

COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR PUBLIC HEARING  
MEETING AGENDA

**Thursday, July 25, 2024, 3:00 P.M.**

Tracy City Hall, Conference Room 203, 333 Civic Center Plaza, Tracy

**THIS MEETING WILL BE OPEN TO THE PUBLIC FOR IN-PERSON AND REMOTE PARTICIPATION PURSUANT TO GOVERNMENT CODE SECTION 54953(e).**

*During the upcoming Director Public Hearing meeting, public comment will be accepted via the options listed below. All interested persons are invited to participate by:*

- *joining the meeting via Microsoft Teams by:*
  - *viewing the Public Hearing Login information at <https://www.cityoftracy.org/government/public-notice>; or*
  - *visiting the Microsoft Teams website at <https://www.microsoft.com/microsoft-teams/join-a-meeting> and using the following Meeting ID: 297 770 375 953 and Passcode: **wTqd8B**; or*
  - *calling the Microsoft Teams teleconference line at (209) 425-4338 Conference ID: 107 362 810# to submit statements orally during the meeting; or*
- *submitting comments in writing before the meeting by sending written statements to [publiccomment@cityoftracy.org](mailto:publiccomment@cityoftracy.org).*

**MEETING AGENDA**

**CALL TO ORDER**

1. PUBLIC HEARING TO CONSIDER A DEVELOPMENT REVIEW PERMIT, APPLICATION NUMBER D24-0007, FOR THE REMODEL OF AN EXISTING HONDA DEALERSHIP INCLUDING EXTERIOR FAÇADE IMPROVEMENTS, A NEW CARWASH (DEALERSHIP-USE ONLY), A NEW DELIVERY CANOPY AND RELATED SITE IMPROVEMENTS ON A 4.09-ACRE SITE LOCATED AT 3450 AUTO PLAZA WAY, ACCESSORS PARCEL NUMBER 212-270-19; AND (2) DETERMINE THAT THIS PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO CEQA GUIDELINES SECTION 15301, PERTAINING TO MINOR ALTERATIONS OF EXISTING STRUCTURES OR FACILITIES.

**ADJOURNMENT**

Posted: July 19, 2024



# DIRECTOR HEARING STAFF REPORT

Item No. 1.A

<b>DATE</b>	July 25, 2024
<b>TITLE</b>	Tracy Honda Remodel and Private Carwash Addition
<b>LOCATION</b>	3450 Auto Plaza Way (APN 212-270-19)
<b>APPLICATION TYPE</b>	Development Review Permit (D24-0007)
<b>CEQA STATUS</b>	Categorically Exempt CEQA Guidelines Section 15301
<b>PROJECT PLANNER</b>	Martin E. Vargas

## RECOMMENDATION

Staff recommends that the Community and Economic Development Director (1) approve the Development Review Permit, Application Number D24-0007, for the remodel of an existing Honda Dealership including exterior façade improvements, a new carwash (dealership-use only), a new delivery canopy and related site improvements on a 4.09-acre site located at 3450 Auto Plaza Way, Accessors Parcel Number 212-270-19; and (2) determine that this project is categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15301, pertaining to minor alterations of existing structures or facilities.

## PROJECT DESCRIPTION

The project site is an existing 24,132 square foot Honda Dealership building on 4.09-acres located at 3450 Auto Plaza Way, the southwest corner of Auto Plaza Drive and Auto Plaza Way (Attachment A: Location Map). The project site is designated Commercial in the General Plan and designated Service Commercial in the I-205 Corridor Specific Plan, as well as located within the Tracy Auto Mall, which permits auto dealerships.

The proposed project includes exterior modifications to the north, east, and south elevations of the existing building to add windows, canopies, and decorative steel columns. On the east elevation, the front of the dealership will be completely remodeled to have a glass façade including the doors. A new canopy wraps around the north and east elevations, is located at the top of the 22-foot structure, and projects eight feet out from the structure. In addition to the canopy, the east elevation has a trellis extension that projects out an additional eight feet. This canopy is comprised of aluminum composite metal panels in a blue and white color. There will be decorative steel columns about every 28 feet of the canopy which are proposed to be a gray color. Adjacent to this canopy is a new delivery canopy for customers to receive their vehicles. The delivery canopy is approximately 12 feet tall, includes one wall proposed to be painted gray on the west side of the canopy, and the trim of the canopy will be painted white to match the adjacent white wall. Additional windows and doors are being added on the north side of the

dealership to enhance the storefront entry. The existing stucco exterior is proposed to be updated with white and gray paint to complement the new canopy and columns. The addition of new high-quality materials will enhance a sense of arrival at the Honda Dealership. The proposed elevations are included in Attachment B.

On the south elevation, a 720 square foot cement block carwash will be constructed adjacent to the existing building. The new carwash will match the adjacent wall colors with a white finish and a blue stripe along the top of the structure. The carwash will only be used by employees and is not open to the public.

Other improvements proposed with the project include replacing 8 trees along the south property line due to existing trees being in poor condition or dead and the addition of 1 new tree due to 1 tree being removed so that the new carwash can be constructed. No other changes to the site are proposed with this project.

#### California Environmental Quality Act (CEQA) Requirements

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, pertaining to minor alterations or existing structures or facilities. No further environmental assessment is necessary.

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#### **ATTACHMENTS**

- A – Location Map
- B – Plan Set
- C – Community and Economic Development Director Determination  
Exhibit 1 – Conditions of Approval

# Attachment A

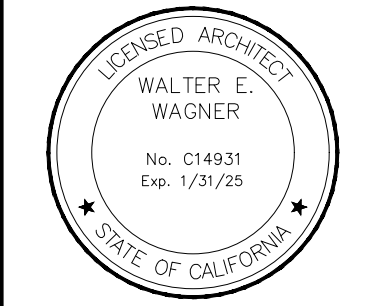


SHEET INDEX		REVISION					
SHEET #	SHEET NAME	1	2	3	4	5	6
<b>ARCHITECTURAL</b>							
A01	COVER SHEET						
A11	SITE PLAN						
A111	SITE PHOTOGRAPHS						
A112	SITE SECTIONS						
A12	SITE DETAILS						
A13	CANOPY						
A14	CANOPY						
A21	FLOOR PLAN						
A41	ROOF PLAN						
A51	BUILDING ELEVATIONS						
<b>LANDSCAPE</b>							
L21	LANDSCAPE NOTES, LEGEND, AND DETAILS						
L22	LANDSCAPE PLAN						



224 El Camino Real, Suite 200  
 Concord, CA 92504  
 760.967.0511  
 WagnerArchitecture.com

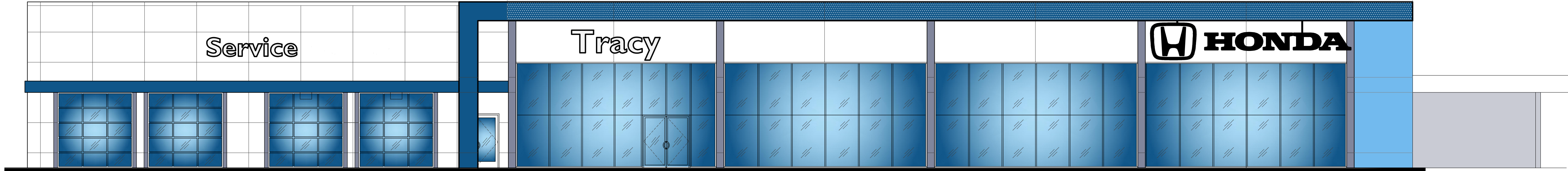
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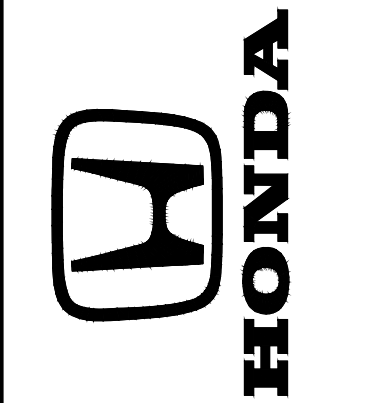
**RECEIVED**  
 June 17, 2024  
 City of Tracy  
 Development Services

# TRACY HONDA

3450 AUTO PLAZA WAY, CA 95304



TRACY HONDA  
 3450 Auto Plaza Way, Tracy, CA 95304



SHEET TITLE

COVER SHEET

DATE: 05/24/2024

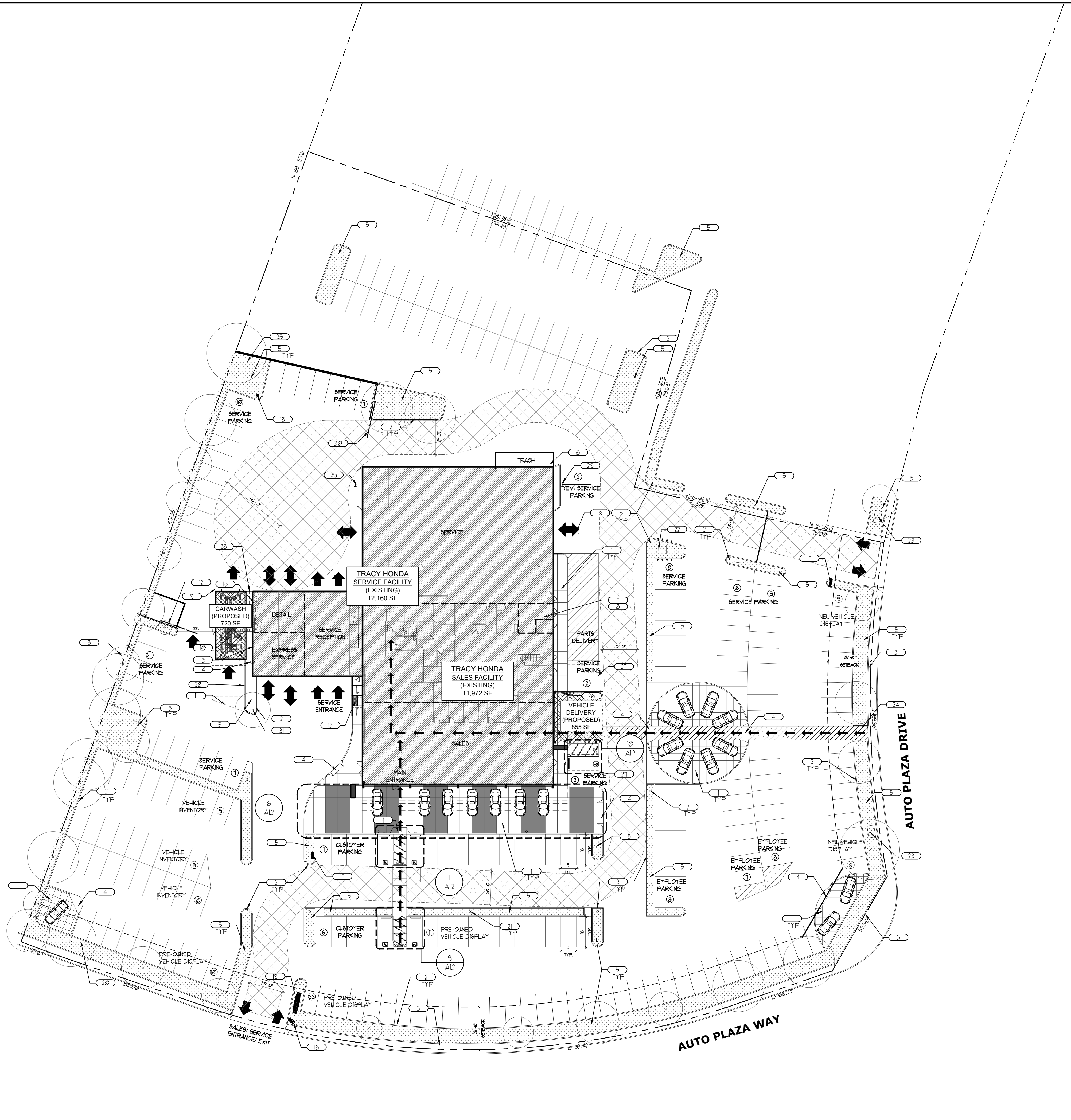
REVISION DESCRIPTION

PROJECT NO.

SHEET NO.

**A0.0**

PLANNING RE-SUBMITTAL SET  
 JUNE 12, 2024



**GENERAL SITE NOTES**

1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY - ALL SITE CONDITIONS ARE EXISTING, NO CHANGES PROPOSED, UNLESS NOTED OTHERWISE.
2. THIS DRAWING HAS BEEN DEVELOPED FROM ARCHIVE DRAWINGS PROVIDED BY THE OWNER AND MAY NOT REFLECT EXISTING FIELD CONDITIONS, LAND SURVEY OR TOPOGRAPHICAL INFORMATION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS.
3. IF DISCREPANCIES WITH DIMENSIONS OF SITE PLAN TO FLOOR PLAN AND LOCAL ZONING ORDINANCES CANNOT BE MET, NOTIFY WAGNER ARCHITECTURE GROUP PRIOR TO COMMENCING ANY WORK.
4. NO CHANGE TO BE DONE TO SITE LIGHTING, UNLESS NOTED OTHERWISE.
5. ALL EXTERIOR LIGHTING SHALL BE COMPLY WITH 9P 19 PART 3, SECTION III (L). LIGHTING SHALL BE DESIGNED TO MINIMIZE GLARE TO SURROUNDING PROPERTIES AND DISTANT NEIGHBORHOODS.
6. REQUIRED PARKING STALLS AS INDICATED IN PROJECT INFORMATION, STALLS TO COMPLY WITH TABLE B IN CMC SECTION 214.4.05.0. ALL ADDITIONAL STALLS ON SITE CONSIDERED AS ADDITIONAL VEHICLE INVENTORY PARKING.
7. SURFACE WATER SHALL DRAIN AWAY FROM BUILDING AND SHOW DRAINAGE PATTERN. THE GRADE SHALL FALL A MINIMUM OF 5% WITHIN THE FIRST 10 FT (2% FOR IMPERVIOUS SURFACES) PER SECTION 1804.4. REFER TO CIVIL DWGS.
8. ALL SIDEWALKS SHALL MAINTAIN (2%) 1/2" PER FOOT MAXIMUM CROSS SLOPE.
9. SLOPES ALONG SIDEWALK IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 5%.
10. SLOPES WITHIN DESIGNATED HANDICAP AREAS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND MAXIMUM 2% CROSS SLOPE.
11. MAINTAIN 80" HIGH HEAD CLEARANCE ALONG WALKWAYS (1E) TREE LIMBS, WALL HUNG EQUIPMENT, SIGNAGE, ETC.
12. ALL SIGNAGE IS AVAILABLE THROUGH A NATIONAL SIGN PROGRAM BY PATTISO SIGN GROUP.

