

April 10, 2023

DIRECTOR PUBLIC HEARING  
AGENDA ITEM 2

REQUEST

**PUBLIC HEARING TO CONSIDER (1) APPROVING A DEVELOPMENT REVIEW PERMIT TO CONSTRUCT A FENCE WITH PEDESTRIAN AND VEHICLE GATES AT EXISTING WATERSTONE APARTMENTS AT 1951 MIDDLEFIELD DR. AND (2) DETERMINING THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO CEQA GUIDELINES SECTION 15303(E) WHICH PERTAINS TO NEW CONSTRUCTION OF SMALL OR ACCESSORY STRUCTURES SUCH AS FENCES. APPLICANT IS UNITED FENCE SERVICES AND PROPERTY OWNER IS WATERSTONE APARTMENTS CA, LLC. APPLICATION NUMBER D22-0036.**

DISCUSSION

Project Site

The project site is an existing apartment complex named Waterstone Apartments. The project site is on the northeast corner of S. Corral Hollow Rd. and Middlefield Drive. Waterstone Apartments is surrounded on the east and north property lines by the residential portion of the Edgewood Planned Unit Development (PUD). The Ellis residential subdivision is west of Waterstone Apartments and the commercial parcel of Edgewood PUD is south of Waterstone apartments (Attachment A: Location Map).

Site Analysis

The project site is zoned Planned Unit Development (PUD) and has a General Plan designation of Residential High. The existing project site is within the Residential High Density portion of the Edgewood PUD. The proposed fence with pedestrian and vehicle gates would be compatible with the surrounding land uses, which include existing single-family homes and a gas station with convenience store.

Architecture

The proposed 381 feet of fencing is a black tubular steel picket fence that will connect to the existing CMU wall that terminates just past the northeast street corner of S. Corral Hollow Rd. The two 20-foot-wide side gates, one 25-foot-wide side gate, and pedestrian gate will be made of black tubular steel with an ornamental picketed design with expanded metal mesh. The 25-foot-wide side gate is proposed on the existing west entrance off S. Corral Hollow Road and the two 20-foot-wide side gates with pedestrian gate are proposed at the existing south main entrance. The proposed fence and gate design is consistent with the City's Design Goals and Standards (Attachment B: Site Plan and Elevations).

Environmental Document

The project is categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines section 15303(e) which pertains to new construction of small or accessory structures such as fences. No further environmental assessment is necessary.

RECOMMENDATION

Staff recommends that the Development Services Director (1) approve a Development Review Permit to construct a fence with pedestrian and vehicle gates at existing Waterstone apartments at 1951 Middlefield Dr. and (2) determine the project is categorically exempt from the California Environmental Quality Act pursuant to CEQA guidelines section 15303(e) which pertains to new construction of small or accessory structures such as fences, based on the findings contained in the Director Determination dated April 10, 2023 (Attachment C).

Prepared by Kenny Lipich, Associate Planner

Approved and Reviewed by Bill Dean, Assistant Director of Development Services

ATTACHMENTS

- A: Location Map
- B: Site Plan and Elevations
- C: Development Services Director Determination  
Exhibit 1 – Conditions of Approval



ATTACHMENT  
A

EDGEWOOD

ELLIS

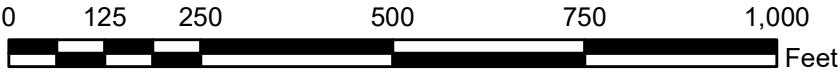
Subject  
Property

S. CORRAL HOLLOW RD.

MIDDLEFIELD DR.



Think Inside the Triangle™



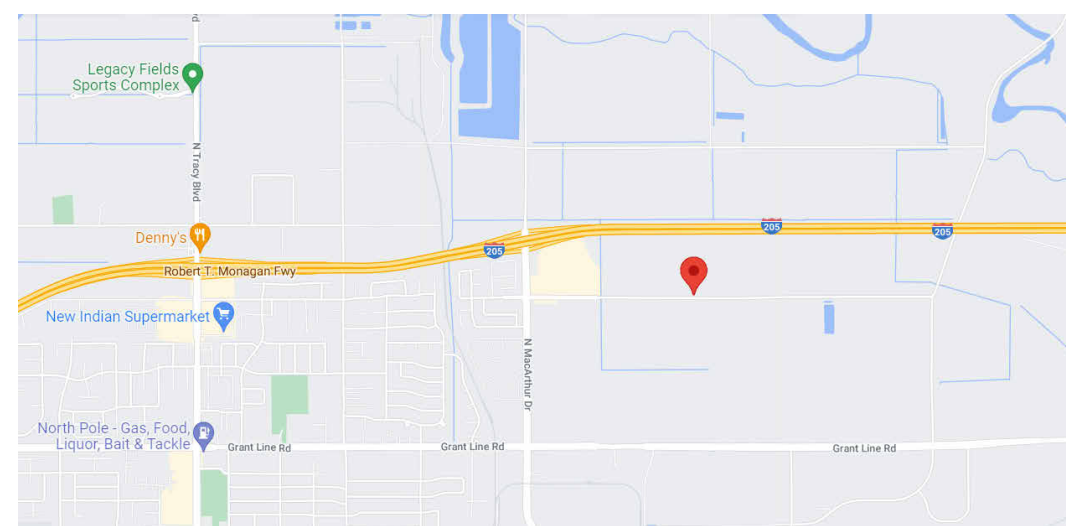
# 1951 Middlefield Dr.

Scope of work: Installation of new fence & gates, (381'x6' fence, (2) 20' slide gates, (1) 25' slide gate, & (1) man gate) No removal of parking stalls, no additional landscape work needed.

## Owner/Applicant

Waterstone Apartments CA, LLC  
105505 Sorrento Valley Rd. Suite 300  
San Diego, CA 92121  
Bryan Foster

## Vicinity Map:



## Project Team:

### Engineer

JCWagner & Associates  
2132 N El Dorado St.  
Stockton, CA 95204  
Contact: Doug Wagner, PE  
Wk (209) 227-7646

### General Contractor

United Fence Services Inc.  
5491 W. F Street  
Tracy, CA 95304  
(209) 879-9054

## Code Compliance:

All work shall be performed in accordance with the following codes, including but not limited to:

- 2019 California Building Code
- 2019 California Electrical Code
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 Building Energy Efficiency Standards
- 2019 California Existing Building Code
- 2019 California Fire Code
- 2019 California Green Building Code

Any Codes Referenced by the CBC, e.g. ASCE 7, ACI 318, 2018 IBC, AISC-360, etc.



Underground Service Alert of Northern California

Counties Served:

Alameda, Alameda, Butte, Colusa, Contra Costa, Contra Costa, El Dorado, Fresno, Glenn, Humboldt, Kern, Kings, Lake, Lassen, Modoc, Marin, Mariposa, Mendocino, Merced, Modoc, Mono, Monterey, Napa, Placer, Plumas, Sacramento, San Benito, San Francisco, San Joaquin, San Luis Obispo, San Mateo, Santa Clara, Santa Cruz, Shasta, Sierra, Siskiyou, Solano, Sonoma, Stanislaus, Sutter, Tehama, Trinity, Yuba, Yuba, Yuba

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## General Notes:

- These drawings have been prepared using standards of professional care and completeness normally exercised under similar conditions by a reputable Engineer. They necessarily assume the work depicted will be performed by an experienced Contractor and/or workman who has a working knowledge of the applicable code, standards and requirements of industry acceptable standards of good installation/construction practices. As not every condition or detail is (or can be) explicitly shown on these drawings, it is understood that the Contractor will use acceptable industry standard good practice for all miscellaneous work not shown on the plans.
- Calculations and design of miscellaneous non-structural items, such as stairs, railings, non-structural walls and prefabricated items, such as roof trusses or floor trusses, are not included and are to be provided by others unless specifically noted on these drawings.
- These drawings represent the finished structure. They do not explain the method of construction. The Contractor shall be solely responsible for construction means, methods, techniques, sequences, schedule and procedures. It shall be the Contractor's responsibility to design and provide adequate shoring, bracing, form-work, etc. as required for the protection of life and property during construction. Visits to the site by the Engineer shall not include inspection of this item.
- During construction materials shall be uniformly spread out such that the design live load per square foot as stated herein is not exceeded. Visits to the site by the Engineer shall not include inspection of this item.
- The Contractor shall be responsible for all excavation procedures including shoring and protection of adjacent property, structures, streets and utilities in accordance with local building codes, the local building department and/or OSHA requirements.
- The Contractor shall be responsible for verification of all dimensions, conditions and elevations within architectural and/or structural drawings prior to the start of construction. The Contractor shall inform the Architect or Engineer in writing of any discrepancies or omissions noted on the drawings. Any such discrepancy, omission or variance not reported before the start of the construction shall be the responsibility of the Contractor. If discrepancies exist on these drawings, notes and details shall take precedence over the general notes.
- Where reference is made to codes or test standards for materials of construction, the latest edition and/or addendum adopted by the governing agency shall be used.
- Any options stated or drawn are for the Contractor's convenience. If the option is used the Contractor shall use the latest code, test standard or manufacturer's recommendations.
- Typical details and notes shall apply, though not necessarily indicated at a specific location on the drawings. Where no details are shown, construction shall conform to similar work on the project. Details may show only one side of the detail or may omit information for clarity.
- Verify and establish all openings, inserts or offsets for Architectural, Mechanical, Electrical or Plumbing, etc., with appropriate trades, drawings and Subcontractors prior to construction.
- All inspections required by the Codes, Local Building Department or the Plans shall be provided by an independent qualified inspection agency or the Building Department. Site visits by the Engineer do not constitute an inspection, unless specifically contacted for.
- Shop Drawings shall be submitted for all structural items upon written request or as detailed in Contract Documents. Shop drawings are reviewed only for general compliance with the structural drawings. Review does not indicate that the drawings are correct or complete. Any changes, substitutions, or deviations from the Contract Drawings shall be clouded. Any of the aforementioned shall not be considered approved by the Engineer unless specially noted. The shop drawings do not supersede or replace the original Contract Drawings. Any engineering provided by others and submitted for review shall bear the seal of the appropriate Registered Engineer. JCWagner & Associates shall not be responsible for the adequacy of engineering designs performed by others. Allow 5 working days for the Engineer's review. One copy of each submittal shall be retained for Engineer's records.

