS 'HOWARD MCHINN' | MANZANITA | 5 GAL. | L | 8' X 8' PLANT 5'-0" OC | 14 |
| 84 | ELAENUS PLUNGENS | SILVERBERRY | 5 GAL. | L | 10' X 10' PLANT 8'-0" OC | |
| 136 | DODONAEA VISCOSA | HOP BUSH | 5 GAL. | L | 8' X 10' PLANT 8'-0" OC | |
| 55 | OLEA 'LITTLE OLLIE' | DW. OLIVE | 5 GAL. | L | 6' X 5' PLANT 6'-0" OC | 15 |

PLANT LIST: NEW

| | | | | | | |
|--------------------------------|-----------------------------------|------------------------|--------|---|------------------------|----|
| DROUGHT TOLERANT SHRUBS | | | | | | |
| 43 | CEANOTHUS 'YANKEE POINT' | YANKEE POINT CEANOTHUS | 5 GAL. | L | 4' X 6' | |
| 36 | LANTANA M. 'D.W. YELLOW' | DW. LANTANA | 5 GAL. | L | 2' X 4' PLANT 3' OC | 18 |
| 131 | BACCHARIS P. 'CONSANGUINEA' | COYOTE BRUSH | 5 GAL. | L | 2' X 6' PLANT 6' OC | |
| 21 | RHAMNUS P. 'MOUND SAN BRUNO' | COFFEEBERRY | 5 GAL. | L | 5' X 6' PLANT 1' OC | |
| 89 | NEROLIUM OLEANDER 'PETITE SALMON' | PETITE OLEANDER | 5 GAL. | L | 5' X 5' PLANT 5'-0" OC | |
| 69 | PHOLCHIS FRUITICOSA | JERUSALEM SAGE | 5 GAL. | L | 4' X 4' PLANT 4'-0" OC | 7 |
| 124 | ROSMARINUS O. 'TUSCAN BLUE' | UPRIGHT ROSEMARY | 5 GAL. | L | 4' X 4' PLANT 4'-0" OC | |
| 483 | CISTUS S. 'SKANBERGII' | SKANBERG ROCKROSE | 5 GAL. | L | 3' X 3' PLANT 3' OC | |
| 8 | SALVIA G. 'WINNIFRED GILMAN' | TEXAS RANGER | 5 GAL. | L | 3' X 4' | |
| 84 | SALVIA G. 'NIGHT' | MEXICAN SAGE | 5 GAL. | L | 3' X 3' | |
| 69 | ROSMARINUS O. 'COLLINGSHAM' | ROSEMARY | 1 GAL. | L | 2' X 6' PLANT 5' OC | 12 |
| 108 | ARCTOSTAPHYLOS 'EMERALD GREEN' | MANZANITA | 5 GAL. | L | 1' X 4' PLANT 4' OC | |
| 103 | ROSA 'HEISALPIO' | RED DRIFT ROSE | 5 GAL. | L | 3' X 3' | |
| 72 | AGAVE 'BLUE GLOW' | BLUE GLOW AGAVE | 5 GAL. | L | 2' X 2' | |
| PERENNIALS | | | | | | |
| 21 | DIETES V. 'VARIEGATA' | FORT NIGHT LILY | 1 GAL. | L | 3' X 3' | |
| 91 | HEPEROCALLIS - HYBRIDS | EVERGREEN DAYLILY | 1 GAL. | M | 1' X 15' | |
| 1 | TULBAGHIA V. 'TRICOLOR' | SOCIETY GARLIC | 1 GAL. | L | 15' X 15' | |
| 43 | ACHILLEA 'MOONSHINE' | YARROW | 1 GAL. | L | 3' X 3' | |
| GRASSES | | | | | | |
| 256 | FESTUCA MAIREI | ATLAS FESCUE | 1 GAL. | L | 2' X 3' PLANT 3' OC | |
| 213 | PENNISSETUM ORIENTALE | FOUNTAIN GRASS | 1 GAL. | L | 3' X 3' PLANT 3' OC | |
| 80 | MULLEBERGIA L. 'AUTUMN GLOW' | HILLY GRASS | 1 GAL. | L | 4' X 4' PLANT 3' OC | |
| 35 | CALAMAGROSTIS A. 'KARL FOEBER' | FEATHERED | 1 GAL. | L | 2' X 2' PLANT 3' OC | |
| 289 | LOMANDRA LONGIFOLIA 'BREEZE' | BREEZE MAT RUSH | 1 GAL. | L | 3' X 3' PLANT 2'-6" OC | |
| 146 | PENNISSETUM S. 'KARLEY ROSE' | FOUNTAIN GRASS | 1 GAL. | L | 3' X 3' | 18 |

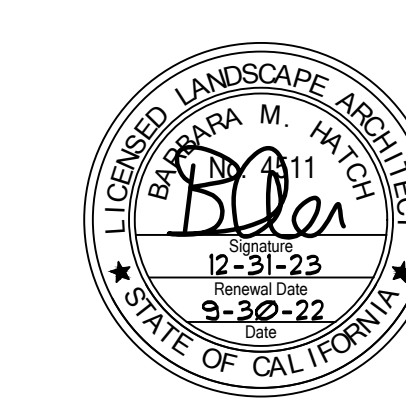
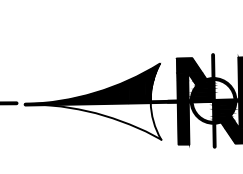
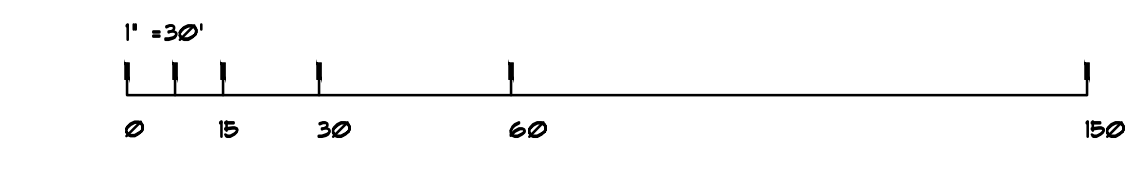
NOTE: ROOT BARRIERS SHALL BE INSTALLED PER TREE PLANTING DETAIL SHEET L33 WHERE TREES ARE WITHIN 10' OF PAVEMENT.