**GENERAL DEMO NOTES**

1. DEMO NOTES ARE GENERAL-CONTRACTOR TO REVIEW WITH OWNER FOR FINAL DEMOLITION EVALUATION. ADDITIONAL DEMOLITION MAY BE REQUIRED TO FINALIZE WORK. CONTACT ARCHITECT TO REVIEW PRIOR TO START. RE: MFE, CIVIL AND STRUCTURAL FOR COORDINATION.
2. NEITHER OWNER OR DESIGN TEAM HAVE HAD TESTING OF HAZARDOUS MATERIALS ON SITE OR WITHIN STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PERFORM SUCH TESTING AND TO PERFORM ALL DEMOLITION ACTIVITIES IN ACCORDANCE WITH LOCAL REQUIREMENTS ESPECIALLY WHEN HAZARDOUS MATERIALS ARE KNOWN TO EXIST.
3. REMOVE ADDITIONAL AREAS AS REQUIRED BY ARCHITECTURAL, STRUCTURAL AND MFE CONSTRUCTION DRAWINGS. COORDINATE REQUIRED CLEANING OF EXISTING FINISH MATERIALS.
4. SAW CUT EXISTING AC PAVING FOR THE INSTALLATION OF UNDERGROUND UTILITIES, PIPING, CONDUIT ETC., AS REQUIRED. PATCH AND REPAIR AC PAVING WITH LIKE IN KIND.
5. CONTRACTOR TO REVIEW PROPOSED OVERALL CONSTRUCTION DOCUMENTS AND INCLUDE AS REQUIRED ANY ADDITIONAL ITEMS NOT SHOWN ON THIS PLAN ADJOINS TO EXISTING STRUCTURE, INCLUDING UTILITIES AND FINISHES FOR A COMPLETE AND WATER TIGHT CONDITION. SUB CONTRACTOR TO DO FINAL WALK THROUGH AT SITE WITH CONTRACTOR AND ANY ADDITIONAL ITEMS COORDINATE WITH ARCHITECT AND OWNER PRIOR TO FINAL BID.

**KEY BUILDING NOTES**

- NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET
1. FIELD VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION, DEMOLITION AND REMOVAL OF SITE WORK.

**KEY SITE NOTES**

1. EXISTING CONCRETE SIDEWALK, PATCH, REPAIR RESEAL IF NEEDED.
2. EXISTING CONCRETE CURBING TO REMAIN.
3. EXISTING PROPERTY LINE.
4. EXISTING RAMPED SIDEWALK FOR ACCESSIBLE ENTRY AND VEHICLE ACCESS. SLOPE NOT STEEPER THAN 8%.
5. EXISTING LANDSCAPING TO REMAIN.
6. EXISTING TRASH/RECYCLING AND TIRE ENCLOSURE.
7. EXISTING OIL EQUIPMENT ROOM.
8. COMPRESSOR AREA.
9. REMOVE EXISTING METAL SHEDS.
10. REMOVE EXISTING TREE INCLUDING STUMP.
11. DEMO INDICATED PORTION OF LANDSCAPE ISLAND AND RESURFACE WITH ASPHALT TO MATCH EXISTING DEPTH AND FINISH.
12. REFORMAT GATE FENCING TO ACCOMMODATE NEW CARWASH.
13. EXISTING ACCESSIBLE RAMP TO BE REVISED TO MEET ACCESSIBLE REQUIREMENTS FOR CURRENT CODE.
14. FIRE RISER, PROTECT IN PLACE.
15. RELOCATE EXHAUST FANS AS REQUIRED FOR NEW EXPRESS WASH METAL BUILDING.
16. EXISTING SAND OIL SEPARATOR.
17. NEW DIRECTIONAL SIGN (UNDER SEPARATE PERMIT).
18. EXISTING FIRE HYDRANT.
19. NEW PLY LON SIZE TO REPLACE EXISTING (UNDER SEPARATE PERMIT).
20. EXISTING PIV.
21. EXISTING LIGHT POLES.
22. EXISTING TRANSFORMER WITH BOLLARDS, PROTECT IN PLACE.
23. EXISTING UTILITY VAULT, PROTECT IN PLACE.
24. NEW STRIPING FOR PATH OF TRAVEL, 4'-0" WIDE MIN.
25. EXTERIOR EMPLOYEE SITTING AREA.
26. FUTURE EV CHARGER, CONTRACTOR TO COORDINATE WORK WITH OWNER & ELECT.
27. RE-STRIP AS REQUIRED.
28. NEW CONCRETE CURB.
29. EV CHARGER WITH BOLLARD AND EV STALLS (UNDER SEPARATE PERMIT).
30. EXISTING GATE.
31. EXISTING TREE TO REMAIN IN PLACE, MODIFY EXISTING LANDSCAPE ISLAND AS INDICATED.

**PROJECT DATA**

**PROJECT DESCRIPTION**  
 PROPOSED TENANT IMPROVEMENT TO EXISTING HONDA DEALERSHIP - REDO EXTERIOR FACADE WITH REMOVAL OF EXISTING HONDA WAVE AND ENTRY CYLINDER WITH NEW FINISHES AND MINOR EXPANSION OF WINDOW ELEMENTS FLATTENING OUT THE FACADE, REVISIONS TO FLOOR FINISH, WALLS AND CEILING ALONG WITH MFE MODIFICATIONS, NEW CARWASH AND DELIVERY CANOPY ADDED.  
 (ONLY BUSINESS SHOURROOM UPDATE AND BRAND IDENTITY REFRESH)

**PROJECT INFORMATION**

APN:	210-210-19 (LOT #0)
PROJECT ADDRESS:	3450 AUTO PLAZA WAY, TRACY, CA 95304
PROPERTY OWNER:	TAZ HARVEY 1099 AMADOR PLAZA RD. DUBLIN, CA 94568

**ZONING**

ZONING DESIGNATION:	FUD
SPECIFIC PLAN:	I-205 CORRIDOR SPECIFIC PLAN
EXISTING USE:	AUTO SALES AND REPAIR
LOT AREA (GROSS):	178,160 SQ. FT. 4.09 +/- ACRES

**DEVELOPMENT STANDARDS**

SETBACKS:	NO CHANGE TO BUILDING SETBACKS
HEIGHT:	NO CHANGE TO EXISTING HEIGHT

**BUILDING INFORMATION**

SPRINKLERS:	YES
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY TYPE:	B, S-1
BUILDING SEPARATION:	N/A
NUMBER OF STORIES:	ONE STORY

**BUILDING AREA CALCULATIONS**

TOTAL EXISTING SALES BUILDING AREA (GROSS):	1972
TOTAL EXISTING SERVICE BUILDING AREA (GROSS):	12,160
TOTAL NEW CANOPY AREA:	855
TOTAL NEW CARWASH AREA:	120
<b>TOTAL FLOOR AREA</b>	<b>25,107</b>

**REQUIRED PARKING:**

I-205 CORRIDOR SPECIFIC PLAN:	SPACES REQUIRED	SPACES PROVIDED
1. SPACES PER 750 SF OF BLDG FOOTPRINT (4.1 SPACE PER SALES/ INVENTORY VEHICLE):	103 SPACES	106 SPACES
CUSTOMER:	23 SPACES	23 SPACES
EMPLOYEES:	23 SPACES	23 SPACES
SERVICE:	60 SPACES	60 SPACES

**REQUIRED ACCESSIBLE PARKING**

(PER CBC TABLE 11B-208.2):	5 SPACES	5 SPACES
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**REQUIRED CLEAN AIR PARKING**

(PER CGC) 5% OF REQUIRED PARKING:	11 SPACES	11 SPACES
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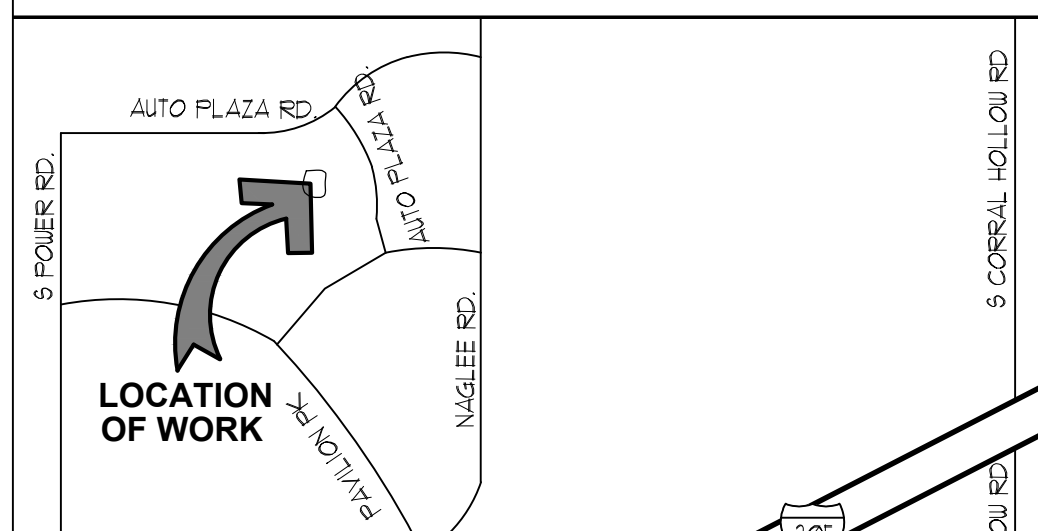
**CHPT 5 HEIGHT & AREA LIM.**

HEIGHT:	PER SECTION 504.3, BUILDING HEIGHT FOR 'S-1' OCCUPANCY, TYPE V-B, SPRINKLERED	ALLOWED = 60'-0"	ACTUAL HEIGHT = 24'-6"
STORIES:	PER SECTION 504.4, NO. OF STORIES FOR 'S-1' OCCUPANCY, TYPE V-B, SPRINKLERED	ALLOWED = TWO STORY	ACTUAL STORY = ONE STORY
AREA:	EQUATION 5-1: $A_2 \leq A_1 (N_2 \times H_2)$		
TABULAR AREA $A_1$ :	21,000	21,000	
FRONTAGE INCREASE $[N_2 \times H_2] \leq L_1 + (F/P) \cdot 0.25 \cdot W / 30 + 60$	N/A	N/A	N/A
CALCULATED ALLOWABLE BUILDING AREA PER STORY:		21,000	
ACTUAL BUILDING AREA:		25,107	

**LEGEND**

	ACCESSIBLE PATH OF TRAVEL
	AREA OF PROPOSED ADDITION
	AREA OF EXISTING BUILDING
	FIRE LANE ACCESS ROUTE

**VICINITY MAP**

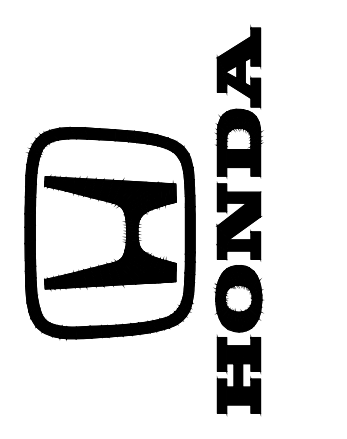


**WAGNER ARCHITECTURE GROUP**  
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REGISTERED ARCHITECT  
 WALTER E. WAGNER  
 No. C14931  
 Exp. 1/31/22  
 STATE OF CALIFORNIA

**TRACY HONDA**  
 3450 Auto Plaza Way, Tracy, CA 95304



SHEET TITLE

**SITE PLAN**

DATE: 05/24/2024

REVISION DESCRIPTION

PROJECT NO.

SHEET NO.