## Project Data

Project Address: 1951 Middlefield Dr. Tracy, CA 95377  
Project Jurisdiction: City of Tracy  
APN: 244-02-032  
Project Description: Installation of new fence & gates, (381'x6' fence, (2) 20' slide gates, (1) 25' slide gate, & (1) man gate) No removal of parking stalls, no additional landscape work needed.

## Code Analysis

Occupancy Classification: N/A - Fence  
Risk Category: I (Table 1604.5)  
Construction Type: N/A  
Occupancy Separation: N/A  
Allowable Area: N/A  
Allowable Stories: N/A  
Allowable Building Height: N/A  
Existing Building Height: N/A  
Zoning: Northeast Industrial Areas (NEI)

## Fire Protection

Fire Sprinklers: N/A

## Areas

Existing Building Area: N/A  
Proposed Additional SF: N/A  
Proposed Conditioned SF: Same as (E)

**NOTE:**  
-All (3) electronic security gates must meet the 2019 California Fire Code §503.6 as amended by the Tracy Municipal Code § 9.06.070. An optical sensor and Knox key switch shall be provided for all gates on property

**GATE OPERATION:**  
Gates shall be open 1 HR before business hours and shall remain open until close:  
  
Business Hours are 8 AM to 6 PM  
  
After hours, residents will enter via gate code and/or remote to access property.  
  
Parcel Carriers will be given gate codes.  
  
Front of property and rear exits will have the free exit loops, driving up to them will open gates automatically from the inside.

1 Site  
C0.0 1" = 40'-0"



## Basis For Design

Governing Building Code: 2019 CBC									
Risk Category: I									
<b>Loading Information</b>									
<b>Gravity</b>									
Roof		Ceiling		Floors		Storage and Egress			
D	Lr	D	Lr	D	L	Storage	Egress		
N/A	N/A	N/A	N/A	N/A	N/A	-	-		
Live loads reduced as permitted by building code									
<b>Seismic</b>									
<b>Seismic Force Resisting System</b>		<b>Analysis Procedure</b>		<b>R</b>	<b>I</b>				
Light frame (Wood)		ASCE 7-16 Chapter 13		2.5	1.0				
Ss	SDS	S1	SD1	Site Class	Seismic Design Category	Cs	a		
1.278	1.023	0.439	"null"	D	D	n/a	1.0		
Risk Category: I									
<b>Wind</b>									
Analysis Procedure: ASCE 7-16									
<b>Main Wind Force Resisting System</b>					<b>Component &amp; Cladding (PSF)</b>				
V	exposure	qz	GCF	N/A	N/A	N/A	N/A	N/A	N/A
87 MPH	C	1.6 psf	1.36	N/A	N/A	N/A	N/A	N/A	N/A
Deflection Limits:									
Wood Roof Elements: Trusses and Joists									
Total load: L/240									
Live Load: L/360									

## Parking Spaces

Per 10.08.3480 - Parking spaces required, (Tracy Municipal Code)

Multiple-family residential, studio or one bedroom - 1 1/2 spaces (1) must be covered, plus (1) additional "guest" spot per every 5 units

Office Space - 1 space / 250 SF of gross floor area

Residential  
156 residences \* 1.5 spaces + 156 residences / 5 guest = 234 spaces + 32 guest spaces = 266 spaces needed (156 covered)

Office Space SF = 4,252 SF  
4,252 SF / 250 SF = 18 spaces needed

Total Spaces = 284 spaces needed

(E) Parking spaces  
156 covered spaces  
162 uncovered spaces  
10 handicap

Total = 318 spaces

(N) Gates/fence interferes w/ 2 parking spaces

316 parking spaces will remain > 284 parking spaces

Per (Table A - Per Cal D.O.T.) min. 7 disabled parking spaces is required.

(E) 10 disabled parking spaces > 7 OK

Table 3-10 Per 16.64070 & Table A - Per Cal D.O.T

Total Number of Parking Spaces or Stalls	Minimum Number of Disabled Accessible Parking Spaces or Stalls
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1000	2 Percent of Total
Grater than 1001	20 Plus 1 for each 100 or fraction thereof over 1001

## Sheet List

Number	Sheet Number	Sheet Name
1	C0.0	Title Sheet
2	C1.0	Gate/Fence Details
3	C1.1	Color Elevations

**RECEIVED**  
November 16, 2022  
City of Tracy  
Development Services

**1951 Middlefield Dr.**

1951 Middlefield Dr.  
Tracy, CA 95377

Drawn By: ORL  
Checker: DEW  
Job #: 80584  
Scale: Noted

Revision Schedule		
#	Date	Description
A	08/29/22	Initial Submittal
1	11/16/22	Plan Check 1

**JCWAGNER**  
& ASSOCIATES

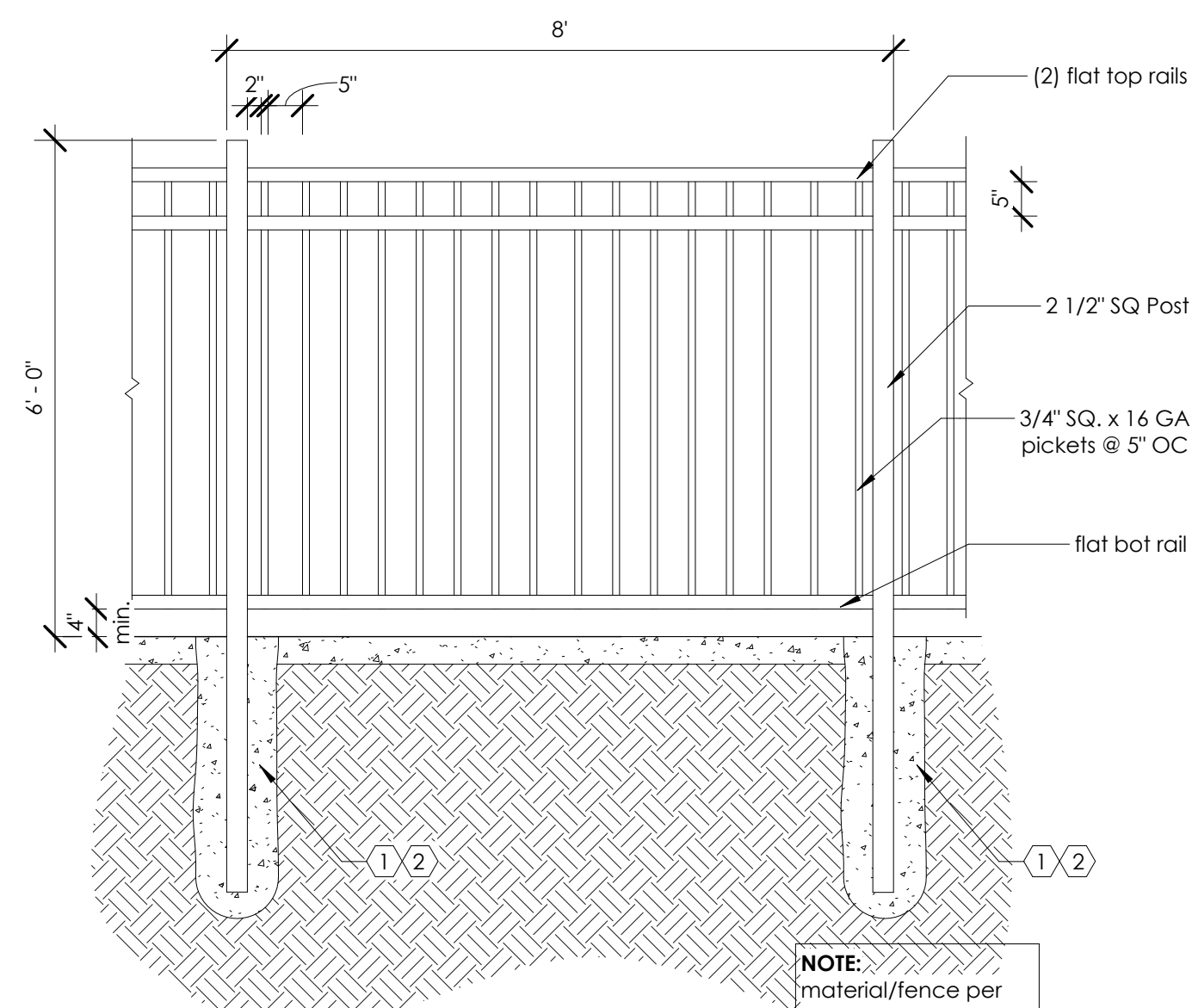
2132 N El Dorado St  
Stockton, CA 95204  
(209) 227-7646