LEGEND

- BIO-SWALE PLANTING**
AREA TO BE SEEDED WITH A GRASS BIO-SWALE MIX. REFER TO SHEET L33 FOR SEED MIX AND APPLICATION.
 - SEEDED GRASSES & WILDFLOWERS**
NATIVE GRASSES SEED MIX. REFER TO SHEET L33 FOR SEED MIX AND APPLICATION.
 - MULCHES**
 - 4" MINIMUM DEPTH OF DECOMPOSED GRANITE AS AVAILABLE FROM A LOCAL SOURCE. PLACE OVER DEWITT PRO 5 LANDSCAPE FABRIC. TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLACING FABRIC. INSTALL FABRIC PER FIG. DIRECTION. RAKE SMOOTH AND WATER IN TO COMPACT. PLACE BARK PER LEGEND IN PLANT BASINS.
 - NOT SHOWN**
BARK MULCH-ALL PLANTERS NOT DESIGNATED FOR ROCK, DG, OR SEEDING. CHIPPED OR SHREDDED WOOD FINE OR FIB WASTE MULCH - PLACE 4" MIN. DEPTH OF SHREDDED NON-FLOATABLE WOOD WASTE FROM A LOCAL PRODUCER. 3/4" - 1" DIA. COLOR BROWN W/ NO VISIBLE CONTAMINANTS. PLACE 4" MIN. DEPTH OF BARK IN ALL PLANT BASINS IN ROCK MULCH AREAS.
 - 2'-4" DIA. FRACTURED ROCK BOULDERS, BOULDER COLOR AND TEXTURE TO BLEND WITH TAN ROCK MULCH. BURY BOULDER BY 1/2 IN SOIL AND OR DG. MULCH REFER TO DETAIL SHEET SHEET L33.
 - 4" MINIMUM DEPTH OF 4'-8" HIDDEN CANYON FRACTURED TAN ROCK AS AVAILABLE FROM SAN BENTO SUPPLY. PLACE OVER DEWITT PRO 5 LANDSCAPE FABRIC. TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLACING FABRIC. INSTALL FABRIC PER FIG. DIRECTION. PLACE BARK PER LEGEND IN PLANT BASINS.
 - 4" MINIMUM DEPTH OF 3'-8" FRACTURED GRAY ROCK AS AVAILABLE FROM TABLE MOUNTAIN QUARRY, JAMES TOWN, CA. PLACE OVER DEWITT PRO 5 LANDSCAPE FABRIC. TREAT WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLACING FABRIC. INSTALL FABRIC PER FIG. DIRECTION. PLACE BARK PER LEGEND IN PLANT BASINS.
- SAMPLES OF MULCH SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO DELIVERY TO THE SITE. MULCH SHALL BE A MIN. OF 4" DEPTH IN ALL PLANTER AREAS.
- THE LANDSCAPE CONTRACTOR SHALL FIELD PLACE PLANTS AROUND ABOVE GROUND UTILITIES TO SCREEN UTILITIES FROM PUBLIC STREETS AND PARKING AREAS AFTER PLACEMENT AND CONSTRUCTION OF UTILITY. PLANTINGS PER PLAN SHALL BE UTILIZED. PLANTS MAY BE RE-SPACED IN VICINITY OF UTILITY TO ACCOMMODATE SCREENING. CONTACT LANDSCAPE ARCHITECT IF PLANTING REQUIRES CLARIFICATION.

MATCH LINE SEE SHEET L1.2

LANDSCAPE PLAN BUILDING 3



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Owner:

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Project:
 International Park of
 Commerce
 IPC 3
 Tenant Improvement
 Tracy, CA

Consultants:

| | |
|-----------------|---------------|
| CIVIL | Kier & Wright |
| STRUCTURAL | |
| MECHANICAL | |
| PLUMBING | |
| ELECTRICAL | |
| LANDSCAPE | Green Design |
| FIRE PROTECTION | |
| SOILS ENGINEER | |

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 TI LANDSCAPE PLAN BUILDING 3
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MECHANICAL
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Title:

IRRIGATION
PLAN BUILDING 3

Project Number: 22608

Drawn by: BH

Date: PLAN 09/30/22

Revision:

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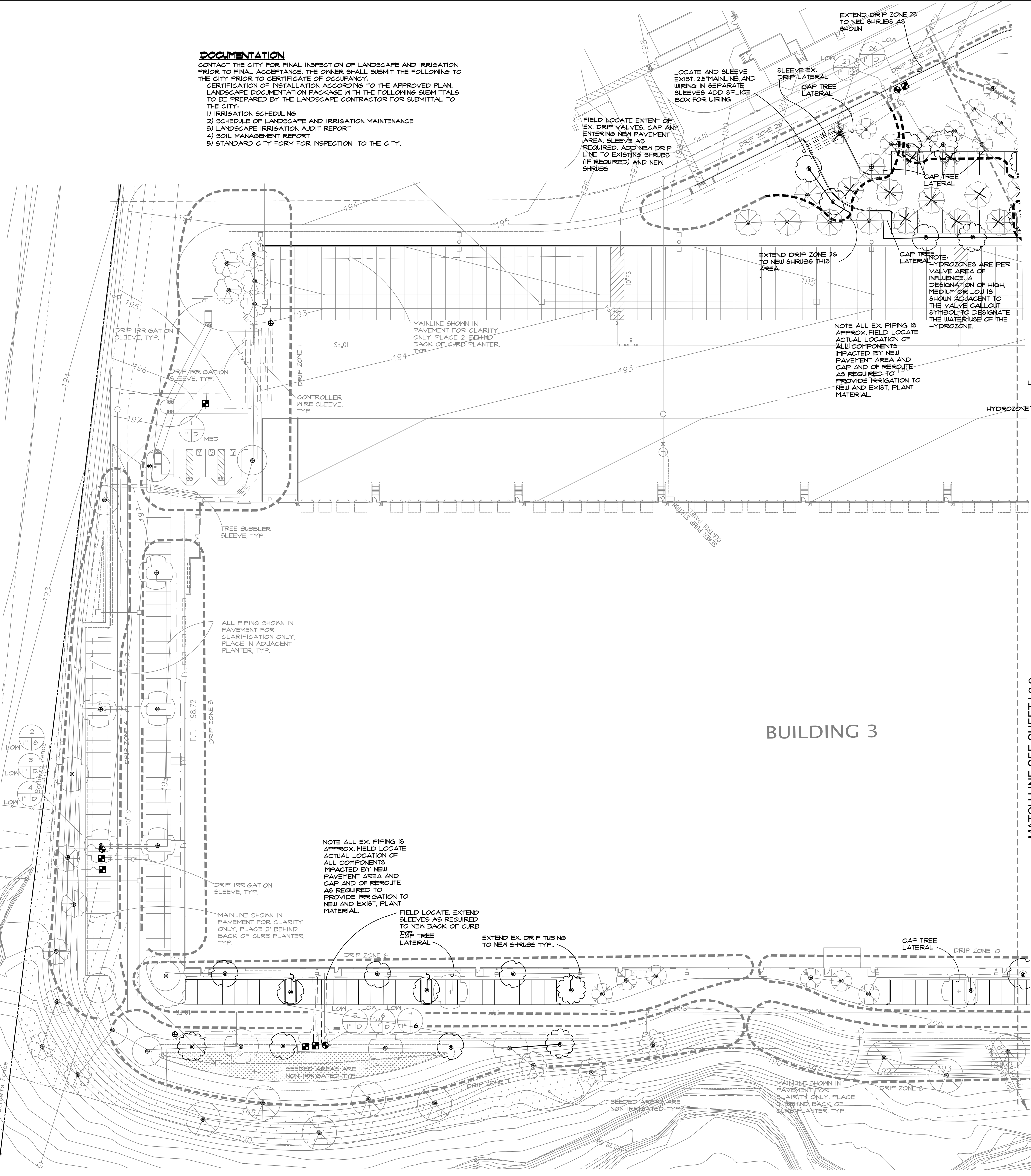
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DOCUMENTATION

CONTACT THE CITY FOR FINAL INSPECTION OF LANDSCAPE AND IRRIGATION PRIOR TO FINAL ACCEPTANCE. THE OWNER SHALL SUBMIT THE FOLLOWING TO THE CITY PRIOR TO CERTIFICATE OF OCCUPANCY:
1) IRRIGATION SCHEDULING
2) SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE
3) LANDSCAPE IRRIGATION AUDIT REPORT
4) SOIL MANAGEMENT REPORT
5) STANDARD CITY FORM FOR INSPECTION TO THE CITY.

IRRIGATION LEGEND (NEW COMPONENTS SHOWN ON PLAN TO MATCH)

| SYMBOL | MFG. | SERIES/MODEL | FSI | GPM |
|-----------|--------------|--|--|--------------|
| ⊙ | RAINBIRD | RWB(2) WITH (1/4) BUBBLER EA. | PRESS. COMP. BUBBLERS | 20-30 25 ea. |
| ⊙ | RAINBIRD | FEB SERIES (W/ PRESSURE REGULATOR ON BUBBLER ZONE) | REMOTE CONTROL VALVE (SIZE AS NOTED) | |
| ⊙ | RAINBIRD | XCZ-100 - FEB-COM W/ FEB-R VALVE | 1" DRIP CONTROL VALVE ASSEMBLY 30 psi (W/200 MESH SCREEN) | |
| ⊙ | NIBCO | T-FF600 | FULL PORT BRASS BALL VALVE SIZE PER MAINLINE | |
| ⊙ | NIBCO | T-1B-K | BRONZE GATE SHUT OFF VALVE W/ CROSS HANDLE SIZE PER PIPE | |
| ⊙ | RAINBIRD | ESP-LXD W/ 103G-USA CARTRIDGE | MODULAR DECODER SERIES WALL MOUNT CONTROLLER W/MODULES 320 STA. | |
| ⊙ | RAINBIRD | FS200P | 2" FLOW SENSOR INSTALL PER MFG. SPECIFICATIONS | |
| ⊙ | RAINBIRD | FE9B | 2" MASTER CONTROL VALVE | |
| NOT SHOWN | RAINBIRD | FD 102 OR 202 OR 402 | DECODER: 102 PER SINGLE ADDRESS VALVE, 202 FOR DOUBLE ADDRESS (2 VALVES), 402 FOR UP TO 4 VALVES | |
| NOT SHOWN | RAINBIRD | 8D210 | DECODER: 1 PER FLOW SENSOR | |
| --- | LATERAL | SCH 40 (SIZE PER NOTES) PURPLE PIPE | INSTALL • 12" MIN. BELOW FINISH GRADE RUN A 1" LATERAL TO ALL INDIVIDUAL TREE BUBBLERS PER VALVE. | |
| - - - - | DRIP LATERAL | 1" SCH 40 PVC PURPLE PIPE | INSTALL • 12" MIN. BELOW FINISH GRADE (NOT SHOWN) RUN A 1" LATERAL TO ALL INDIVIDUAL PLANTER AREAS PER VALVE. | |
| - - - - | IRRIG. MAIN | 2 1/2" SCH 40 PVC unless noted otherwise PURPLE PIPE | INSTALL • 18" MIN. BELOW FINISH GRADE ADD RECYCLED WATER WARNING TAPE • 6" DEPTH ABOVE PIPE. | |
| - - - - | DRIP ZONE | | | |
| - - - - | FEPCO TORO | 3/4" FLEXIBLE TUBING TURBO-SC EMITTERS | INSTALL • 6" MIN. BELOW FINISH GRADE (NOT SHOWN) (PURPLE STRIPE) SINGLE OUTLET (SELF FLUSHING) PRESSURE COMPENSATING - INSTALL DRIP TO ALL PLANTS • (2) 1/2 GPH/1 GAL, 2 GPH/5 GAL, 3 GPH/5 GAL, 4 GPH/24" OR 36" BOX (NOT SHOWN) | |
| - - - - | SLEEVE | SCH. 40 PVC | INSTALL • 18" MIN. BELOW FINISH GRADE ADD RECYCLED WATER WARNING TAPE • 6" DEPTH ABOVE PIPE. | |
| P.O.C. | | POINT OF CONNECTION | | |
| LOW | | VALVE IDENTIFICATION NUMBER | | |
| 3 | | GALLONS PER MINUTE OR 'D' FOR DRIP IRRIG. VALVE | | |
| 1" 11B | | VALVE SIZE | | |
| ⊙ | RAINBIRD | WR2 | WIRELESS RAIN SENSOR (INSTALL PER MFG. DIRECTION, 1500 LF. MAX. LINE OF SIGHT) | |
| ⊙ | RAINBIRD | 44NP | 1" QUICK COUPLER VALVE, 2 PIECE BODY W/ LOCKING COVER | |
| ⊙ | | | WIRE SPLICE - NOT SHOWN-TO BE FIELD NOTED FOR ASBUILT DRAWINGS | |
| ⊙ | | | MAINLINE DRAIN-NOT SHOWN-TO BE FIELD NOTED FOR ASBUILT DRAWINGS | |