**A1.1**

**SITE PLAN**  
 SCALE: 1" = 30'-0"

1  
 A1.1

THIS MAP IS FOR ASSESSMENT PURPOSES ONLY AND IS NOT FOR THE INTENT OF INTERPRETING LEGAL BOUNDARY RIGHTS, ZONING REGULATIONS AND/OR LEGALITY OF LAND DIVISION LAWS

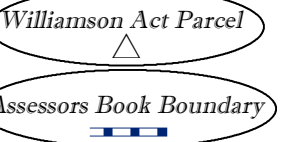


MAPPING/GIS  
0 50 100 150 200  
Feet

**LEGEND**

Example of a Standard Assessors Parcel Number (APN)  
**000-000-00**  
Book Page Parcel Number

R.M. = Recorded Subdivision Map  
P.M. = Recorded Parcel Map  
R.S. = Recorded Survey Map



**A - R.M. Bk. 05 Pg. 018**  
**B - P.M. Bk. 20 Pg. 033**  
**C - P.M. Bk. 24 Pg. 140**

**SAN JOAQUIN COUNTY ASSESSORS PARCEL NUMBER ISSUED PER ROLL YEAR**

ROLL	PAR. #	PAR. #
96-97	11	-
99-00	13	-
02-03	16	-
04-05	17	-
05-06	19	-
08-09	22	-
15-16	24	-
19-20	25	-
20-21	27	-
21-22	37	-
		-
		-

**BK. 212 PG. 27**  
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**REFERENCE ONLY**

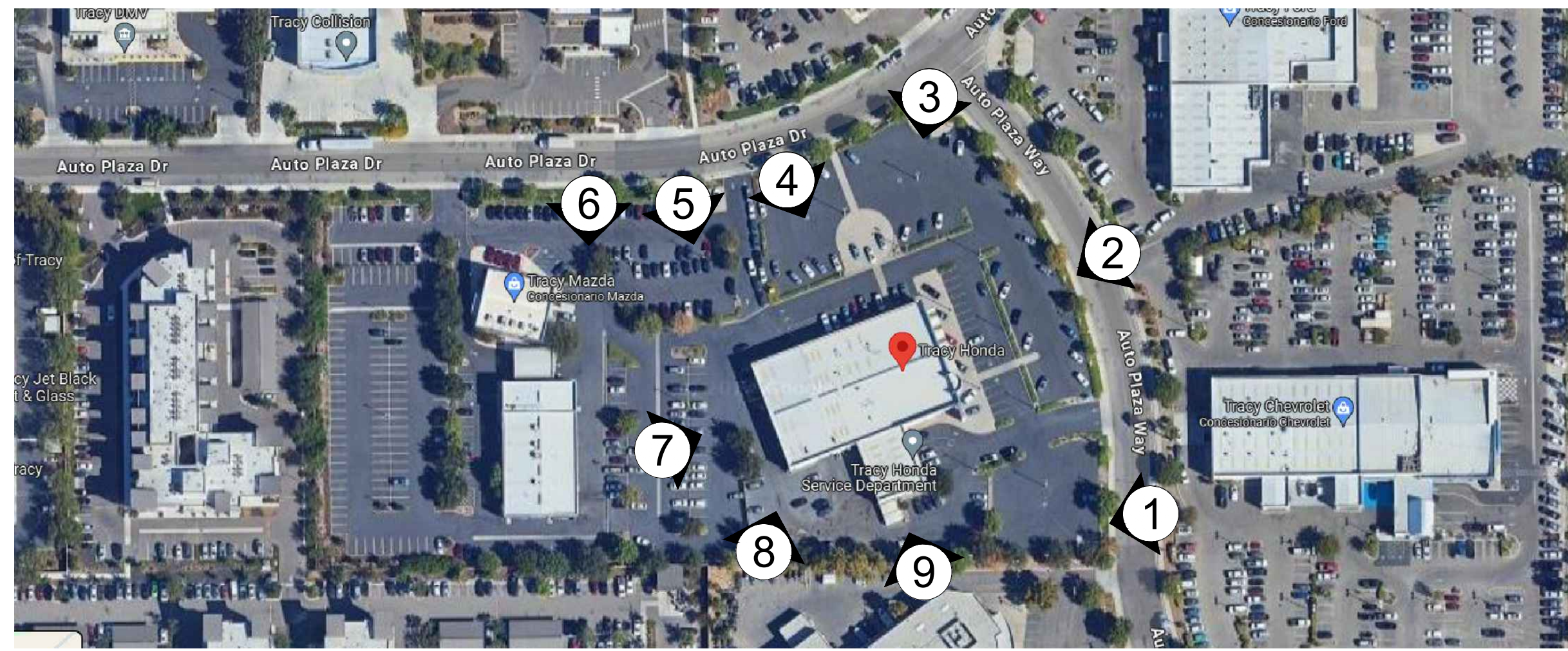
**POR. NAGLEE BURK TRACT**



**DISCLAIMER**

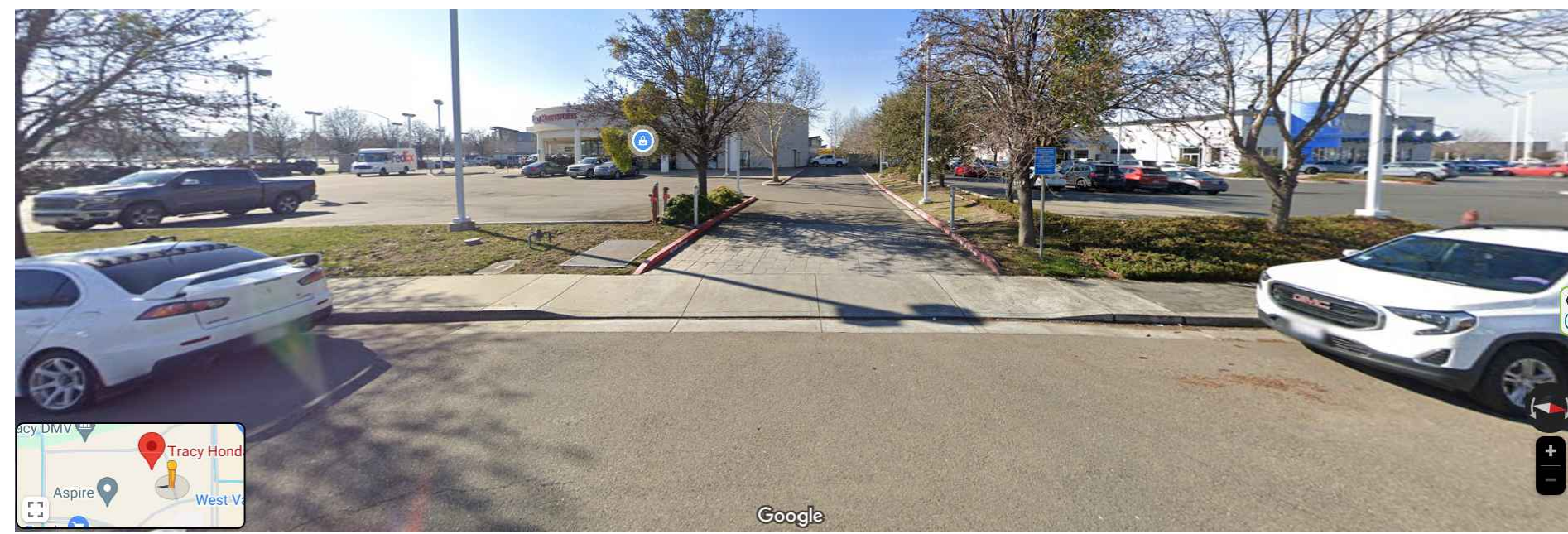
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**AERIAL VIEW**  
SCALE: NO SCALE

1  
A5.1



**1 - ADJACENT TO SOUTH**  
SCALE: NO SCALE

1  
A5.1



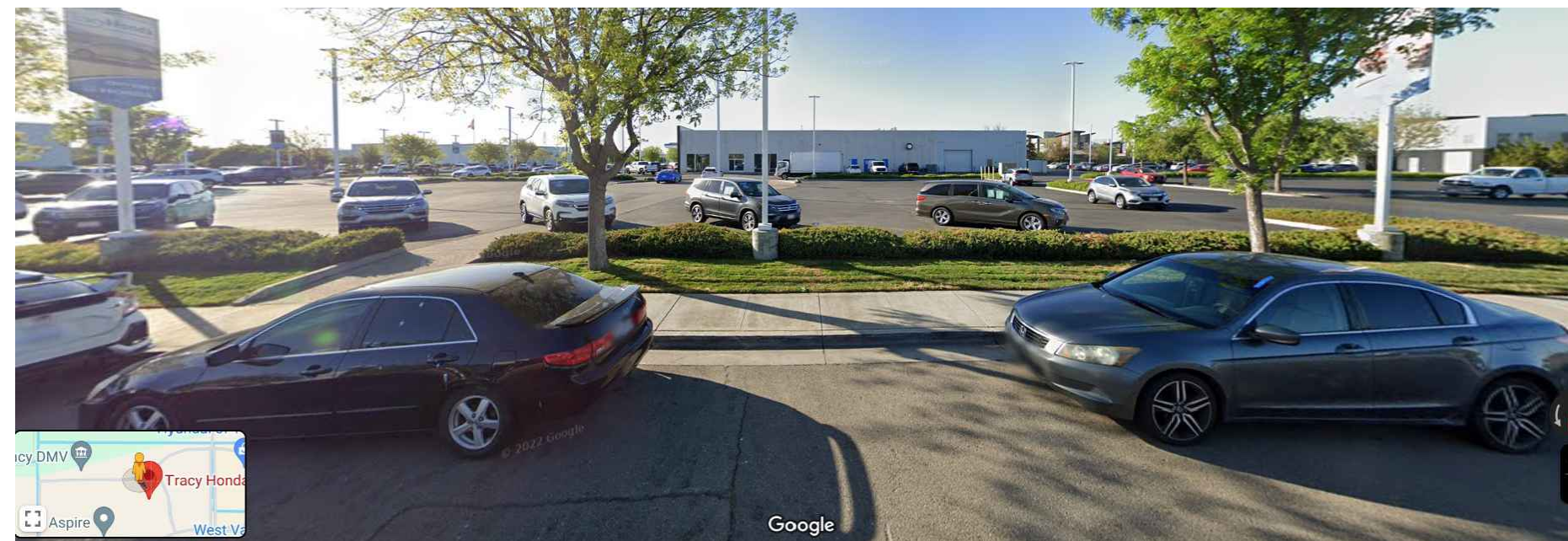
**2 - FRONT VIEW - EAST**  
SCALE: NO SCALE

2  
A5.1



**3 - CORNER VIEW**  
SCALE: NO SCALE

3  
A5.1



**4 - SIDE VIEW NORTH**  
SCALE: NO SCALE

4  
A5.1



**5 - SIDE VIEW NORTHWEST**  
SCALE: NO SCALE

5  
A5.1



**6 - ADJACENT TO WEST**  
SCALE: NO SCALE

6  
A5.1



**7 - SIDE VIEW WEST**  
SCALE: NO SCALE

7  
A5.1



**8 - CORNER VIEW SOUTHWEST**  
SCALE: NO SCALE

8  
A5.1



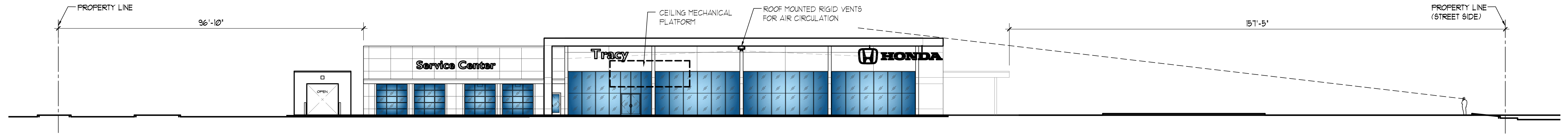
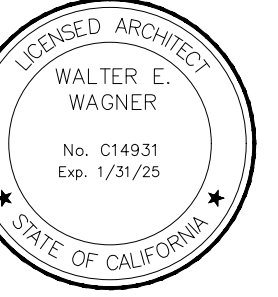
**9 - SIDE VIEW SOUTH**  
SCALE: NO SCALE

9  
A5.1

DATE	REVISION DESCRIPTION



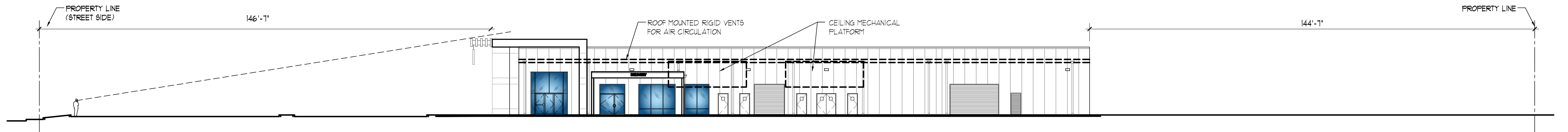
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**NORTH TO SOUTH SECTION CROSS**

SCALE: 1/16" = 1'-0"