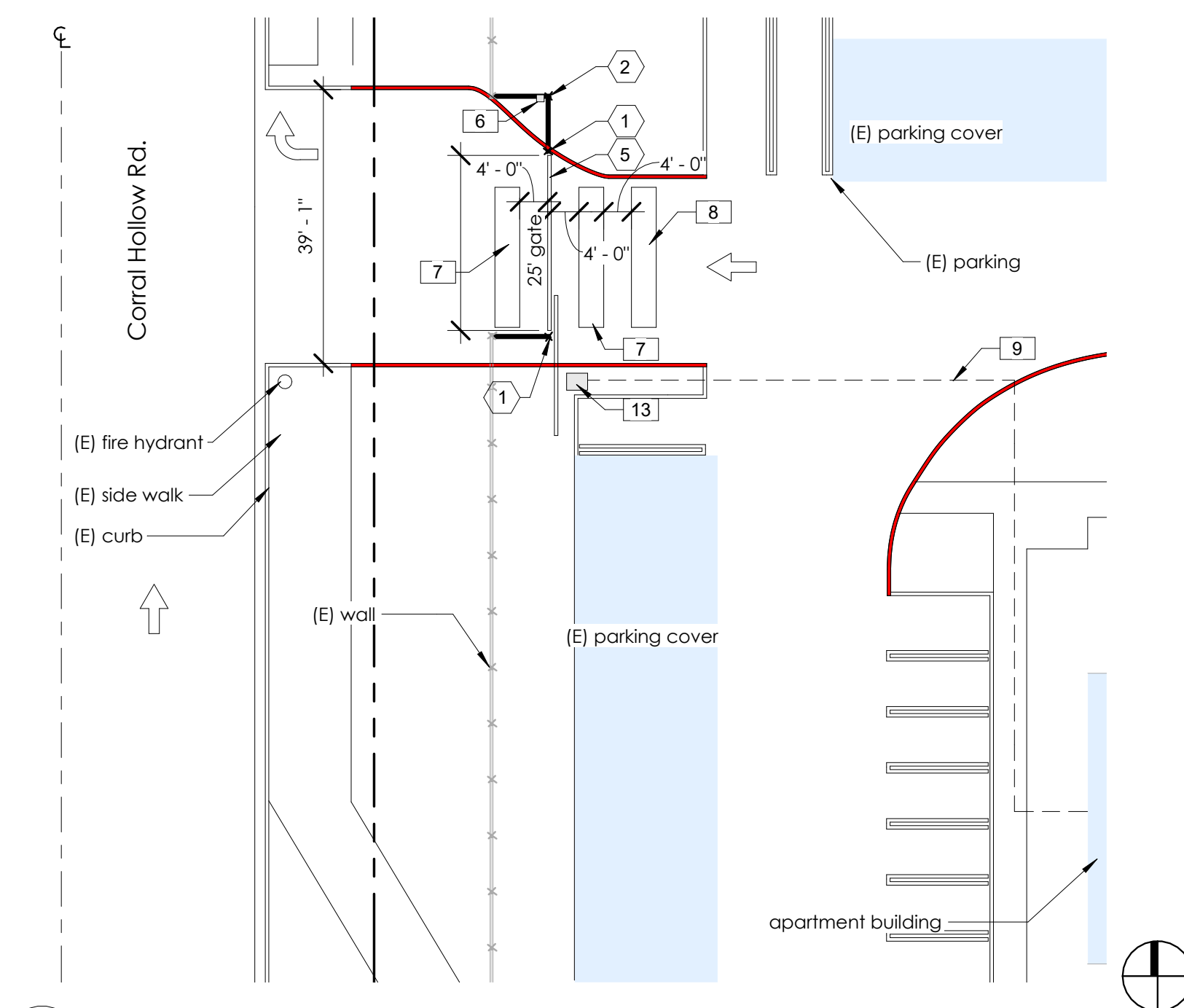
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Title Sheet