BUILDING 3

MATCH LINE SEE SHEET L2.2

NOTE: RUN A 1" SCH 40 PVC LATERAL TO ALL REMOTE AREAS WITHIN EACH DRIP ZONE. RUN 3/4" FLEXIBLE TUBING TO THE EXTENTS OF ALL PLANTER AREAS. REFER TO DETAIL SHEET FOR EMITTER LAYOUT.

NOTE: THE CONTROLLER ET MANAGER SHALL RECEIVE WEATHER INFORMATION FROM THE TRACY WEATHER STATION FOR DAILY WEATHER AND ET UPDATING. INDIVIDUAL ZONE INFORMATION SHALL BE INPUT BY THE IRRIGATION SPECIALIST FOR PLANT AND SOIL TYPE, WATER REGIME AND EXPOSURE.

THE IRRIGATION SYSTEM SHALL BE SET TO OPERATE BETWEEN 10 PM AND 1 AM. THE APPLICATION RATE FOR ROTOR HEADS SHALL NOT EXCEED .25" PER CYCLE AND SHALL NOT EXCEED .75" PER HOUR. THE CONTROLLER SHALL BE SET TO CYCLE AT MULTIPLE START TIMES PER WATERING DAY TO PER SOIL INFILTRATION CAPACITY TO AVOID RUNOFF.

THE IRRIGATION SHALL BE CONSISTENT WITH THE PROVISIONS LISTED IN STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PRACTICES AND SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY'S LANDSCAPING POLICIES. THE IRRIGATION SHALL BE MAINTAINED BY THE IRRIGATION CONTRACTOR PER THE MAINTENANCE SPECIFICATIONS AVAILABLE AT WWW.STOPWASTE.ORG AND SHALL BE PART OF THE CONTRACT BETWEEN THE OWNER AND IRRIGATION CONTRACTOR. THE IRRIGATION SHALL BE MAINTAINED FOR A MINIMUM OF ONE YEAR BY THE INSTALLATION CONTRACTOR. THE IRRIGATION CONTRACTOR SHALL HAVE ON ITS STAFF A CERTIFIED IRRIGATION PROFESSIONAL TO PROVIDE WRITTEN PROCEDURES AND PERFORM TESTING AND ADJUSTMENT PROCEDURES. PROVIDE A WRITTEN WATERING SCHEDULE AND PERFORM AN IRRIGATION AUDIT. THE PROVISION OF THE TESTING PROCEDURES, WATERING SCHEDULE AND SHALL BE PART OF THE INSTALLATION/MAINTENANCE CONTRACT. THE TESTING PROCEDURES AND WATERING SCHEDULE SHALL BE SUBMITTED TO THE CITY ENGINEER UPON COMPLETION OF INSTALLATION AND AUDIT. A DETAILED OPERATING AND MAINTENANCE REPORT INCLUDING INSTRUCTIONS AND COPIES OF WARRANTIES/QUARANTEES SHALL BE SUBMITTED TO THE OWNER AND THE CITY UPON COMPLETION OF INSTALLATION AND AUDITING. THE OPERATING AND MAINTENANCE REPORT SHALL BE UPDATED AT AT THE END ON THE ONE YEAR MAINTENANCE PERIOD IF REQUIRED.

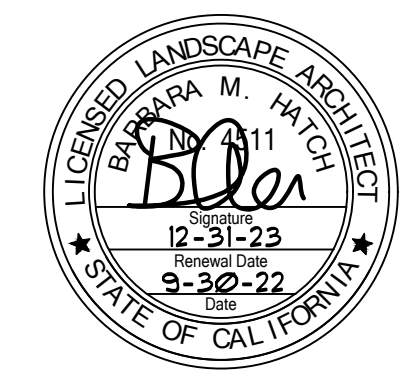
PROVIDE 1 DIGITAL COPY OF SUBMITTAL PACKAGE OF ALL IRRIGATION COMPONENTS AND MATERIALS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.

THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY PRESSURE AT EACH POINT OF CONNECTION. THE SYSTEM IS DESIGNED WITH A MINIMUM OF 25 FSI AT MAINLINE POC CONNECTIONS.

THE IRRIGATION CONTRACTOR SHALL SUBMIT A SPREAD SHEET FOR HYDRAULIC DEMAND OF MAXIMUM COMBINED GPM REQUIREMENTS AND AVERAGE COMBINED GPM REQUIREMENTS BASED UPON DAILY DEMAND PER WATERING WINDOWS OF OPERATION PRIOR TO INSTALLATION OF THE MAINLINE. STATIC PRESSURE TESTS AT POINTS OF CONNECTION SHALL BE MADE PRIOR TO PREPARING HYDRAULIC DEMAND AND SUBMITTED. SUBMITTALS SHALL BE REVIEWED FOR PERFORMANCE OF MAINLINE SIZING AS SPECIFIED TO ACTUAL FIELD CONDITIONS PRIOR TO ORDERING OF PIPE OR INSTALLATION.