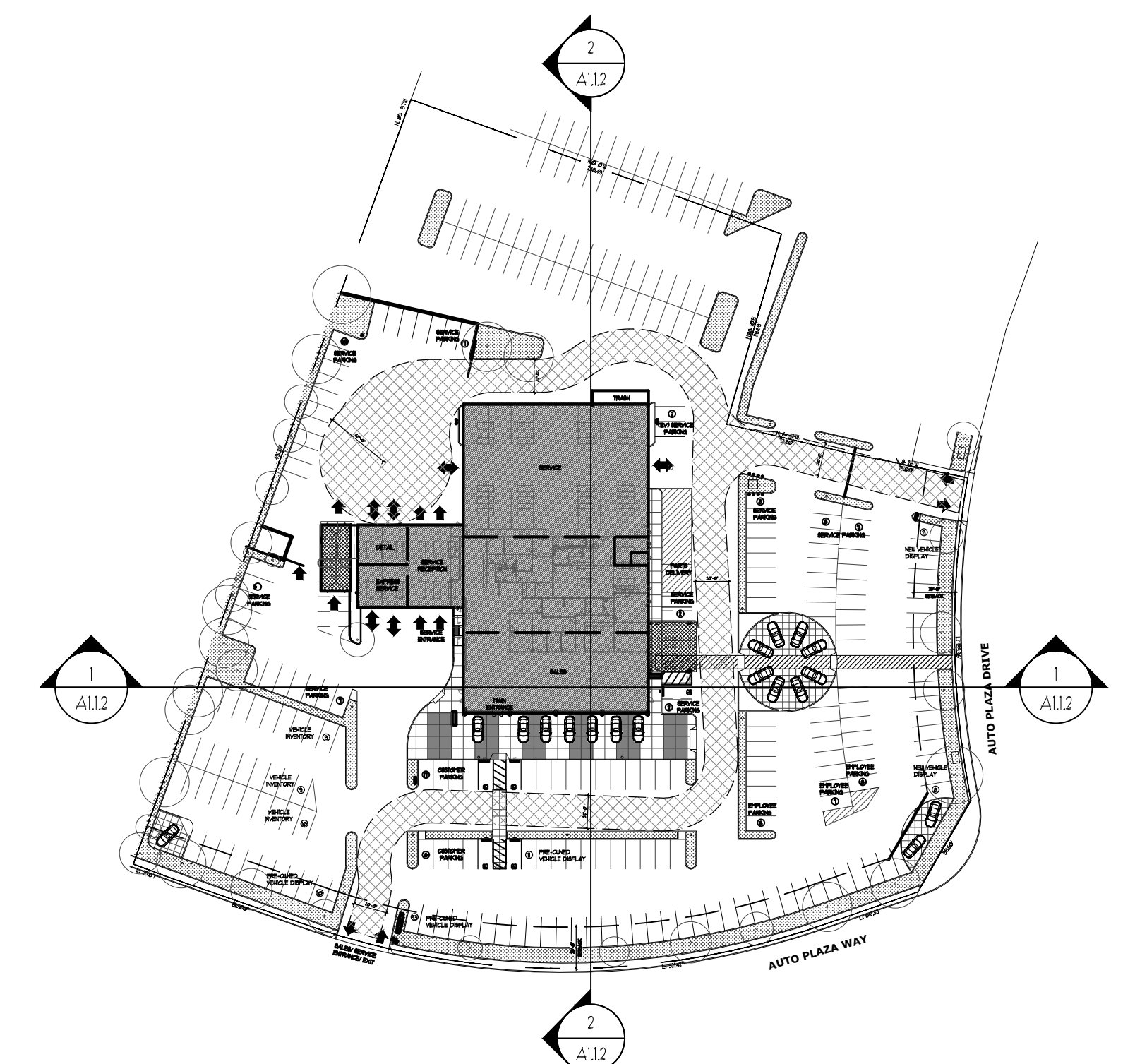
1  
A1.1.2



**EAST TO WEST SECTION CROSS**

SCALE: 1/16" = 1'-0"

2  
A1.1.2



**SITE PLAN (FOR REFERENCE ONLY)**

SCALE: 1/16" = 1'-0"

3  
A1.1.2

**TRACY HONDA**  
3450 Auto Plaza Way, Tracy, CA 95304



SHEET TITLE

SITE SECTIONS

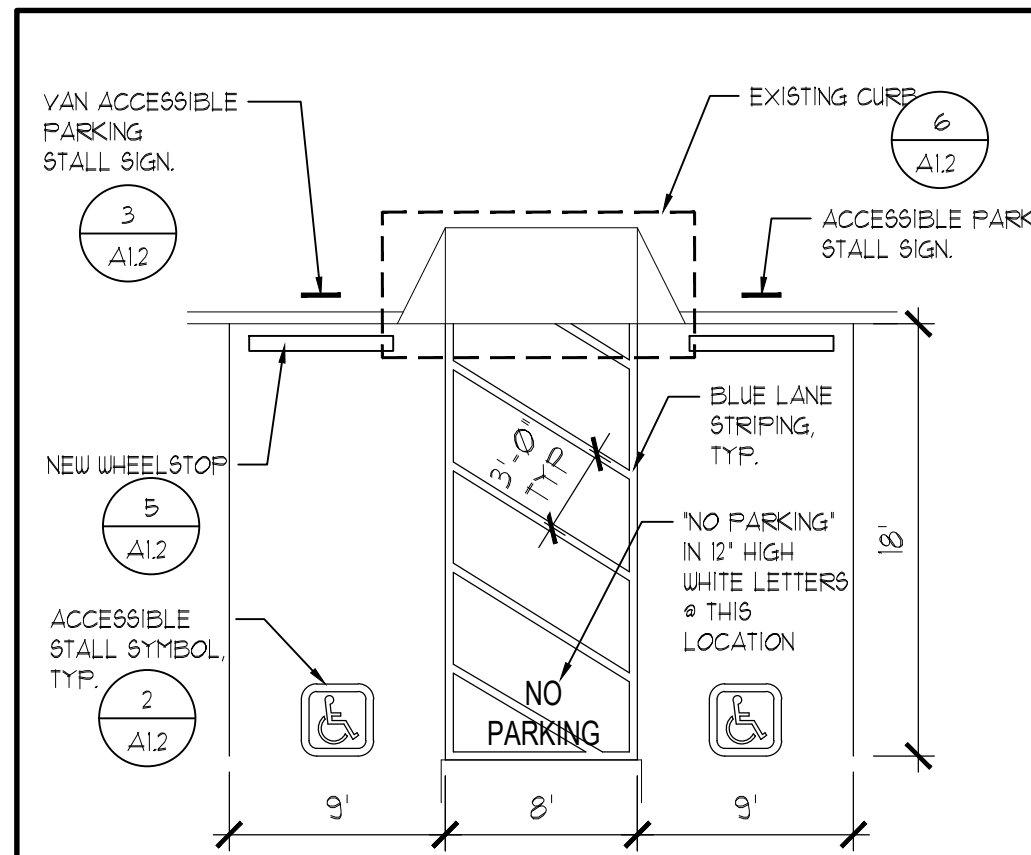
DATE: 05/24/2024

REVISION DESCRIPTION

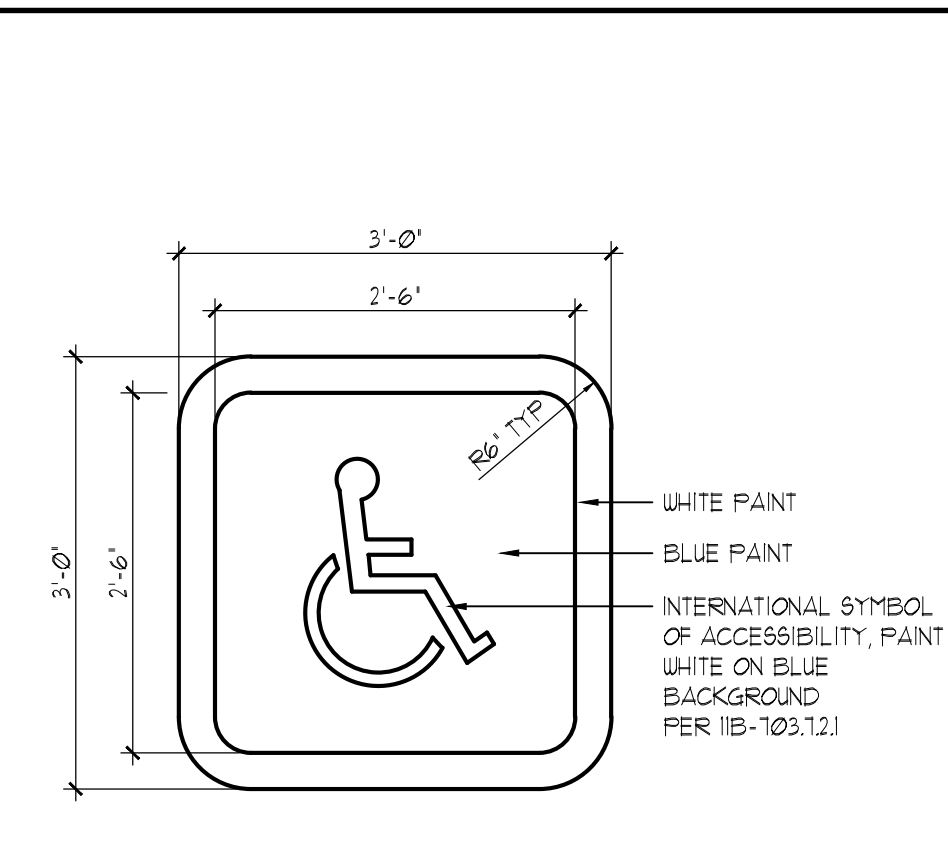
PROJECT NO.

SHEET NO.

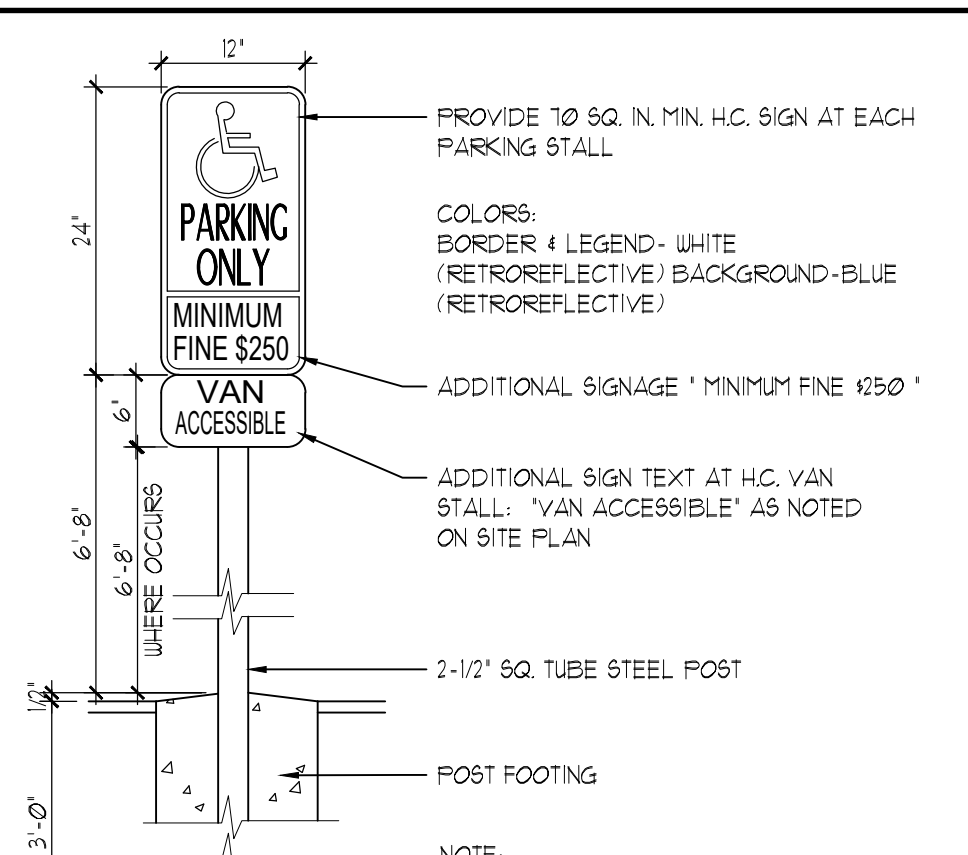
**A1.1.2**



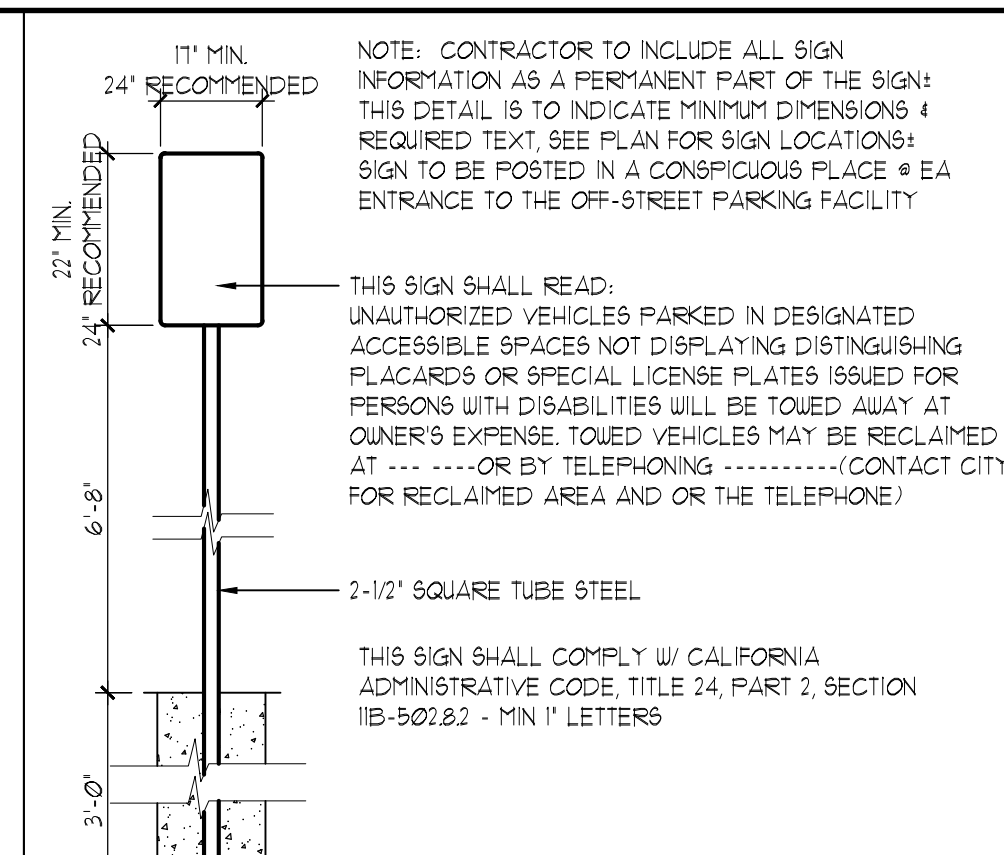
**1 ENLARGED ACCESSIBLE PARKING PLAN**  
SCALE: 1/8" = 1'-0"