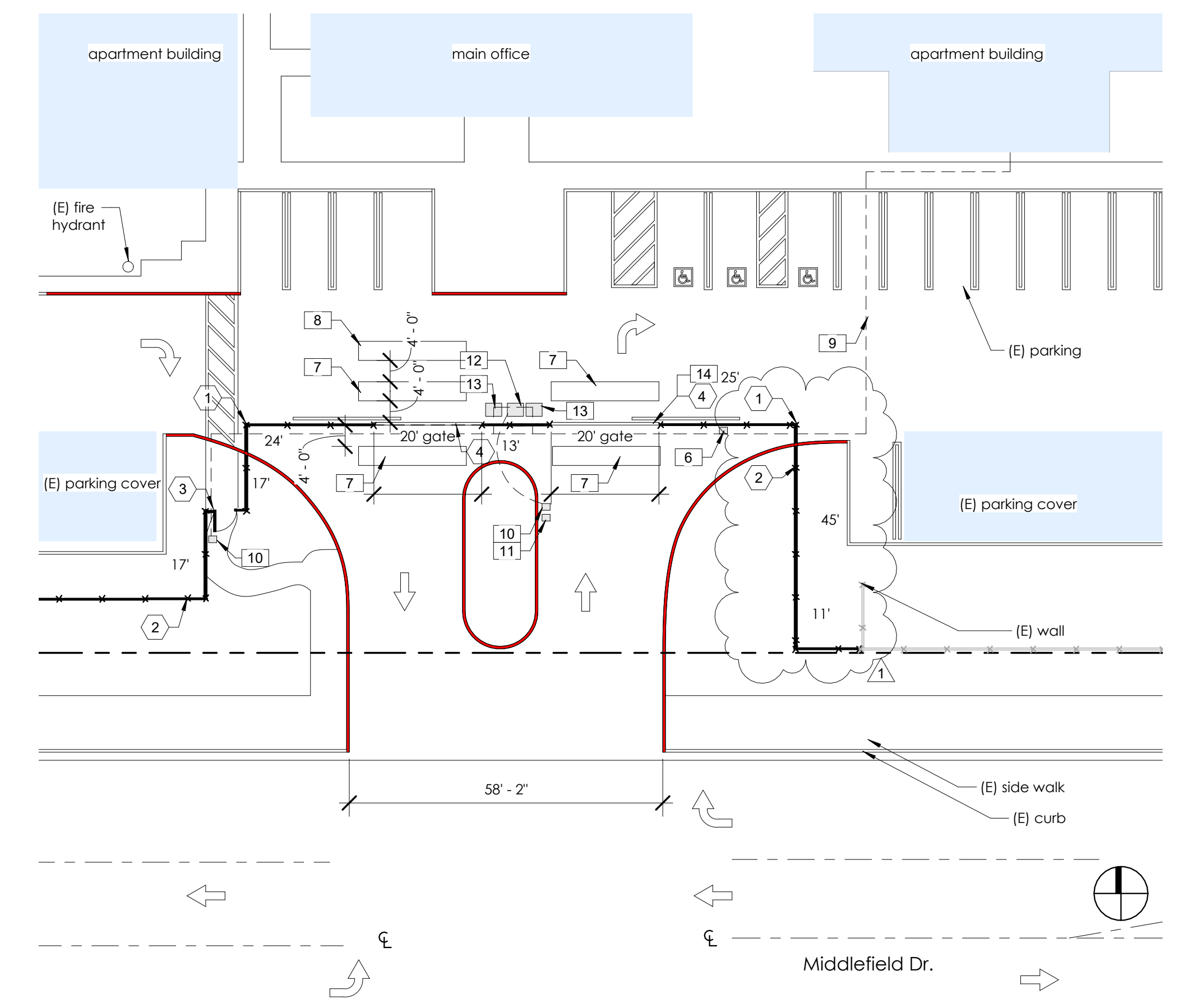
**C0.0**



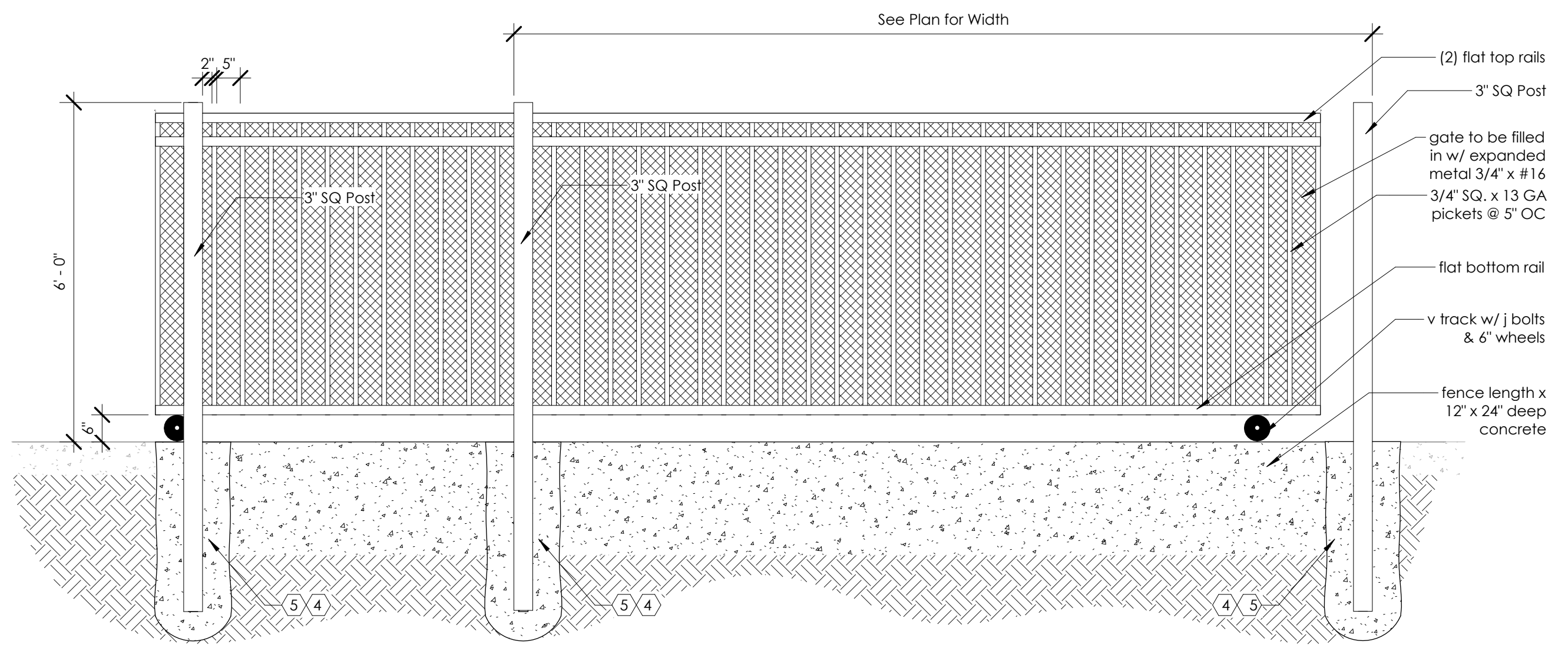
3 Typical 6' Tall Fence Detail  
C1.0 1/2" = 1'-0"



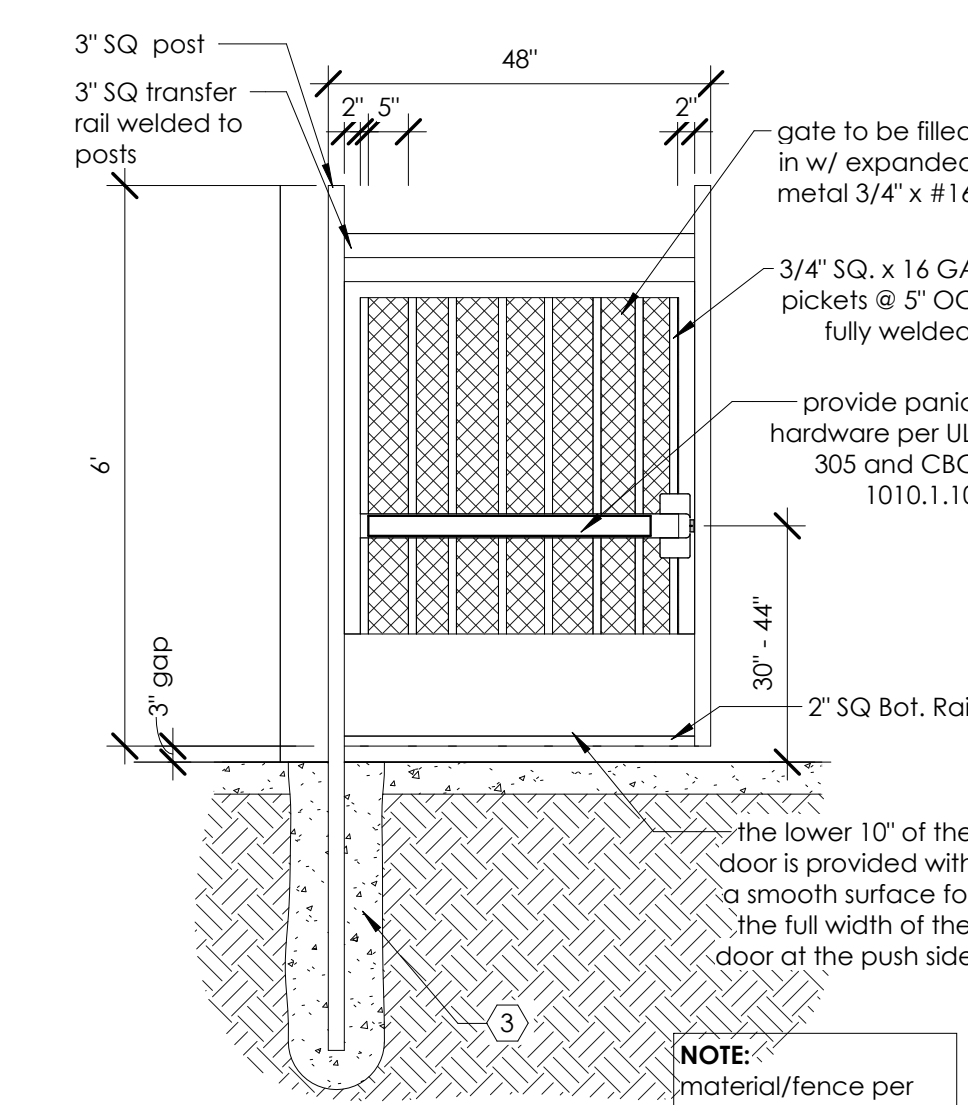
2 Enlarged Exit (1 EA - 25' Gate)  
C1.0 1" = 20'-0"



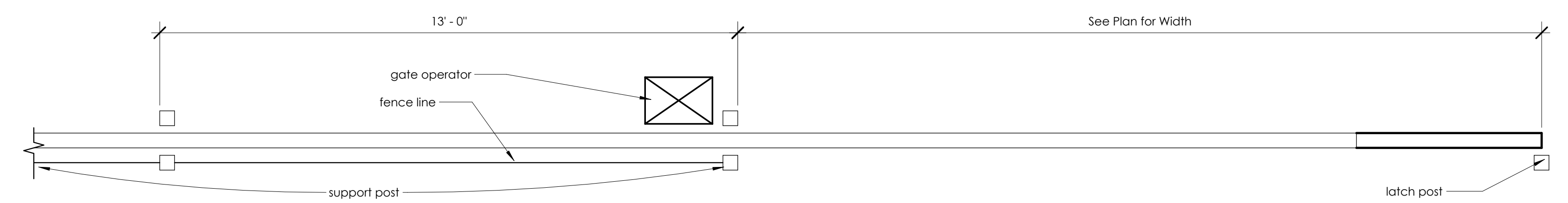
1 Enlarged Entrance (2 EA 20' Gate)  
C1.0 1" = 20'-0"



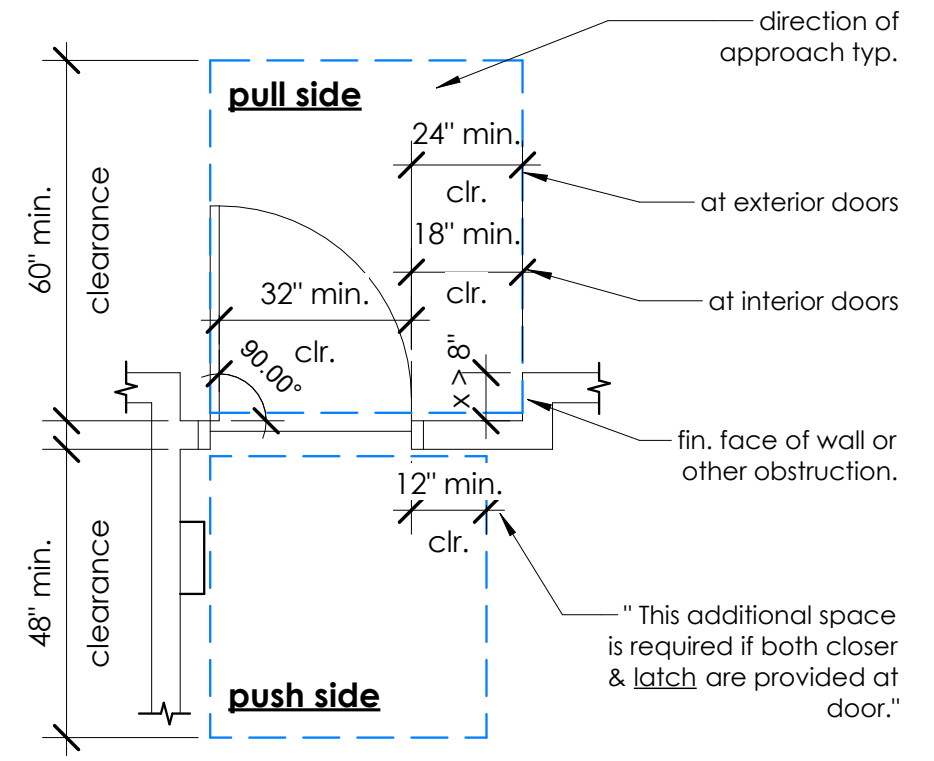
5 Slide Gate Detail  
C1.0 N.T.S.