WATER EFFICIENT LANDSCAPE REQUIREMENTS

AUTOMATIC CONTROLLER W/ ET DATA. REPEAT CYCLING IRRIGATION ZONES PER PLANT WATER REQUIREMENTS
RAIN SENSOR SENSOR TO IS SPECIFIED
SOIL AMENDMENTS TO BE INCORPORATED
PLANTER SURFACE AREAS TO BE MULCHED
WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD





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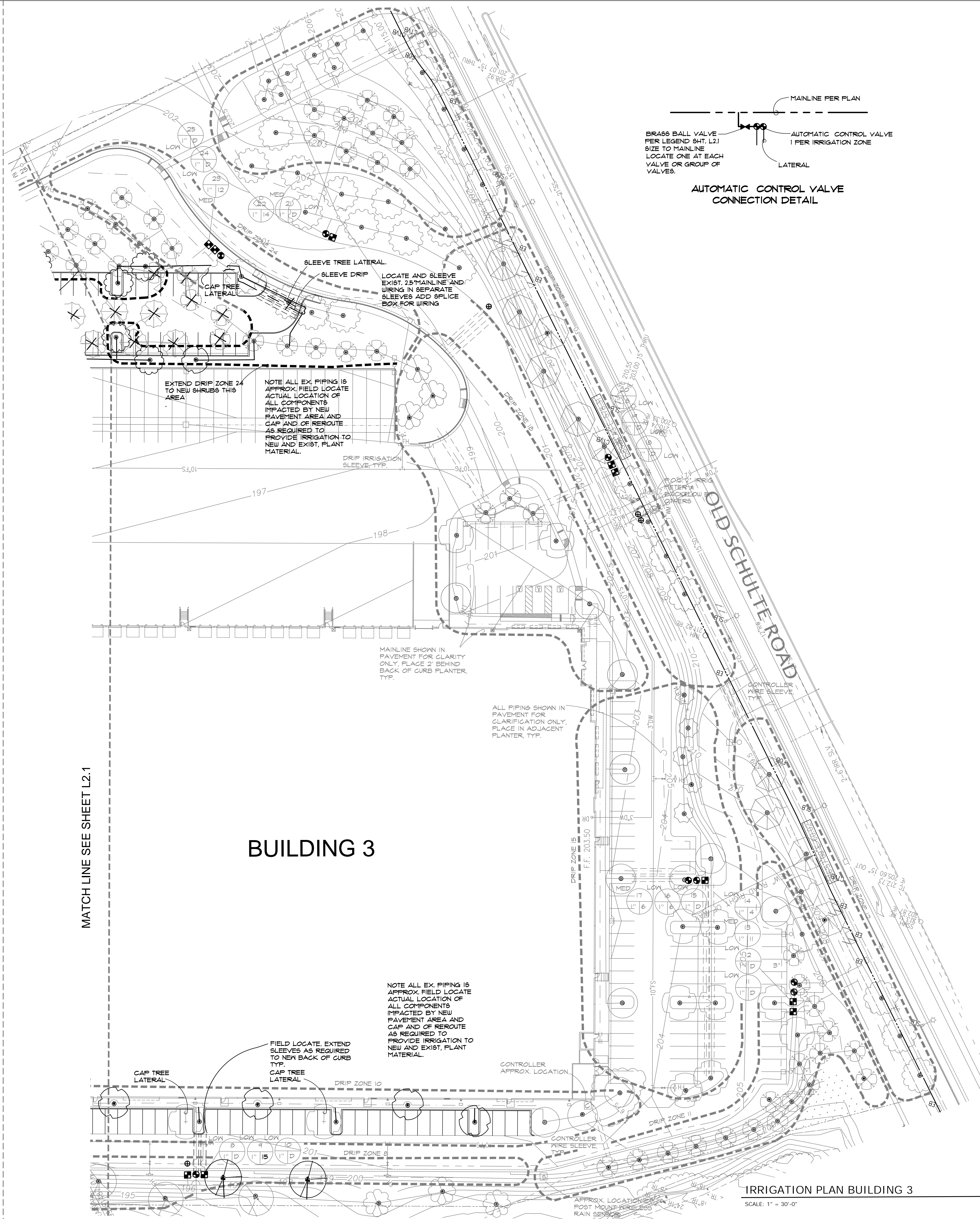
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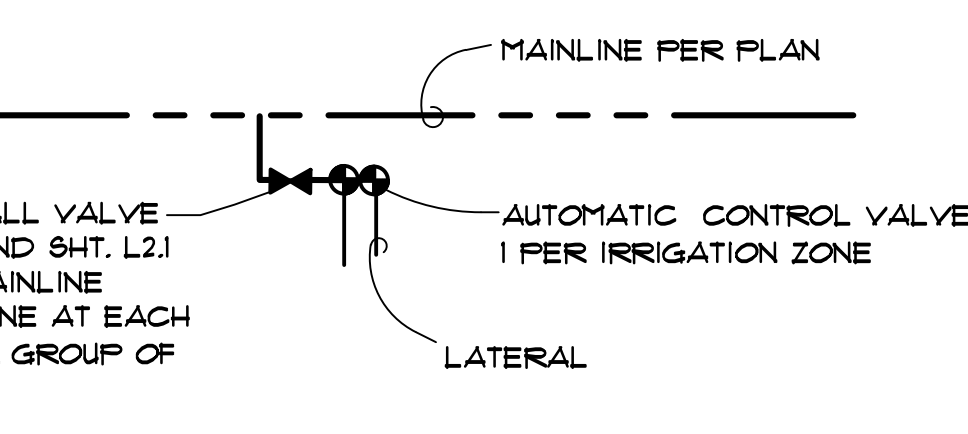
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ORIGINAL PLAN IRRIGATION NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS. THE REQUIREMENTS OF THE CITY, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LOCAL BUILDING CODES, ORDINANCES, AND OTHER CODES OR REGULATIONS THAT APPLY.
2. SLEEVES ARE NOT SHOWN AT PAVEMENT CROSSINGS. ALL PIPING AND WIRING UNDER PAVING SHALL BE INSTALLED IN SLEEVES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL SLEEVING WITH THE GENERAL CONTRACTOR. FAILURE OF INSTALLING SLEEVES PRIOR TO PAVING SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INSTALLED AT HIS EXPENSE. PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. LATERAL SLEEVES SHALL BE A MINIMUM OF 18" DEPTH, MAINLINE SLEEVES SHALL BE A MINIMUM 24" DEPTH. SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) O.D. DIAMETER OF THE PIPE TO BE SLEEVED. CONTROLLER WIRE SLEEVES SHALL BE 2X THE SIZE FOR THE REQUIRED NUMBER OF WIRES. BACKFILL MIN. 4" SAND.
3. MAINLINE SLEEVES UNDER PAVEMENT SHALL BE INSTALLED 18" BELOW THE SUBGRADE. THE TRENCH SHALL BE CLEANED FREE OF ALL ROCK & DEBRIS, AND BACKFILLED WITH SAND TO A MINIMUM DEPTH OF 4" OVER THE SLEEVE OVER AND UNDER THE SLEEVE. BACKFILL TRENCH WITH 1/2" MINIMUM.
4. ALL MAIN LINES SHALL BE PRESSURE TESTED AT 120 PSI FOR A MINIM. 2 1/2 HOUR PERIOD PRIOR TO BACKFILLING OF TRENCHES. IF ANY LEAKS ARE PRESENT THEY SHALL BE CORRECTED AND LINES SHALL BE RE-TESTED PRIOR TO BACKFILLING TRENCHES.
5. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED. IF SUBSTITUTIONS OF LARGER PIPE SIZES ARE APPROVED, ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
6. THE IRRIGATION CONTRACTOR SHALL FLUSH ALL LATERALS PRIOR TO INSTALLING EMITTER HEADS.
7. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC., SHOWN IN THESE PLANS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN THE PLANTER AREAS.
8. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS, FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER ROADWAYS AND PAVING.
9. SHOULD DISCREPANCIES IN THE PLANS OR FIELD MODIFICATIONS BE REQUIRED, CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR RESOLUTION OR CLARIFICATION.
10. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
11. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
12. THE CONTRACTOR SHALL AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND UTILITIES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THE SAME.
13. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND POWER AND/OR TELEPHONE, WATER, GAS AND SEWER FACILITIES SO AS TO SAFELY PROTECT ALL UTILITIES, PERSONNEL, AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE FROM DAMAGE, AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
15. AN OPEN TRENCH INSPECTION OF THE REDUCED PRESSURE PRINCIPLE BACKFLOW DEVICE SHALL BE PERFORMED BY THE WATER PURVEYOR PRIOR TO OPERATING THE IRRIGATION SYSTEM.
16. THE IRRIGATION CONTROLLER SHALL BE WIRED DIRECTLY TO THE POWER SOURCE. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING CONTROLLER WIRING TO THE CONTROLLER LOCATION. CONNECTING THE CONTROLLER TO THE POWER SOURCE SHALL BE THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR. THE INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES OR ORDINANCES THAT APPLY. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE POWER SOURCE AND EXACT LOCATION OF THE CONTROLLER WITH OWNER'S REPRESENTATIVE. FINAL CONNECTION OF THE VALVE WIRES TO THE CONTROLLER SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY.
17. INSTALL REMOTE CONTROL VALVES, PRESSURE REGULATOR AND QUICK COUPLER VALVES AS DETAILED. INSTALL R.C.V. ID TAGS MANUFACTURED BY T. CHARITY, ENT. STANDARD SIZE, 1/8" HOT STAMPED BLACK LETTERS ON YELLOW BACKGROUND ON SOLENOID WIRES. LETTERS TO CONFORM TO CONTROLLER/STATION NUMBER.
18. ALL VALVE WIRING SHALL BE PAIGE 2 WIRE MAXI-CABLE, APPROVED FOR DIRECT BURIAL IN GROUND. CONNECT WIRES AS DETAILED PER MANUFACTURER'S SPECIFICATIONS UTILIZING RAINBIRD DIE-CAST GREASE FILLED CONNECTORS. ALL WIRE STRIPPING TO BE DONE WITH KING WIRE STRIPPER AVAILABLE ON AMAZON.COM. EACH WIRE AT VALVES SHALL HAVE 24" EXCESS COILED LOOP IN VALVE BOX. TAPE WIRE CABLE TO MAINLINE EVERY FIFTEEN FEET (15') FLOW SENSOR WIRE SHALL BE PAIGE FE83 FROM THE FLOW SENSOR TO THE 2 WIRE CABLE. PROVIDE 2 WIRE CABLE GROUND ROD IN BOX WITH RAINBIRD LSPH SURGE PROTECTOR EVERY 800 LF OR EVERY EIGHT DECADERS WHICH EVER COMES FIRST. 2 WIRE CABLE IS TO BE LOOPED AROUND THE BUILDING FROM THE CONTROLLER TO THE CONTROLLER. TAPE WIRE CABLE MAINLINE PER DETAILS.
19. ALL BACKFILL MATERIAL, OTHER THAN SAND AROUND THE MAINLINE, SHALL BE FREE OF ROCKS, CLODS AND OTHER EXTRANEOUS MATERIALS, COMPACT BACKFILL TO ORIGINAL DENSITY.
20. AT JOB COMPLETION, SUPPLY OWNER WITH ONE (2) SETS OF MATCHING QUICK COUPLER VALVE KEY AND HOSE SWIVEL, AND TWO (2) KEYS FOR EACH CONTROLLER. ALL MANUFACTURER'S INFORMATION.