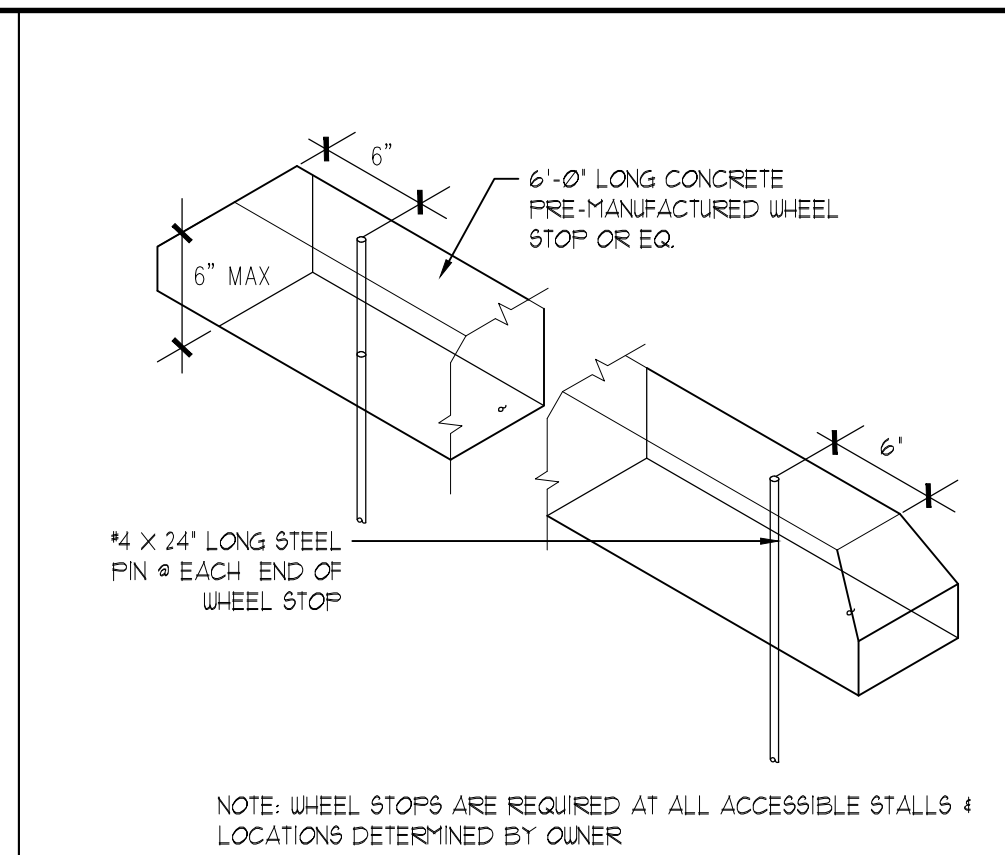
**2 PAINTED ACCESSIBLE PARKING STALL SYMBOL**  
SCALE: 3/4" = 1'-0"



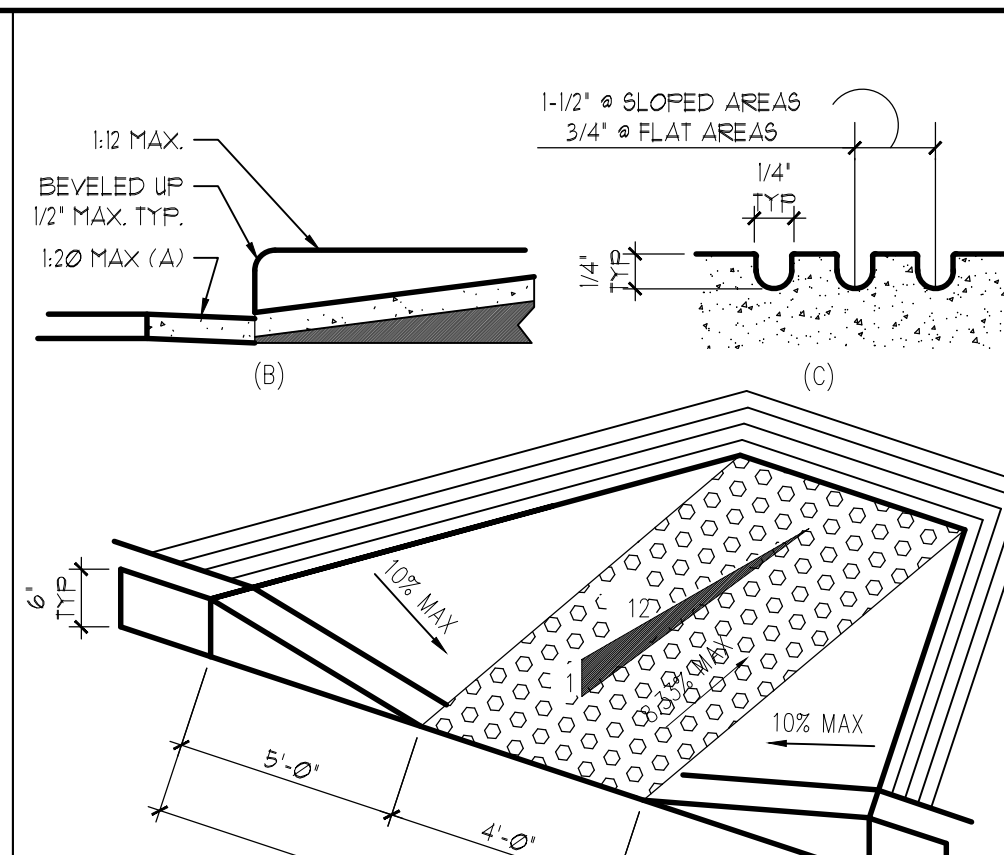
**3 ACCESSIBLE PARKING SIGN**  
NOT TO SCALE



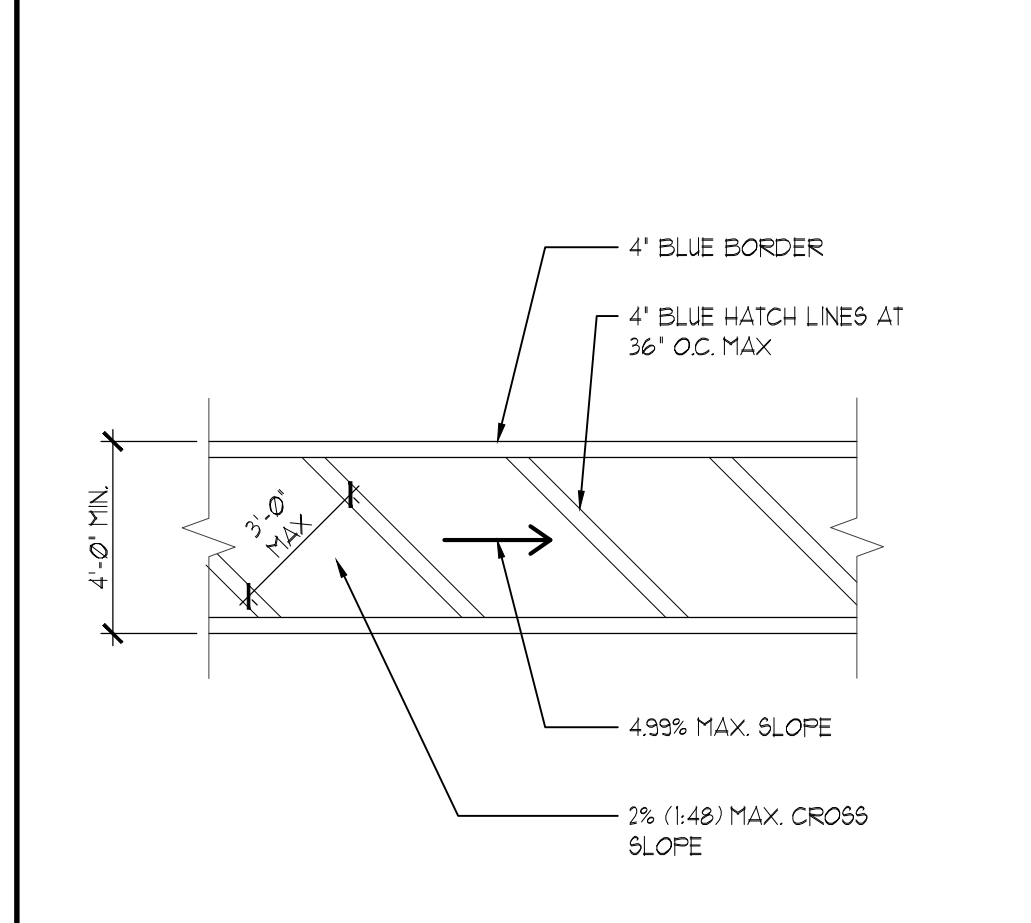
**4 ACCESSIBLE SITE SIGNAGE**  
NOT TO SCALE



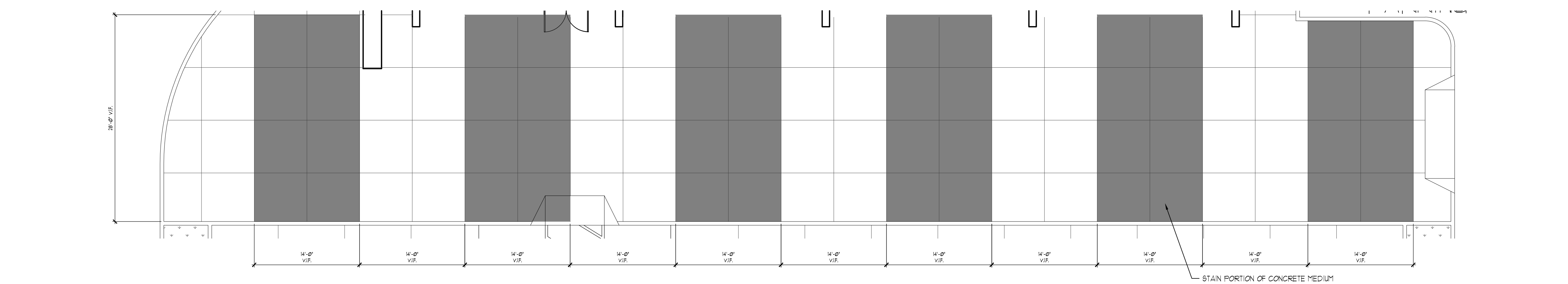
**5 WHEEL STOP**  
NOT TO SCALE



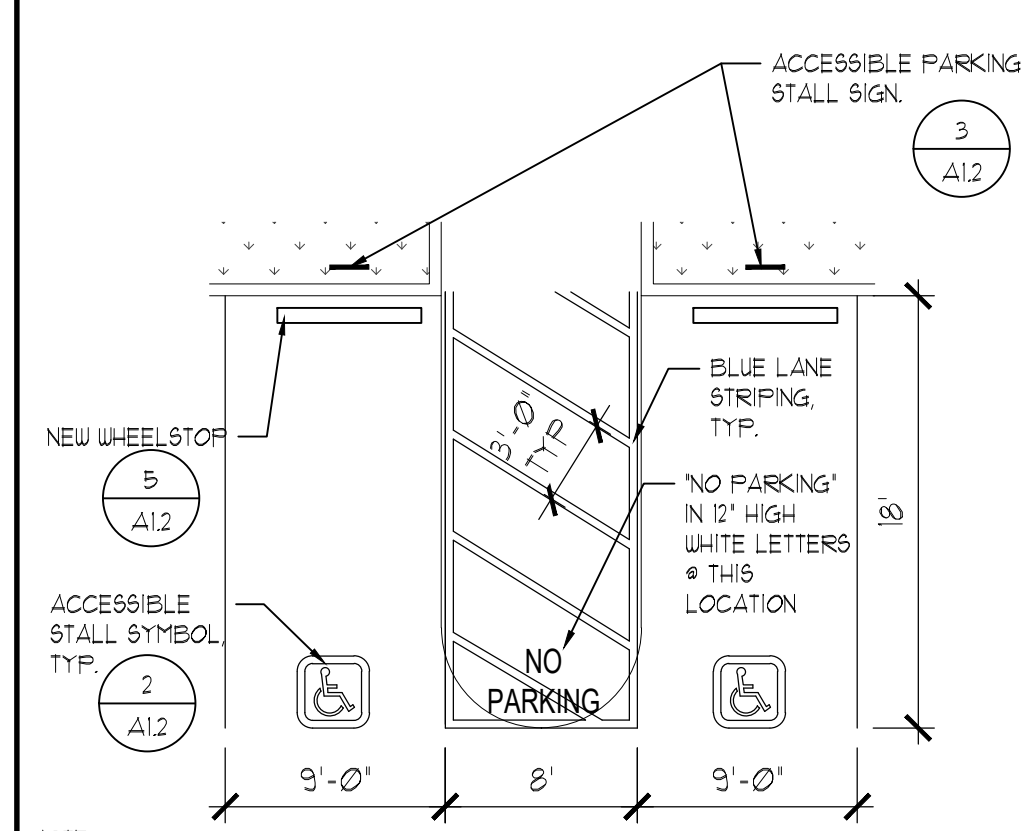
**6 CURB CUT AT ENTRIES**  
NOT TO SCALE