4 Outside Face Single Gate  
C1.0 1/2" = 1'-0"



6 Secure Track Cantilever Gate Plan View  
C1.0 1/2" = 1'-0"



9 Door Clearance (Front Approach)  
C1.0 3/8" = 1'-0"



8 Goosneck Pedestal & Vehicle Reader Spec  
C1.0 N.T.S.

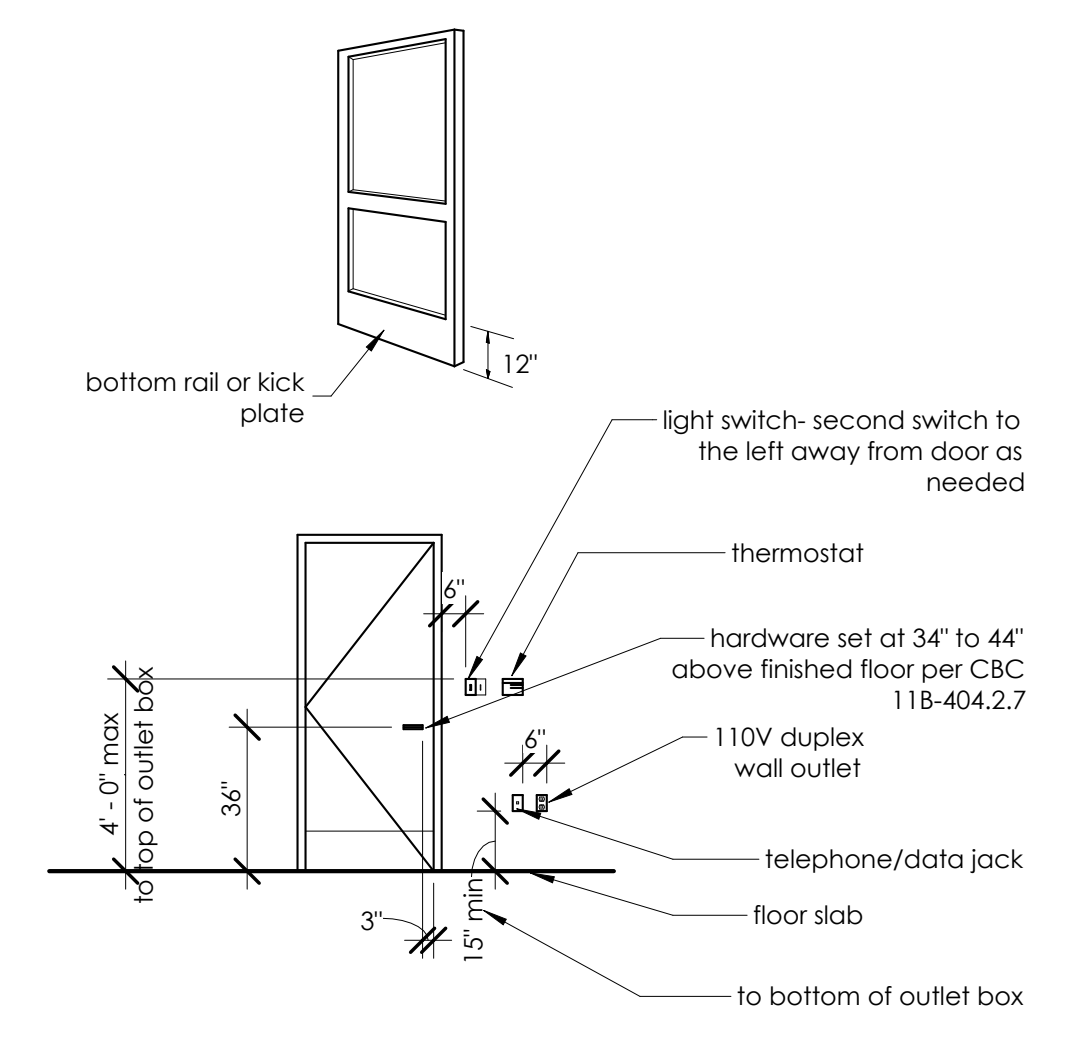
FOOTING SCHEDULE			
MARK	MODEL	FOOTING SIZE	ALT. FOOTING SIZE
1	8' X 6' PANEL TYP. (PAVEMENT)	12" DIA. x 2'-6" DEEP	18" DIA. x 2'-0" DEEP
2	8' X 6' PANEL TYP. (DIRT)	12" DIA. x 3'-6" DEEP	18" DIA. x 3'-0" DEEP
3	MAN GATE	12" DIA. x 2'-0" DEEP	-----
4	20' SLIDE GATE	18" DIA. x 3'-0" DEEP	24" DIA. x 2'-6" DEEP
5	25' SLIDE GATE	18" DIA. x 3'-0" DEEP	-----

Key Notes	
6	Knox Switch/Box shall include keys for manual pull stations, fire alarm control panel, breakaway locks for PIV, locks for OS & Y chains, and exterior doors and essential rooms as determined by the Chief. The location of the key switch shall be determined by the City of Tracy Fire Department.
7	Install (N) Safety Loop
8	Install (N) Exit Loop

Key Notes	
9	tie gate opener power into (E) electrical room with 1" diameter Sch80 PVC conduit with 4-10 AWG
10	Intall (N) Goosneck Pedestal -48"Height. Please provide 3/4" conduit from enclosure to the goosneck pedestal for low voltage wiring.
11	Installation of a 12"x12"x1" Vehicle Reader or a separate goosneck installed for Vehicle Reader
12	Install 20"x16"x8" NEMA fiberglass electrical enclosure with cooling fans & 120V Power in the enclosure
13	Install 120VAC electrical connection to gate motor
14	power operated with Click2Enter

**GATE OPERATION:**  
Gates shall be open 1 HR before business hours and shall remain open until close:  
Business Hours are 8 AM to 6 PM  
After hours, residents will enter via gate code and/or remote to access property.  
Parcel Carriers will be given gate codes.  
Front of property and rear exits will have the free exit loops, driving up to them will open gates automatically from the inside.

- Note:**
- Every required exit door shall be 36" wide x 6'-8" high minimum.
  - Exit doors shall be able to open at least 90 degrees and the clear width shall not be less than 32".
  - Every required exit door shall have a tactile exit sign that complies with 2019 CBC 11B sections see signage notes on sheet A2.2.
  - Locate electrical & telephone/data outlets and switch boxes at nearest stud from scaled location on plan unless otherwise specified.
  - The lower 10" of the door surface is provided with a smooth surface for the full width of the door at the push side per CBC 11B-404.2.10.
  - Operable parts of door hardware shall be 34 inches minimum and 44 inches maximum above the finish floor. [CBC §11 B-404.2.7]
  - Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. [CBC §11 B-309.4]
  - The door hardware will be lever-type, panic bars, push-pull activating bars, etc. CBC Section 1133B.2.5.2.