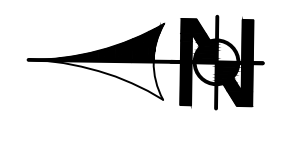
AUTOMATIC CONTROL VALVE CONNECTION DETAIL



MATCH LINE SEE SHEET L2.1

BUILDING 3

IRRIGATION PLAN BUILDING 3
 SCALE: 1" = 30'-0"



CITY OF TRACY

DETERMINATION OF THE DEVELOPMENT SERVICES DIRECTOR

Application Number D22-0049

A determination of the Development Services Director approving Development Review Permit Application Number D20-0049 for 107 additional automobile parking spaces at an existing light industrial development at 6551 West Schulte Road, Assessor's Parcel Number 209-120-09 - Applicant is HPA, Inc. and Owner is Prologis. L.P.

Staff has reviewed the application and determined that the following City regulations apply:

1. Cordes Ranch Specific Plan
2. Existing improvements approved under Development Review Permit Application D16-0011
3. Parking, circulation, and landscaping

The Development Services Director has determined that the proposed project is consistent with the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011. Pursuant to CEQA Guidelines Section 15183, no additional environmental documentation is required. The project will not introduce significant on or off-site impacts which were not already discussed in the Cordes Ranch and General Plan EIRs. There is also no evidence of any significant impacts to occur off-site as a result of the project, as traffic, air quality, land use and other potential cumulative impacts have already been considered within the original environmental documentation. No new evidence of potentially significant effects has been identified as a result of this project.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES DEVELOPMENT REVIEW PERMIT FOR THE ADDITIONAL AND MODIFIED TRAILER PARKING AND ASSOCIATED SITE IMPROVEMENTS AT PROJECT BIG BIRD, APPLICATION NUMBER D22-0049, SUBJECT TO THE CONDITIONS CONTAINED IN EXHIBIT 1 AND BASED ON THE FOLLOWING FINDING:

- 1) The proposal increases the quality of the project site, and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy, because the proposed project would be constructed to match the existing site and landscaping design in a manner that is consistent with the Cordes Ranch Areas Specific Plan. The parking areas will be accessible by existing drive aisles that already provide through-circulation throughout the site. New landscaping, including canopy shade trees, will be provided for the additional parking areas with a palette that complements the existing landscaping.
- 2) The proposal conforms to the City of Tracy General Plan, the Cordes Ranch Specific Plan, the City's Design Goals and Standards, any applicable Infrastructure Master Plans, City Standard Plans, and other City regulations.

Jaylen French
Development Services Director

Date of Action

CITY OF TRACY
CONDITIONS OF APPROVAL
IPC 3 Additional Automobile Parking
Application Number D22-0049

A. General Provisions and Definitions

1. These Conditions of Approval shall apply to the real property located at 6551 West Schulte Road, Assessor's Parcel Number 209-120-09, Application Number D22-0049, for 107 additional automobile parking spaces at the IPC Building 3 site (hereinafter "Project").
2. The following definitions shall apply to these Conditions of Approval:
 - a. "Applicant" means any person, or other legal entity, defined as a "Developer".
 - b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, or the Development Services Director, or the City Engineer to perform the duties set forth herein.
 - c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, Cordes Ranch Specific Plan, ordinances, resolutions, policies, procedures, and City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans), and the California Building Code and California Fire Code.
 - d. "Development Services Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
 - e. "Conditions of Approval" shall mean the conditions of approval applicable to the 107 additional automobile parking spaces at the IPC Building 3 site, Application Number D22-0049. The Conditions of Approval shall specifically include all City of Tracy conditions set forth herein, including South San Joaquin County Fire Authority conditions, set forth herein.
 - f. "Project" means Application Number D22-0049 consisting of 107 additional automobile parking spaces at the IPC Building 3 site located at 6551 West Schulte Road, Assessor's Parcel Number 209-120-09.
 - g. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.
3. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the

Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and the Guidelines for California Environmental Quality Act (California Administrative Code, Title 14, Sections 1500, et seq., "CEQA Guidelines").

4. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
5. Pursuant to Government Code section 66020, including section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

B. Planning Division Conditions of Approval

- B.1. Except as otherwise modified herein, the project shall be developed in accordance with the plans received by the Development Services Department on December 29, 2022. Prior to the issuance of any building permits, any deviations from the approved plans shall be evaluated for substantial compliance with the approved plans to the satisfaction of the Development Services Director. Should any deviations be determined not to be in substantial compliance with the approved plans, they shall be reviewed in a new Development Review application process.
- B.2. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
- B.3. All improvements shall be consistent with the Tracy Municipal Code, Cordes Ranch Specific Plan, Standard Plans, and other applicable City Regulations.
- B.4. Before the approval of a building permit, the applicant shall provide detailed plans that demonstrate a minimum of one foot candle throughout the parking areas. All exterior lighting shall be directed downward, onto the parking and maneuvering surface and away from the public rights-of-way.
- B.5. Prior to the erection of any light poles with a height in excess of 40 feet, the developer shall gain the approval of the Conditional Use Permit from the Planning Commission. Should a Conditional Use Permit not be approved, any freestanding light poles shall not exceed a height of 40 feet.
- B.6. Prior to issuance of a building permit, detailed plans demonstrating compliance with onsite landscaping standards as established in the Cordes Ranch Specific Plan and

the Tracy Municipal Code Off-Street Parking ordinance. Such plans shall demonstrate that all landscape areas, including bioswales, are appropriately comprised of a combination of trees, shrubs, groundcover, and irrigation to the satisfaction of the Development Services Director.

- B.7. Where landscape planters are parallel and adjacent to the side of vehicular parking spaces, a 12" wide concrete curb shall be placed adjacent to the parking space to allow for pedestrian access to vehicles without damage to the landscape areas.
- B.8. Prior to issuance of a building permit, an Agreement for Maintenance of Landscape and Irrigation Improvements shall be executed and financial security submitted to the Development Services Department. The Agreement shall ensure maintenance of the on-site landscape and irrigation improvements for a period of two years. Said security shall be equal to the actual material and labor costs for installation of the on-site landscape and irrigation improvements or \$2.50 per square foot of on-site landscape area.
- B.9. Prior to final inspection or certificate of occupancy, all landscaping and irrigation substantially conforming with the development review permit plans dated December 29, 2022 and the approved building permit construction plans shall be installed to the satisfaction of the Development Services Director.
- B.10. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all mitigation measures identified in the Cordes Ranch Specific Plan Environmental Impact Report (EIR), approved by the City Council on September 3, 2013, and the General Plan EIR approved by the City Council on February 1, 2011.