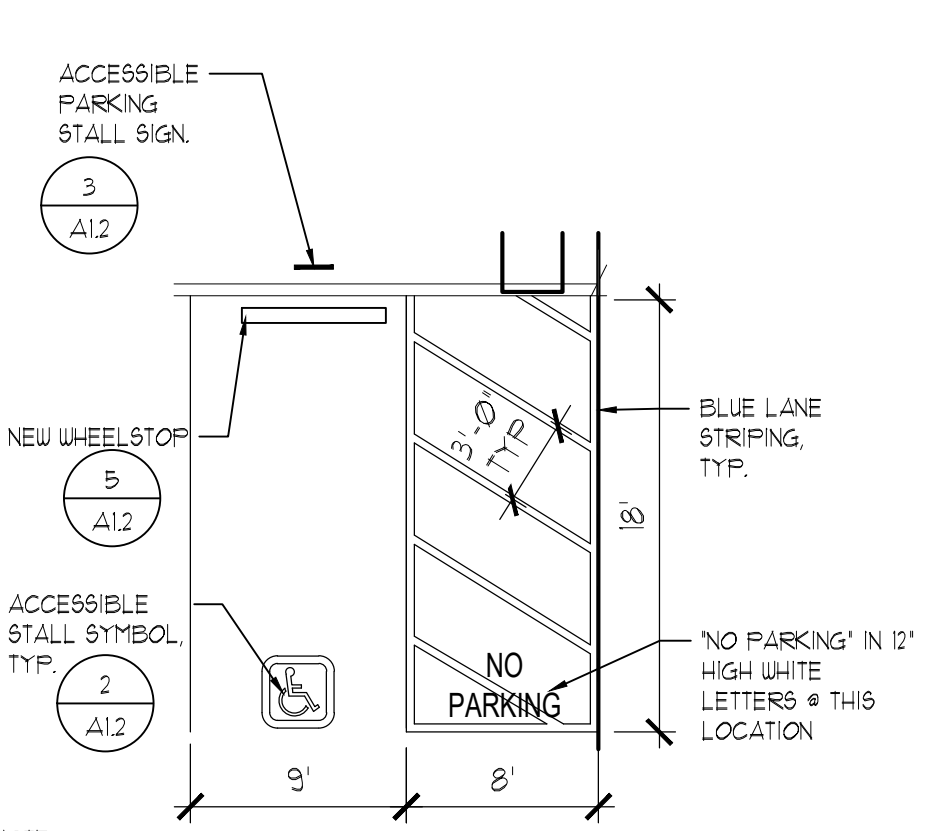
**7 PATH OF TRAVEL**  
SCALE: 1/4" = 1'-0"



**8 ENLARGED PARKING PLAN**  
SCALE: 1/8" = 1'-0"



**9 ENLARGED ACCESSIBLE PARKING PLAN**  
SCALE: 1/8" = 1'-0"



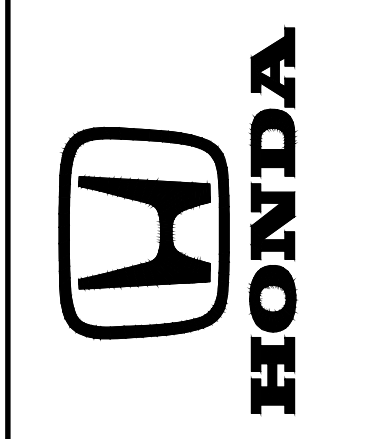
**10 ENLARGED ACCESSIBLE PARKING PLAN**  
SCALE: 1/8" = 1'-0"

**WAGNER ARCHITECTURE GROUP**  
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REGISTERED ARCHITECT  
WALTER E. WAGNER  
No. C14931  
Exp. 1/31/25  
STATE OF CALIFORNIA

**TRACY HONDA**  
3450 Auto Plaza Way, Tracy, CA 95304



SHEET TITLE  
**SITE DETAILS**

DATE	05/24/2024
REVISION DESCRIPTION	
PROJECT NO.	
SHEET NO.	

**A1.2**

**BUILDING & GENERAL NOTES**

1. PLACE OF LIGHT SWITCH SHALL BE MAX 6' AWAY FROM STRIKE SIDE OF DOOR IN ALL POSSIBLE LOCATIONS
2. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 8-B
3. ALL EXITS ARE TO BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE UNLESS INDICATED ON DOOR SCHEDULE
4. ALL EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. PROVIDE SIGNS AT THE MAIN EXIT DOOR READING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". (SECTION 1008.10)
5. ALL INTERIOR WALLS FRAMING TO BE 3-5/8" MIN. 20 GA. (33 MIL) MTL STUD UNLESS NOTED OTHERWISE OR FOR HEIGHT RESTRICTIONS. (STD. GA. PER MFG. FOR HT.)
6. PROVIDE FIRE EXTINGUISHER IN CABINETS (LOCATIONS PER A02) AND VERIFIED IN FIELD BY FIRE DEPARTMENT. COORDINATE FINAL LOCATIONS WITH THE ARCHITECT AND OWNER. SUPPLY SEMI RECESSED CABINETS, STAINLESS STEEL FINISH, FULL GLASS DOOR, IN MTL STUD WALLS WHERE POSSIBLE.
7. SUPPLY A MINIMUM 10 MIL VISQUEEN WATERPROOF MEMBRANE IN MOISTURE SENSITIVE AREAS INCLUDING OFFICES AND SHOWROOMS. RE: STRUCTURAL AND SOILS REPORT FOR FINAL DESIGN REQUIREMENTS
8. REFER TO CIVIL FOR GRADING REQUIREMENTS
9. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATIONS
10. ILLUM SIGN BY OTHERS, PROVIDE BACKING, AND ELECTRICAL CONNECTION SIGN COMPANY REQUIREMENTS
11. EQUIPMENT SUBMITTED UNDER SEPARATE PERMIT.

**KEY BUILDING NOTES**

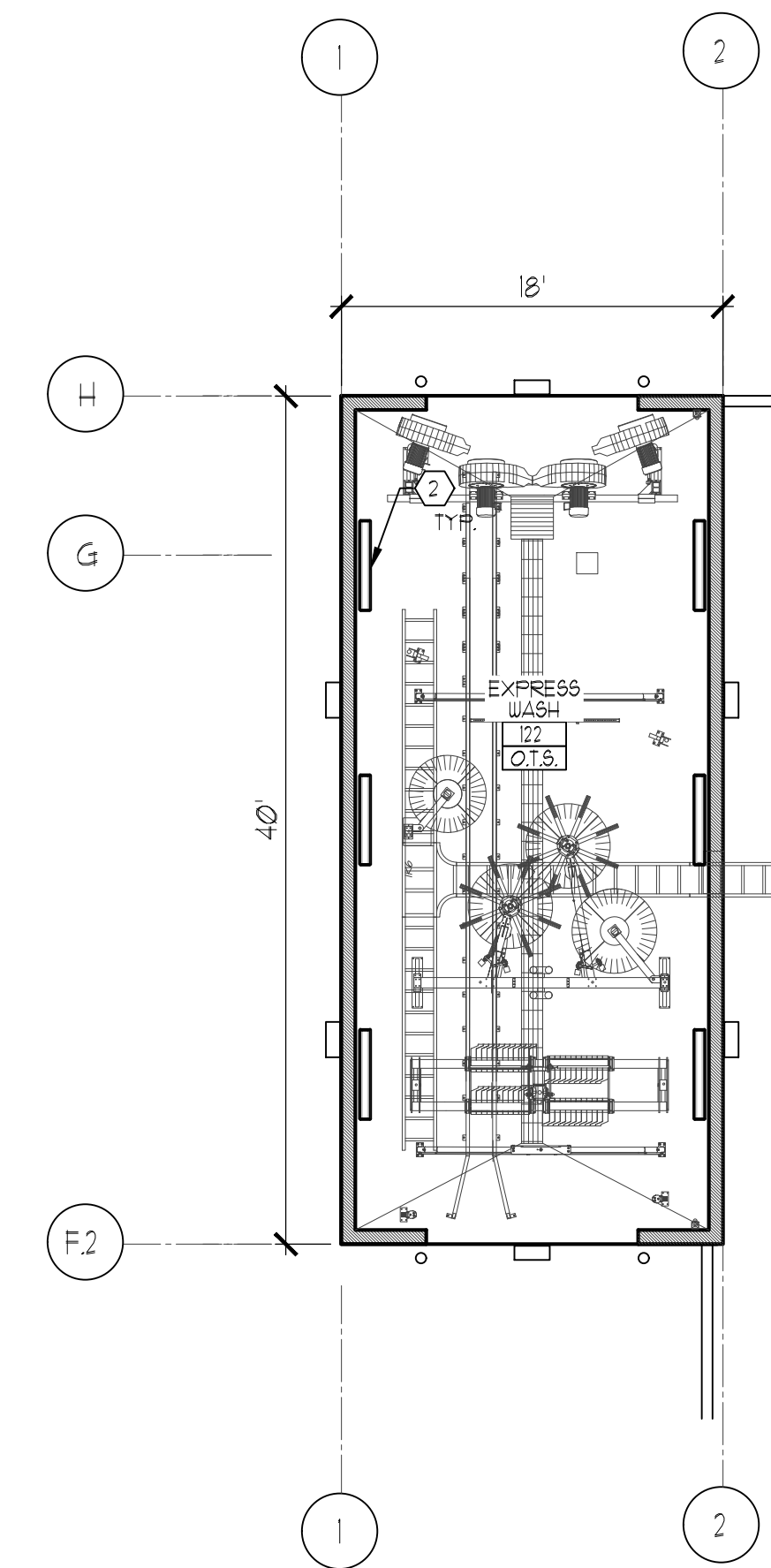
NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET

1. SLOPE SLAB 1% TO TRENCH DRAIN
2. CONTRACTOR TO COORDINATE LIGHTING FIXTURE WITH ELECT. MUST BE ABLE TO WITHSTAND MOISTURE CONDITIONS.
3. CARWASH EQUIPMENT UNDER SEPARATE PERMIT
4. EPOXY FLOOR AND WALL FINISH PER FINISH AND ROOM SCHEDULE