7 Typical Door Mounting Heights  
C1.0 1/4" = 1'-0"

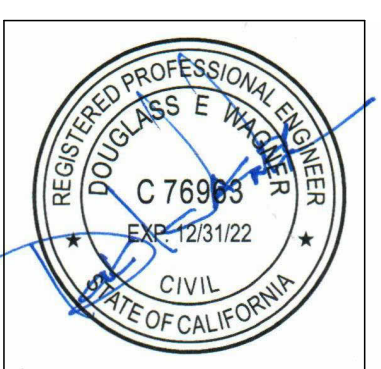
1951 Middlefield Dr.  
1951 Middlefield Dr.  
Tracy, CA 95377

Drawn By ORL  
Checker DEW  
Job # 80584  
Scale Noted

Revision Schedule		
#	Date	Description
A	08/29/22	Initial Submittal
1	11/16/22	Plan Check 1



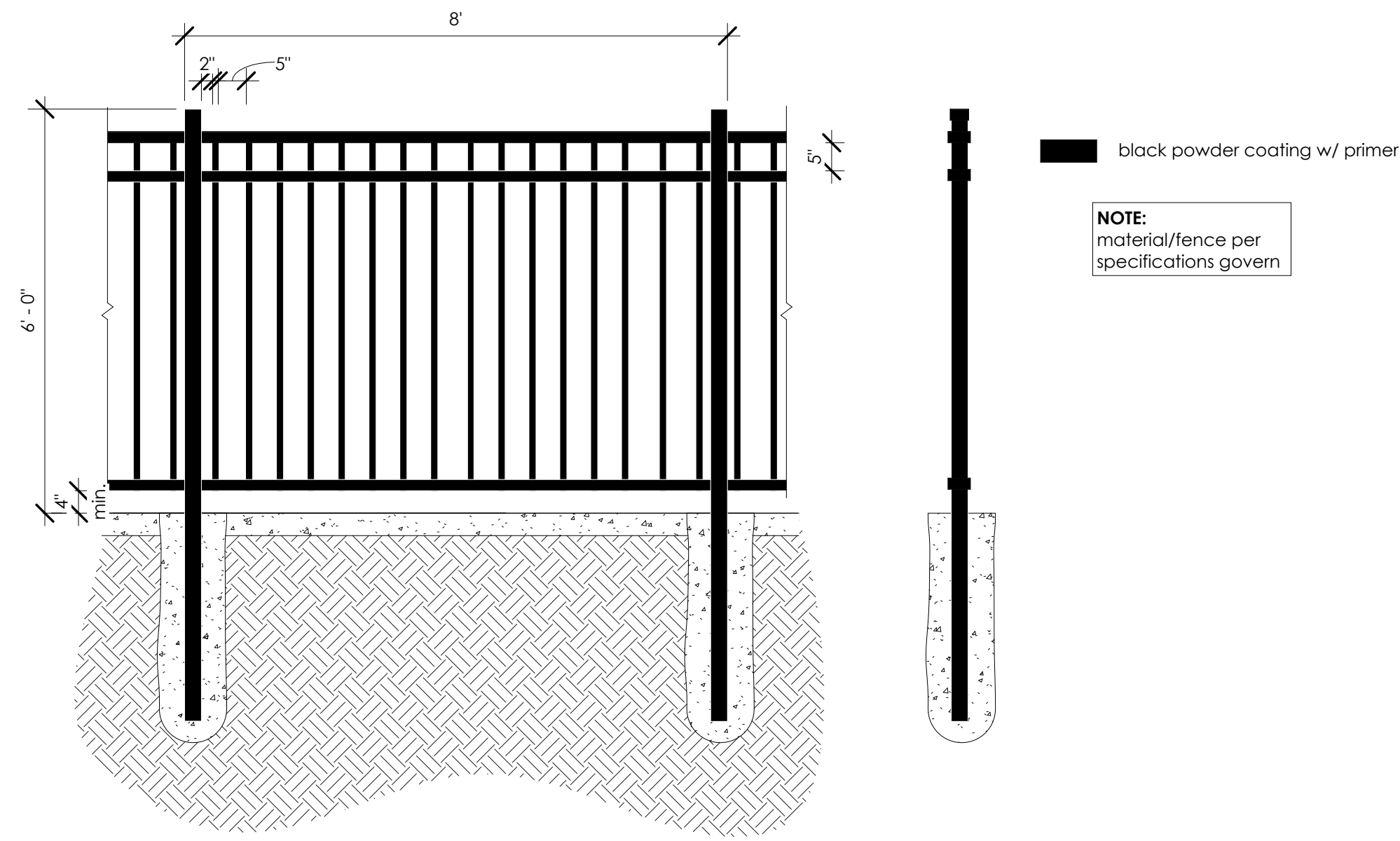
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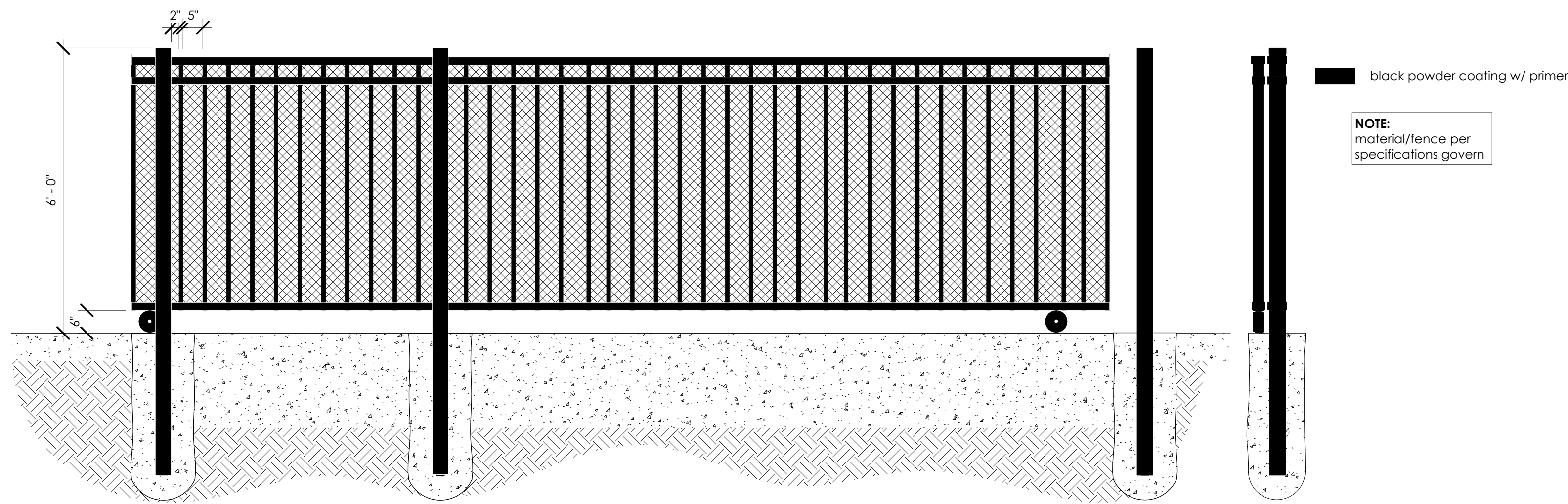
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Gate/Fence Details