C. Engineering Division Conditions of Approval

C.1. General Conditions

- C.1.1 Developer shall comply with the applicable requirements of the technical analyses and reports prepared for the Project listed as follows:
 - a) "Mitigation Measures and Monitoring Program for the Cordes Ranch Specific Plan", adopted by the City Council September 3, 2013 (Resolution No. 2013-143).
 - b) "Geotechnical Investigation for IPC Building 3 & 4 – Prologis" titled International Park of Commerce (IPC) Buildings 3,4, and Associated Detention Basins North of Gateway Boulevard and Old Schulte Road Intersection, Tracy, California" prepared by Kleinfelder, dated May 12, 2016, and any subsequent amendments or updates.
- C.1.2 Developer shall comply with applicable requirements of the Development Agreement By and Between the City of Tracy and Prologis, L.P., approved by City Council September 3, 2013 (Ordinance Number 1188).

C.2. Grading Permit

The City will not accept grading permit application for the Project as complete until the Developer has provided all relevant documents related to said grading permit required

by the applicable City Regulations and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.2.1. Grading and Drainage Plans prepared on a 24" x 36" size paper. Grading and Drainage Plans shall be prepared under the supervision of and stamped and signed by a Registered Civil Engineer.
 - C.2.2. Payment of the applicable Grading Permit fees which include grading plan checking and inspection fees, and other applicable fees as required by these Conditions of Approval.
 - C.2.3. For Projects on property smaller than one (1) acre: Prior to the issuance of the Grading Permit, the Developer shall submit to the Utilities Department (stephanie.hiestand@cityoftracy.org) one (1) electronic copy and 1 hard copy of the City of Tracy Erosion and Sediment Control Plan (ESCP) for approval. Cost of preparing the ESCP including any annual storm drainage fees shall be paid by the Developer. Developer shall comply with all the requirements of the ESCP, applicable BMPs and the Post-Construction Stormwater Standards adopted by the City in 2015 and any subsequent amendment(s).
 - C.2.4. Developer shall provide a PDF copy of the Project's Geotechnical Report signed and stamped by a Registered Geotechnical Engineer. The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, retaining wall recommendations, if necessary, paving recommendations, paving calculations such as gravel factors, gravel equivalence, etc., slope recommendations, and elevation of the highest observed groundwater level.
 - C.2.5. A copy of the Approved Fugitive Dust and Emissions Control Plan that meets San Joaquin Valley Air Pollution Control District (SJVAPCD) as required in Mitigation Measure AQ-1 and AQ-2 of the Mitigation Monitoring and Reporting Program of the Cordes Ranch Specific Plan Final Environmental Impact Report (CRSP EIR).
 - C.2.6. Documentation of any necessary authorizations from Regional Water Quality Control Board (RWQCB) as required in the applicable mitigation measures identified in the Cordes Ranch Specific Plan EIR.
 - C.2.7. Two (2) sets of Hydrologic and Storm Drainage Calculations for the design of the on-site storm drainage system, as required in Conditions C.3.2.a, below.
- C.3. Grading and Storm Drainage Plans
- C.3.1. Site Grading
 - a) Include all proposed erosion control methods and construction details to be employed and specify materials to be used. All grading work shall be performed and completed in accordance with the recommendation(s) of the Project's Geotechnical Engineer. A copy of the Project's Geotechnical Report must be submitted with the Grading and Storm Drainage Plans.
 - a) When the grade differential between the Project Site and adjacent property(s) exceeds 12 inches, a reinforced concrete or masonry block, or engineered retaining wall is required for retaining soil. The Grading Plan

shall show construction detail(s) of the retaining wall or masonry wall. The entire retaining wall and footing shall be constructed within the Project Site. A structural calculation shall be submitted with the Grading and Storm Drainage Plans.

- a) An engineered fill may be accepted as a substitute of a retaining wall, if any, subject to approval by the City Engineer. The Grading and Storm Drainage Plans must show the extent of the slope easement(s). The Developer shall be responsible for obtaining permission from owner(s) of the adjacent and affected property(s). The slope easement must be recorded, prior to the issuance of the final building certificate of occupancy.
- a) Grading for the site shall be designed such that the Project's storm water can overland release to either a public street or to a public storm drainage facility.

C.3.2. Storm Drainage

- a. Calculations related to the design and sizing of on-site storm water treatment facilities must be submitted with the Grading and Storm Drainage Plans, and approved by City's Stormwater Coordinator prior to issuance of the Grading Permit for the Project.
- b. The design and construction details of the Project's storm drainage system and treatment facilities shall meet City Regulations and shall comply with the applicable requirements of the Multi-Agency Post-Construction Stormwater Standards Manual, dated June 2015 and any subsequent amendments.

D. Building Safety Division Conditions of Approval

- D.1. Prior to construction, applicant shall submit plans and details to the Building Safety Division that demonstrate compliance accessibility requirements for the increase in parking spaces available (i.e. parking analysis) to this facility per California Building Code 11B-208.
- D.2. At the time of improvement plan application, applicant to submit plans and/or details that demonstrate compliance with accessibility requirements including 2% maximum cross slopes where driveway serves as an accessible route per California Building Code 11B-206.
- D.3. At the time of improvement plan application, applicant to submit plans and/or details that demonstrate compliance with accessibility requirements at sidewalk joints including maximum opening and changes in level per California Building Code 11B-302.3 and 11B-303 respectively.

E. South San Joaquin County Fire Authority (SSJCFA) Conditions of Approval

- E.1. Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority for review and approval.
 - E.1.1. Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.
 - E.1.2. Engineering and building permit applications received by our offices are subject to the current fee schedule for South San Joaquin County Fire Authority. Contact our offices for additional information.

- E.2. Fire apparatus access roads during construction shall have a minimum 26' unobstructed width in accordance with CFC §503.

- E.3. All exterior doors from the warehouse shall be maintained accessible during construction in compliance with Chapter 32 of the California Fire Code.