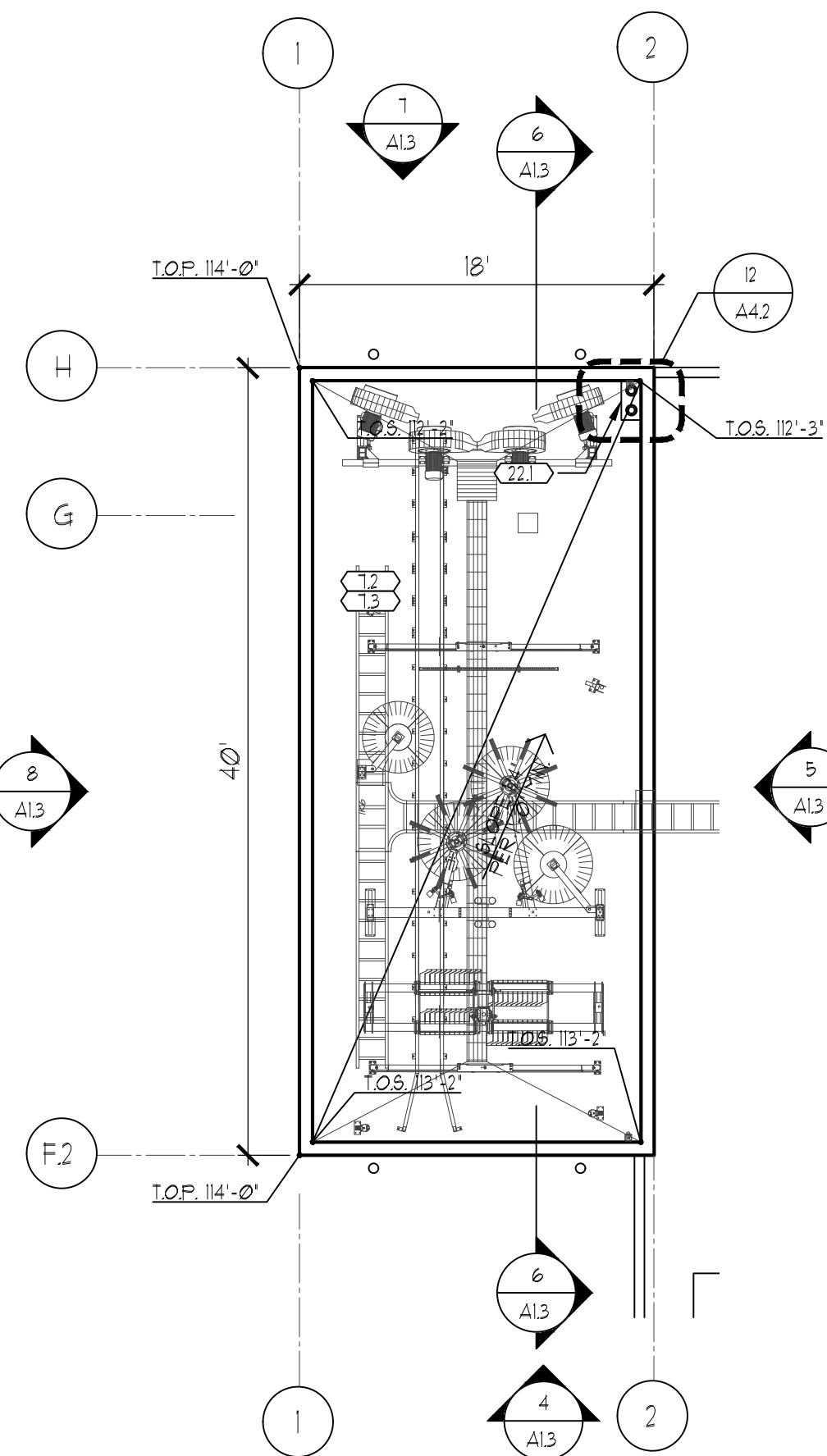
**KEY CONSTRUCTION NOTES**

NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET SEE SCHEDULES, LEGENDS AND DETAILS FOR ADDITIONAL INFORMATION

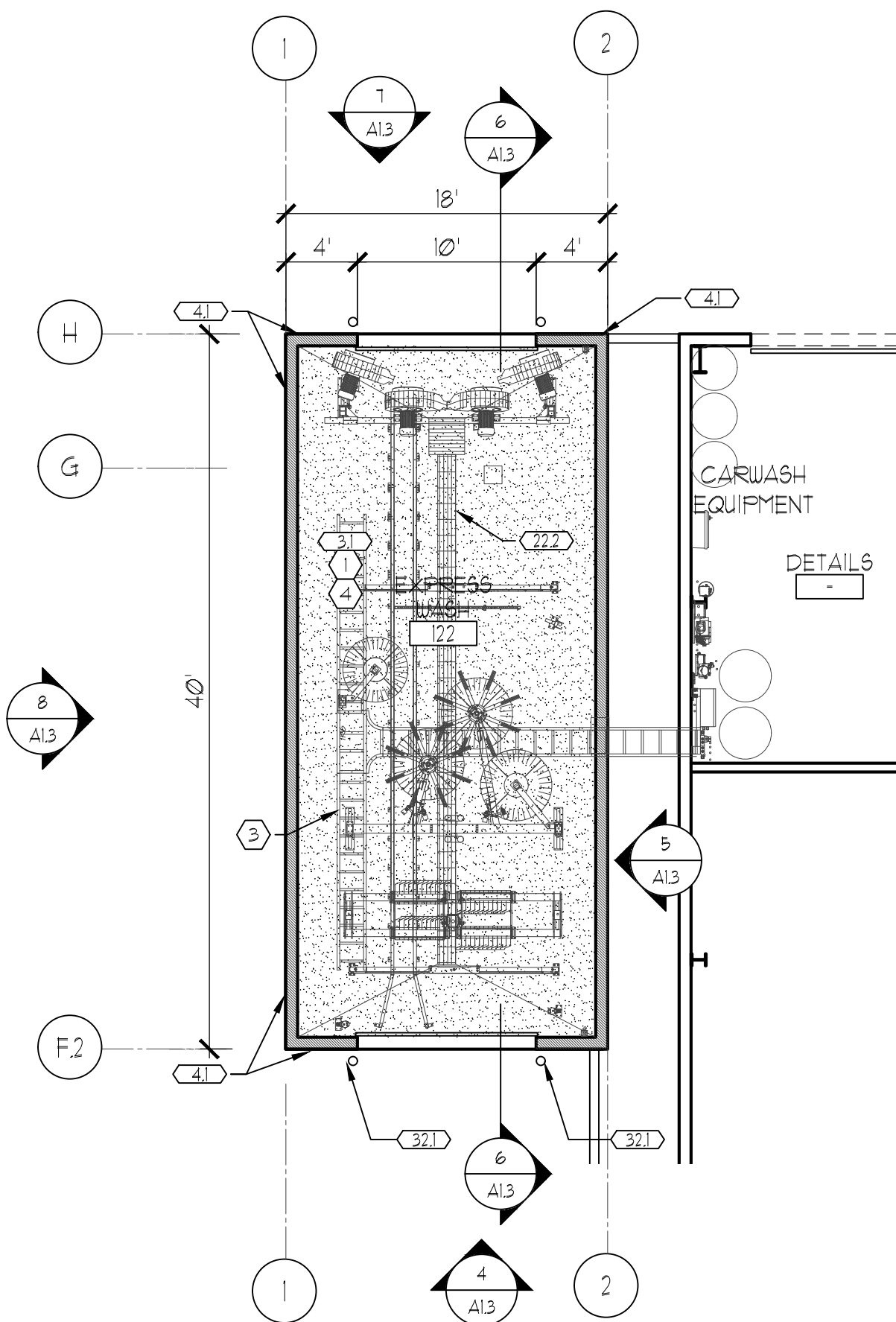
- 03.00.00 - CONCRETE**
- (31) 0330.00 - EXTERIOR CONCRETE SLAB PER STRUCTURAL, SLOPES PER CIVIL, SEALED FINISHES.
- 04.00.00 - MASONRY**
- (41) 0422.00 - CMU WALL PER STRUCTURAL, FINISH PER ELEVATIONS
- 05.00.00 - METALS**
- (51) 0512.00 - STEEL BEAMS AND SUPPORTS RE: STRUCT.
- 06.00.00 - WOOD, PLASTICS, COMPOSITES**
- (61) 0610.00 - ROOF 4 PARAPET FRAMING PER DETAIL
- 07.00.00 - THERMAL & MOISTURE PROTECTION**
- (11) 0722.16 - 1/4" TAPERED ROOF BOARD INSULATION AS REQUIRED FOR CRICKET DESIGN
  - (12) 0722.16 - 1/2" MIN. ROOF SHEATHING OVER METAL DECK, PER STRUCT
  - (13) 0754.23 - ROOFING SYSTEMS - PER PLAN -RE: SPECS
- 11.00.00 - PLUMBING (REF PLUMBING DRAWINGS)**
- (21) 1142.13 - CAST IRON ROOF DRAIN AND OVERFLOW W/ SCREENS.
  - (22) 1100.00 - FLOOR DRAIN
- 23.00.00 ELECTRICAL**
- (31) 2300.00 - EXTERIOR WALL MOUNTED LIGHT FIXTURE, RE: ELECTRICAL.
- 31.00.00 EXTERIOR IMPROVEMENTS**
- (31) 3139.13 - 4" TALL METAL PIPE BOLLARDS, TYP. AT OPENINGS, PAINT TO MATCH CARWASH, PER B/A12



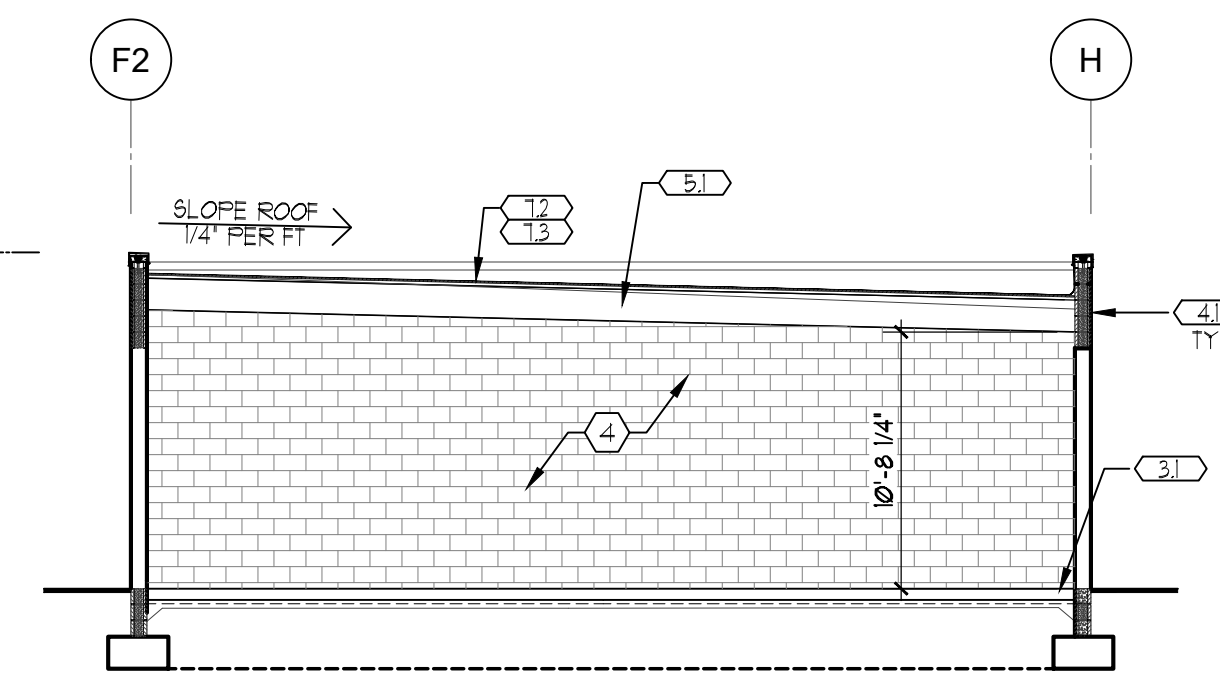
**CARWASH RCP**  
SCALE: 1/8" = 1'-0"



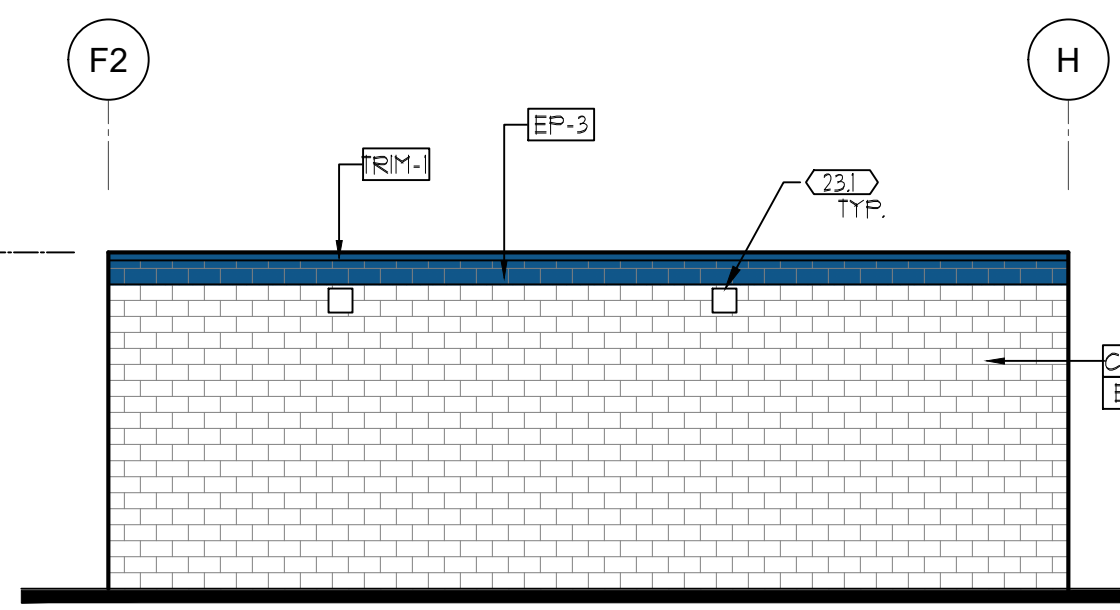
**CARWASH ROOF PLAN**  
SCALE: 1/8" = 1'-0"



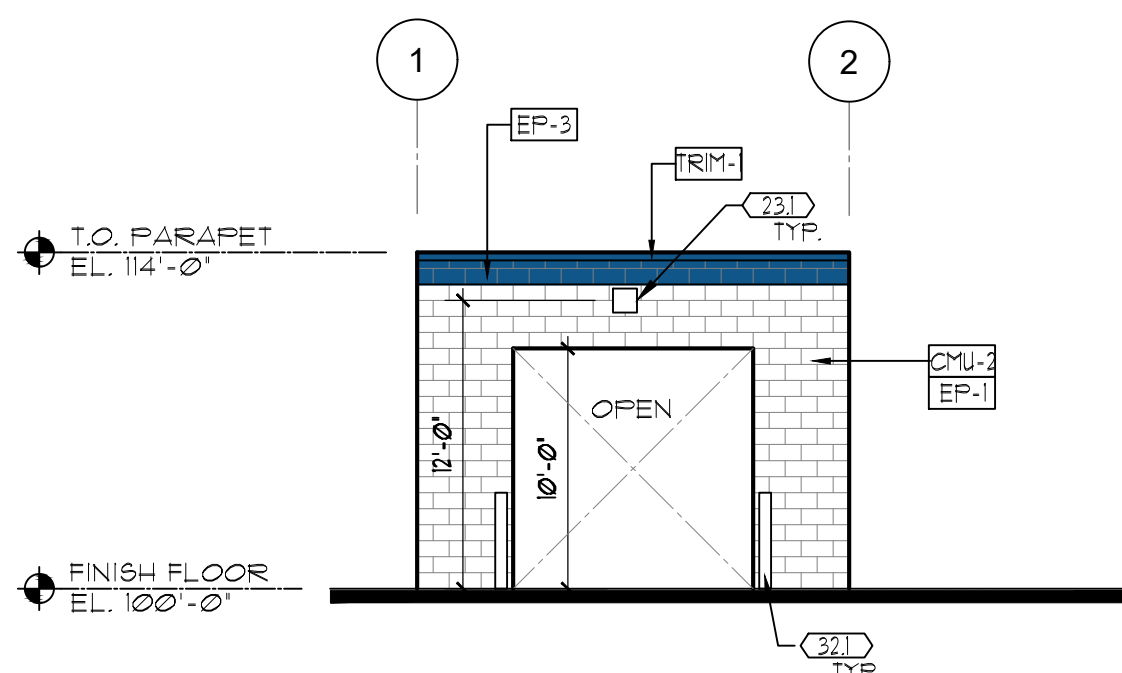
**CARWASH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