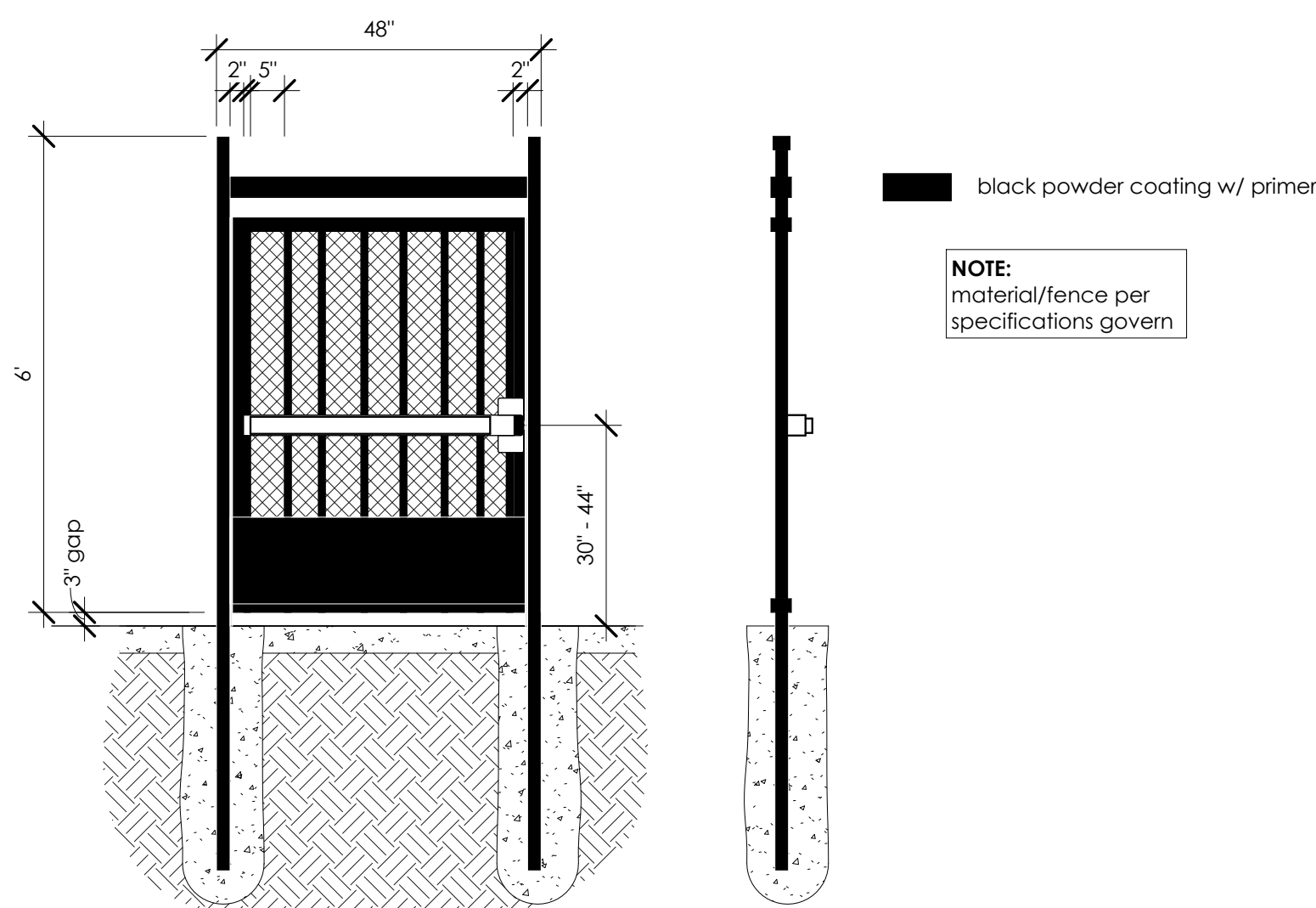
C1.0



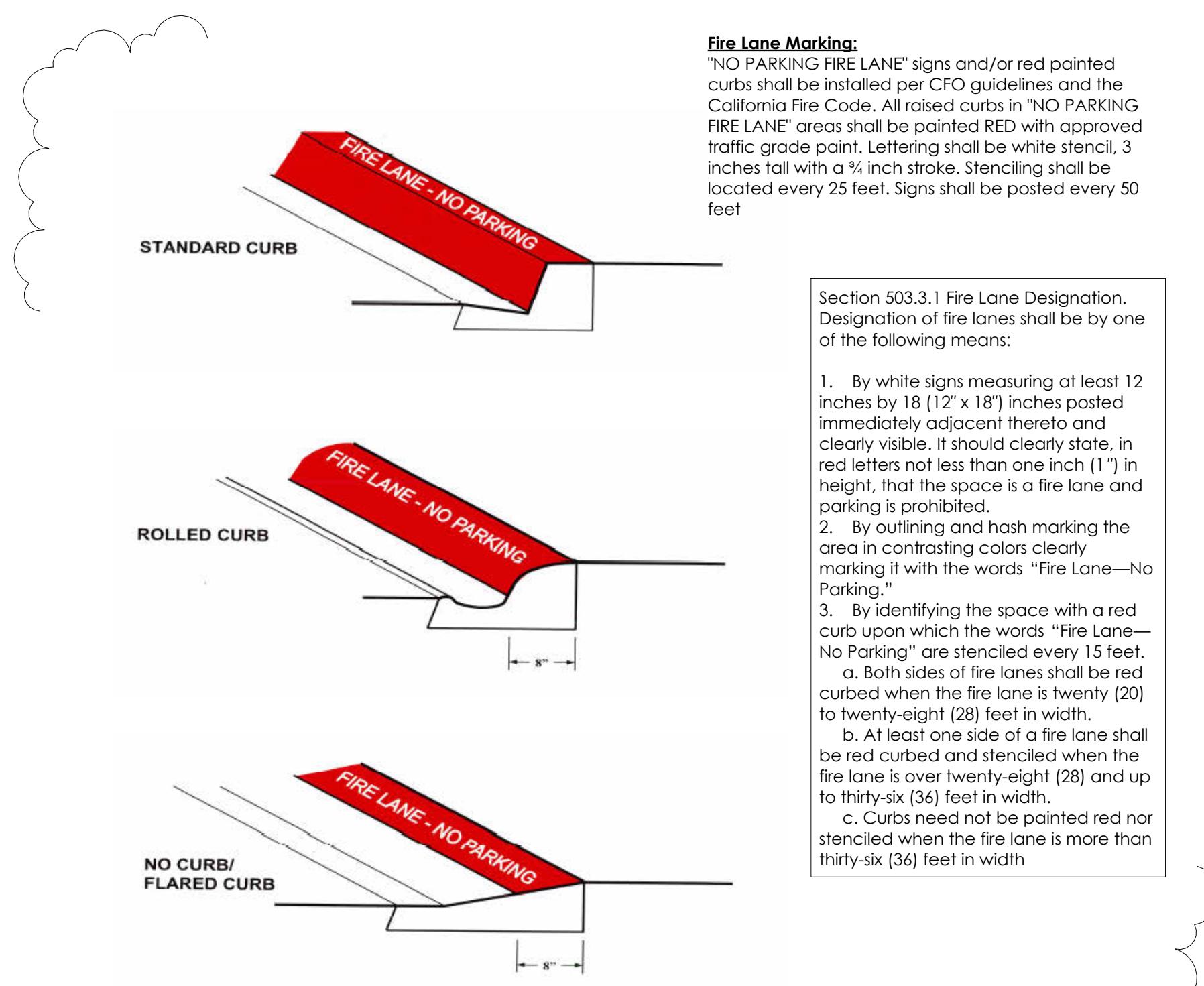
3 Typical 6' Elevation  
C1.1 1/2" = 1'-0"



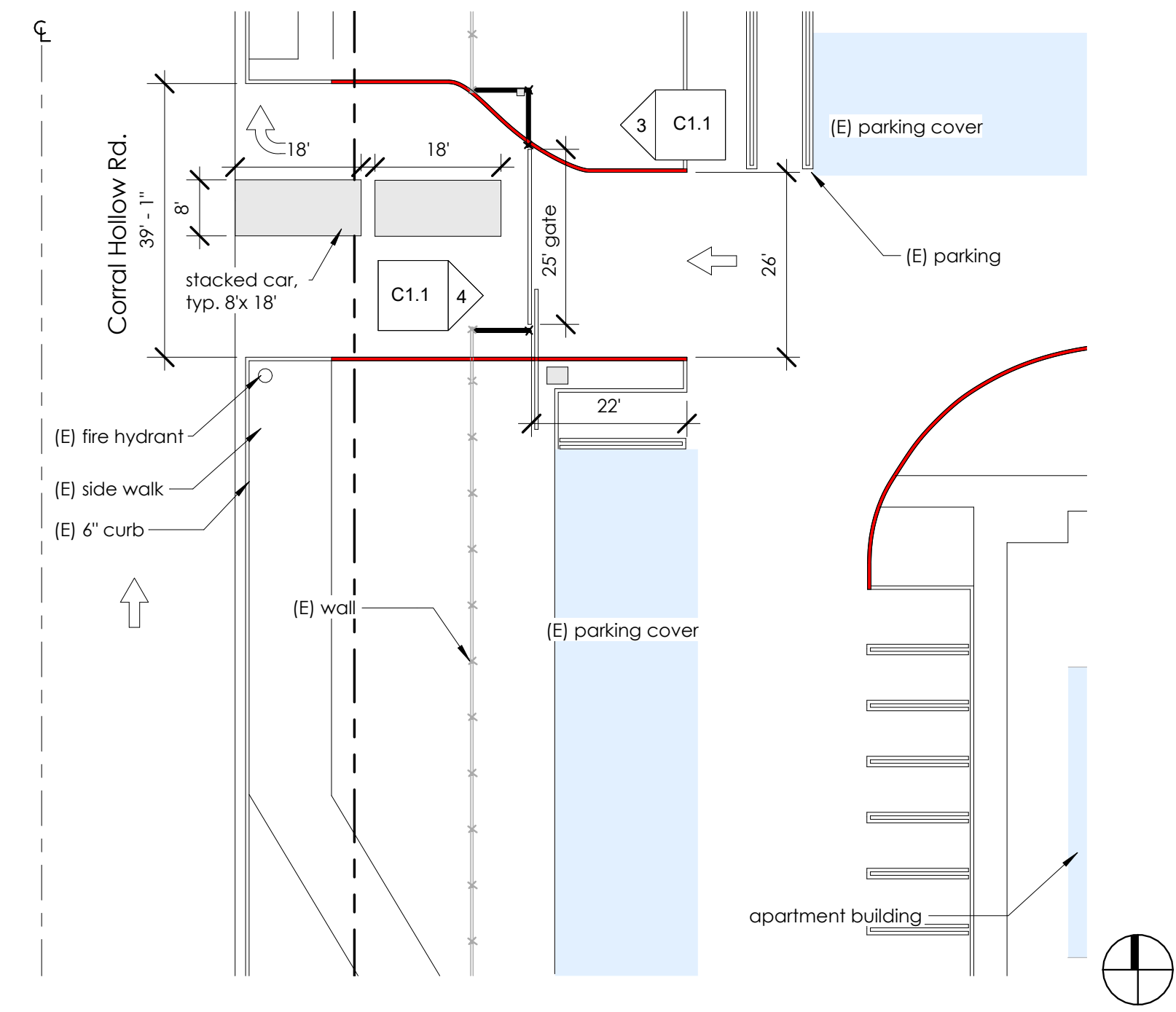
4 Slide Gate Elevation  
C1.1 N.T.S.



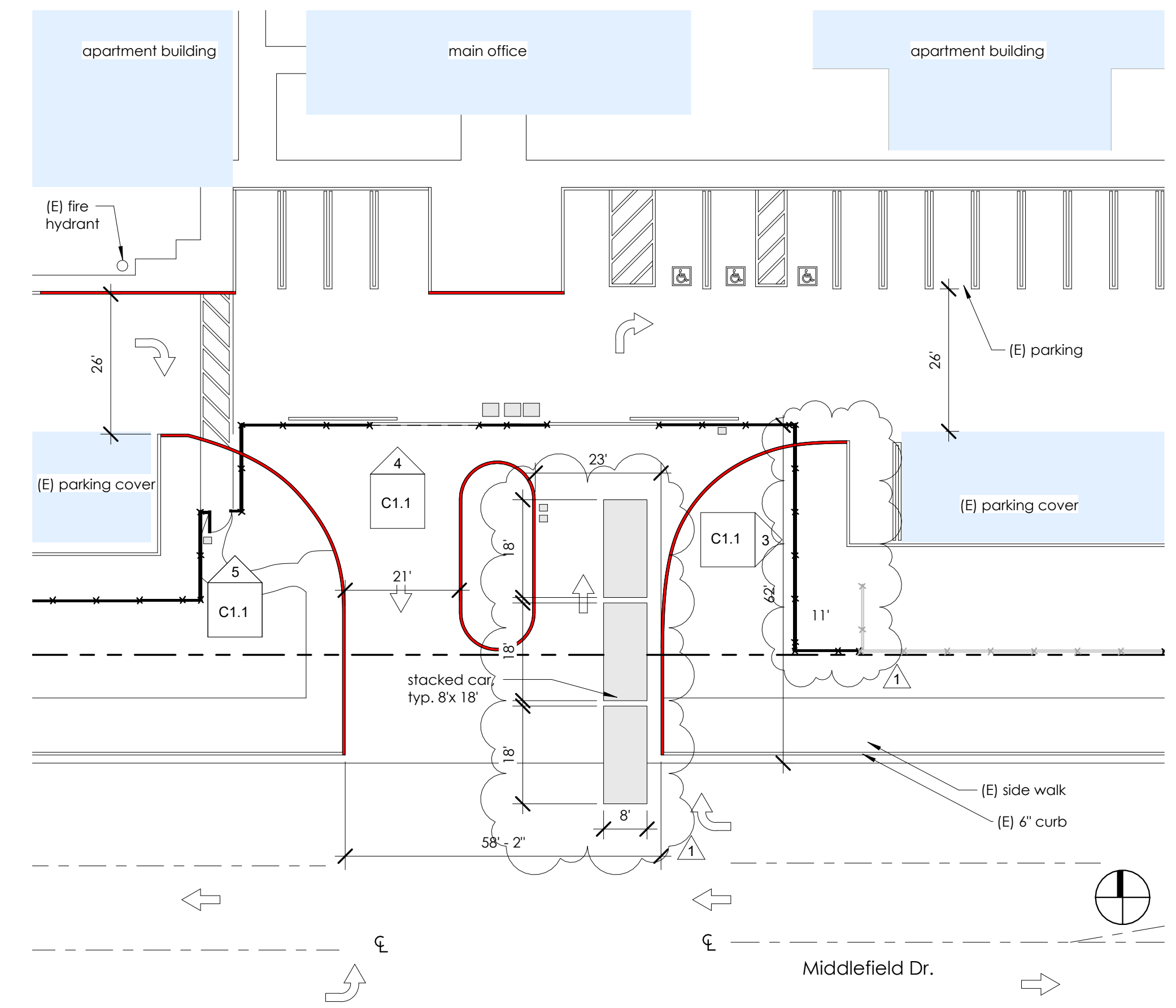
5 Outside Face Single Gate Elevation  
C1.1 1/2" = 1'-0"



6 Fire Lane Identification - Red Curbs  
C1.1 3/4" = 1'-0"



2 Enlarged Exit (1 EA - 25' Gate)  
C1.1 1" = 20'-0"



1 Enlarged Entrance (2 EA 20' Gate)  
C1.1 1" = 20'-0"

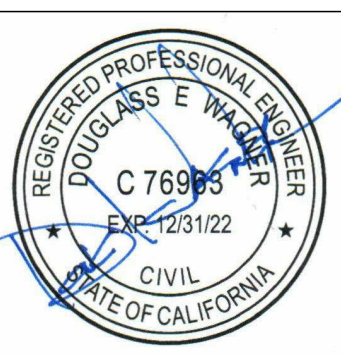
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Color Elevations

C1.1

# CITY OF TRACY

## DETERMINATION OF THE DEVELOPMENT SERVICES DEPARTMENT

Application Number D22-0036

A determination of the Development Services Department (1) approving a Development Review permit to construct a fence with pedestrian and vehicle gates at existing Waterstone Apartments at 1951 Middlefield Dr. and (2) determining the project is categorically exempt from the California Environmental Quality Act pursuant to CEQA guidelines section 15303(e) which pertains to new construction of small or accessory structures such as fences. Applicant is United Fence Services and property owner is Waterstone Apartments CA, LLC.

Staff has reviewed the application and determined that the following City regulations apply:

1. Planned Unit Development Zone (TMC Chapter 10.08, Article 13)
2. Development Review (TMC Chapter 10.08, Article 30)
3. City of Tracy Design Goals and Standards

The project is categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines section 15303(e) which pertains to new construction of small or accessory structures such as fences. No further environmental assessment is necessary.

THE DEVELOPMENT SERVICES DEPARTMENT, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY (1) DETERMINES THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO CEQA GUIDELINES SECTION 15303(E) WHICH PERTAINS TO NEW CONSTRUCTION OF SMALL OR ACCESSORY STRUCTUES SUCH AS FENCES AND (2) APPROVES DEVELOPMENT REVIEW APPLICATION NUMBER D22-0036, SUBJECT TO CONDITIONS CONTAINED IN EXHIBIT 1 AND BASED ON THE FOLLOWING FINDINGS:

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy because the proposal consists of a desirable fence material decorative tubular steel allowing free-through passage of vision and light.
2. The project is consistent with the Planned Unit Development Zone, Chapter 10.08, Article 13 of the Tracy Municipal Code, the City of Tracy General Plan, the Citywide Design Goals and Standards, and other City regulations because the fence and vehicle and pedestrian gates will be constructed with a decorative tubular steel design and are compatible with the existing CMU wall on the west and portion of south property line.

---

Jaylen French  
Director of Development Services

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Date of Action

**City of Tracy**  
**Development Review Permit**  
**Conditions of Approval**

Waterstone Apartments Fence & Side Gates  
1951 Middlefield Dr.  
Application Number D22-0036  
April 10, 2023

These Conditions of Approval shall apply to the Development Review Permit to construct a fence with pedestrian and vehicle gates at existing Waterstone Apartments at 1951 Middlefield Dr. (hereinafter "Project"), proposed by United Fence Service. (hereinafter "Applicant") and Waterstone Apartments CA, LLC (hereinafter "Property Owner").

**A. Definitions**

The following definitions shall apply to these Conditions of Approval:

1. "Applicant" means any person, or other legal entity, defined as a "Developer".
2. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.
3. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed engineer designated by the City Manager, the Development Services Director, or the City Engineer to perform the duties set forth herein.
4. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, policies, procedures, City's Design Goals and Standards, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
5. "Director" means the Development Services Director of the City of Tracy, or any other person designated by the City Manager or the Development Services Director to perform the duties set forth herein.
6. "Conditions of Approval" shall mean the conditions of approval, applicable to Development Review Permit Application Number D22-0036.
7. "Property" means the subject property of the Development Review Permit to construct a fence with pedestrian and vehicle gates at existing Waterstone apartments at 1951 Middlefield Dr. (hereinafter "Project"), proposed by United Fence Services (hereinafter "Applicant"), Application Number D22-0036.



**B. Planning Division Conditions of Approval**

1. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to: the Planning and Zoning Law (Government Code sections 65000, et seq.), the Subdivision Map Act (Government Code sections 66410, et seq.), the California Environmental Quality Act (Public Resources Code sections 21000, et seq., “CEQA”), and the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 15000, et seq., “CEQA Guidelines”).
2. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City Regulations.
3. Pursuant to Government Code Section 66020, including Section 66020(d)(1), the City HEREBY NOTIFIES the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code Section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.
4. Except as modified herein, the project shall be developed in substantial compliance with the plans received by the Development Services Department on November 16, 2022, to the satisfaction of the Development Services Director.
5. Prior to issuance of a building permit, the Developer shall submit construction documents, plans, specifications, and/or calculations to the Building Safety Division, which meet all applicable requirements of Title 24 California Code of Regulations, to the satisfaction of the Chief Building Official.
6. Prior to issuance of a building permit, the Developer shall document that the project conforms with all requirements of the California Fire Code as amended by the Tracy Municipal Code, to the satisfaction of the South San Joaquin County Fire Authority.

**C. South San Joaquin County Fire Authority Conditions of Approval**

Contact: Daniel Stowe      (209) 831-6707      daniel.stowe@sjcfire.org

1. Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority for review and approval.
  - i. Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.

- ii. Deferred submittals shall be listed on the coversheet of each page. Each deferred submittal shall be submitted, reviewed, and approved by SSJCFA prior to installation.
2. Prior to construction, all-weather fire apparatus access roads shall be installed. Fire apparatus access roads during construction shall have a minimum 20' unobstructed width in accordance with CFC §503.