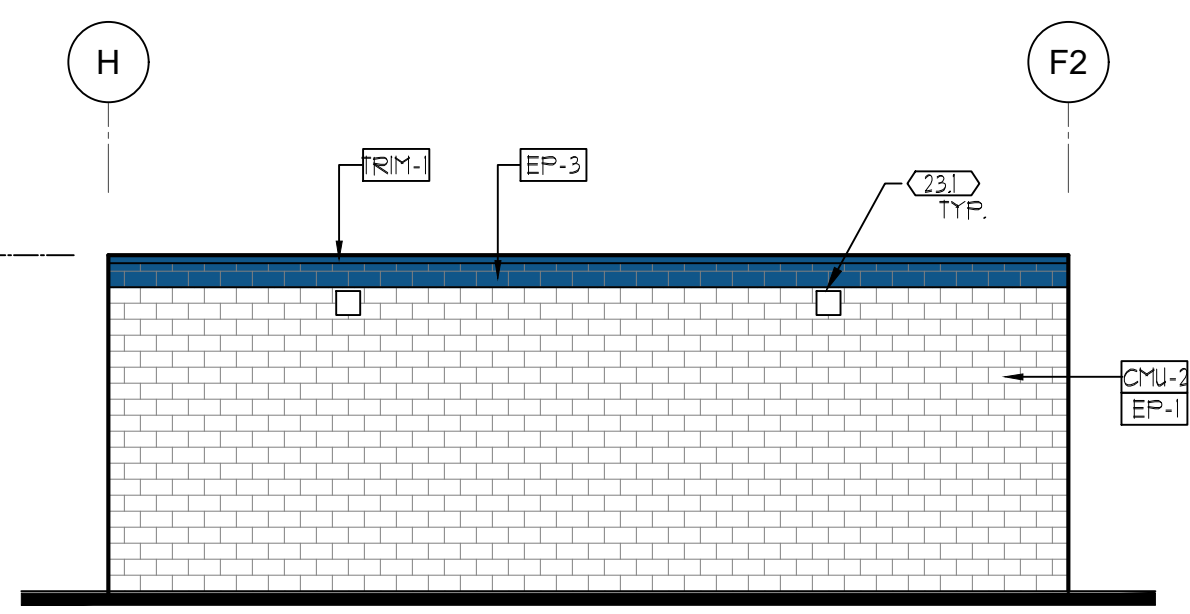
**BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



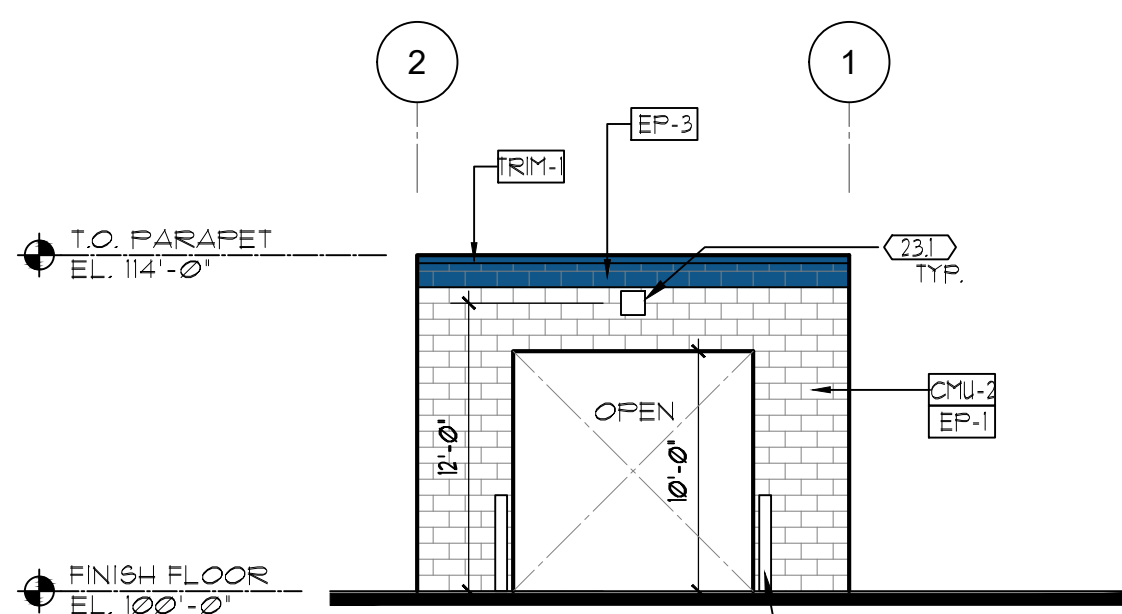
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



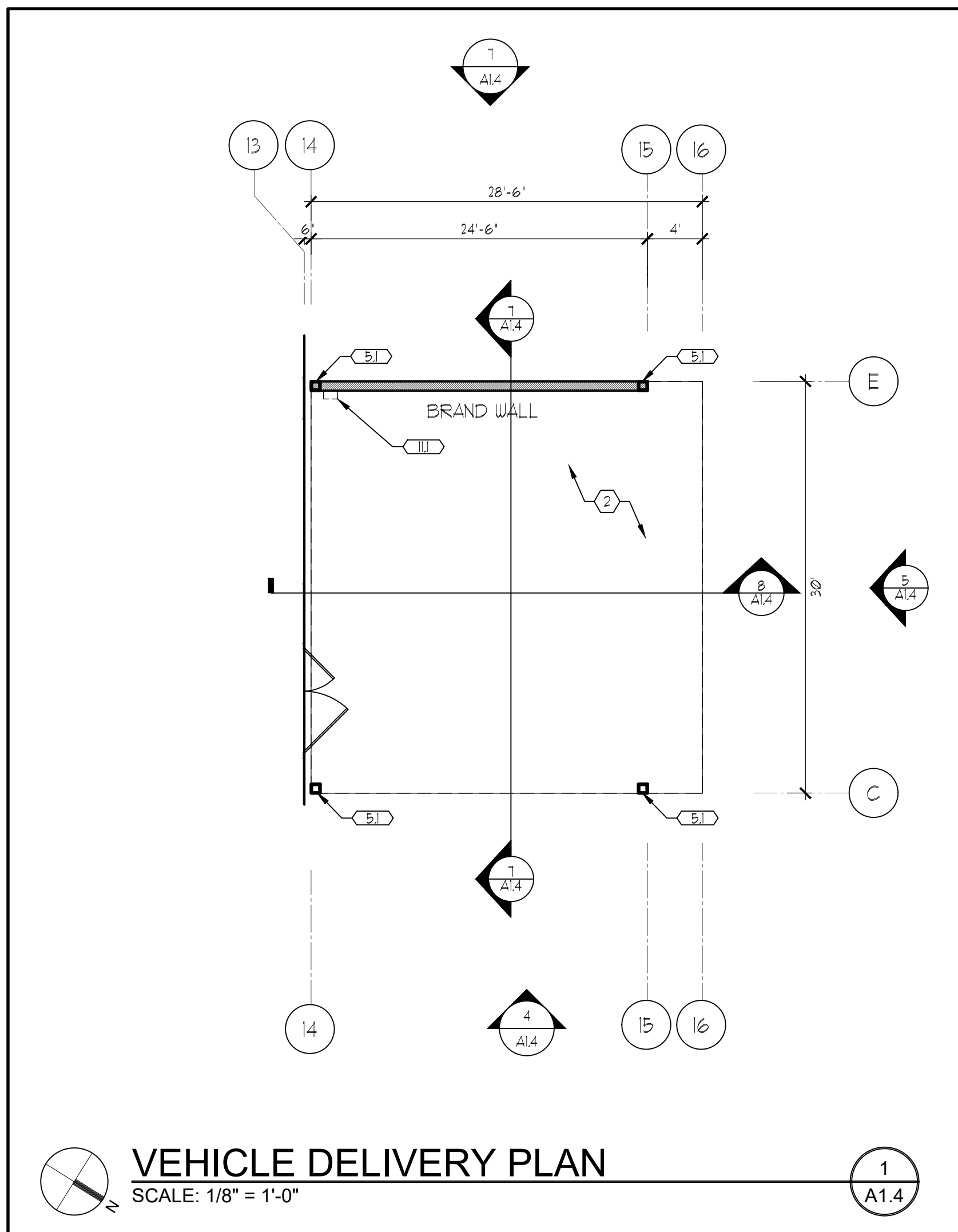
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**SYMBOL LEGEND**

- (XX) SEE A&J FOR DOOR & HARDWARE SCHEDULE
- (X) PER DETAIL CALL OUT
- (AXX) PER DETAIL CALL OUT

**EXTERIOR SURFACE FINISH SCHEDULE**

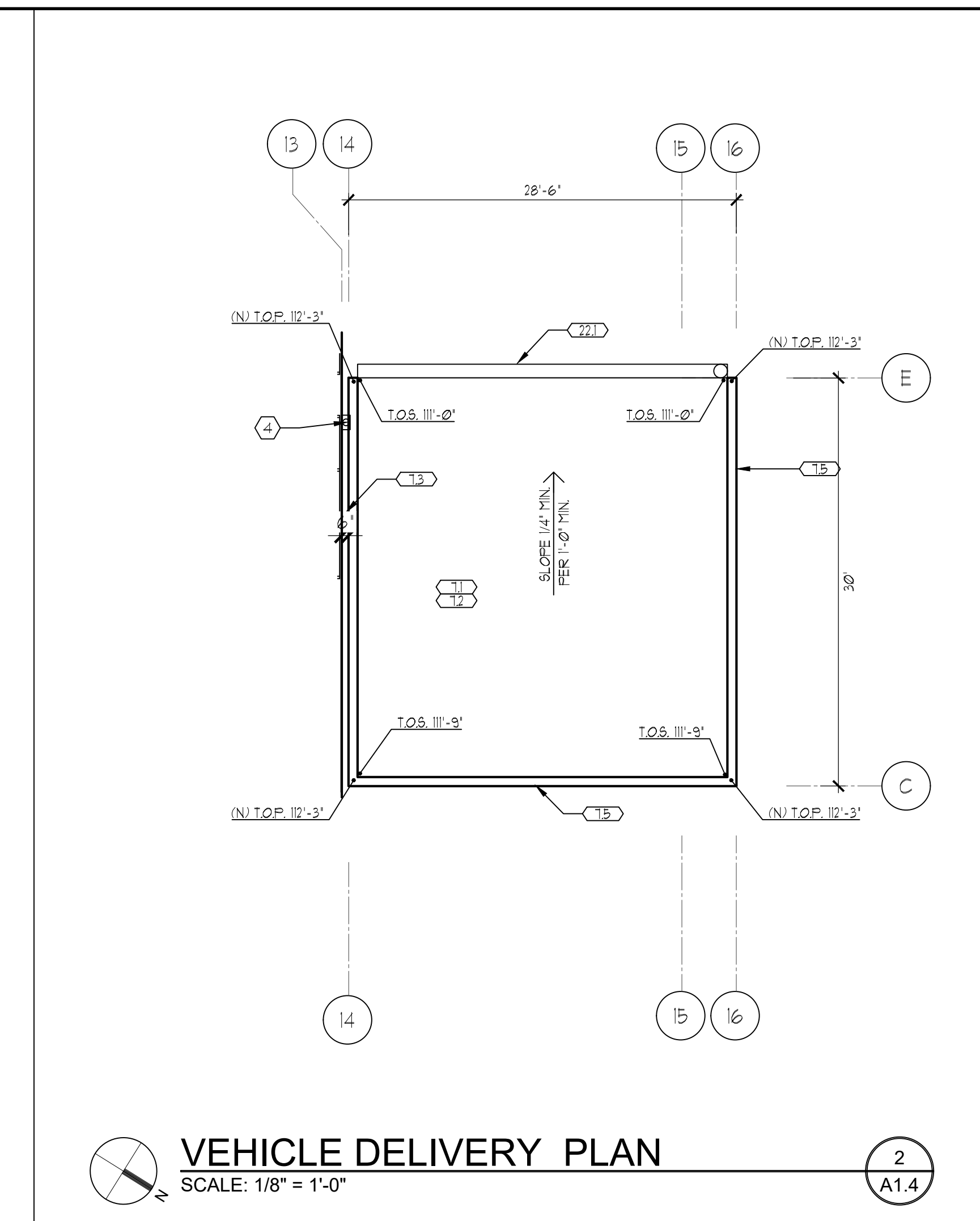
COD	MATERIAL / MASTER FORMAT CODE	MANUFACTURER	DESCRIPTION			LOCATION
			PRODUCT	COLOR	DIM	
EP-1	EXTERIOR PAINT 09913	BENJAMIN MOORE	AURA EXTERIOR ACRYLIC LATEX PAINT	OC-61 WHITE DIAMOND FINISH: EGGSHELL	-	PAINT OVER EXISTING EXTERIOR WALLS
EP-3	EXTERIOR PAINT 09913	BENJAMIN MOORE	AURA EXTERIOR ACRYLIC LATEX PAINT	MATCH FMS 285 C - HONDA BLUE FINISH: EGGSHELL	-	PER ELEVATION
CMU-3	CONCRETE UNIT MASONRY 04222323	TRENTHYTH OR APPROVED EQUAL	TRENSTONE SPLIT FACE BLOCK	PER ELEVATIONS, SPLIT FACE ON EXTERIOR SIDE AND PRECISION ON INTERIOR SIDE	8"x8" x16"	CARWASH
TRIM-2	ALUMINUM COMPOSITE METAL PANEL 01421323	ALPOLIC	ALPOLIC BREAK METAL	MATCH FMS 285 C (HONDA BLUE)	-	EDGE AND PARAPET PROFILE



**VEHICLE DELIVERY PLAN**

SCALE: 1/8" = 1'-0"

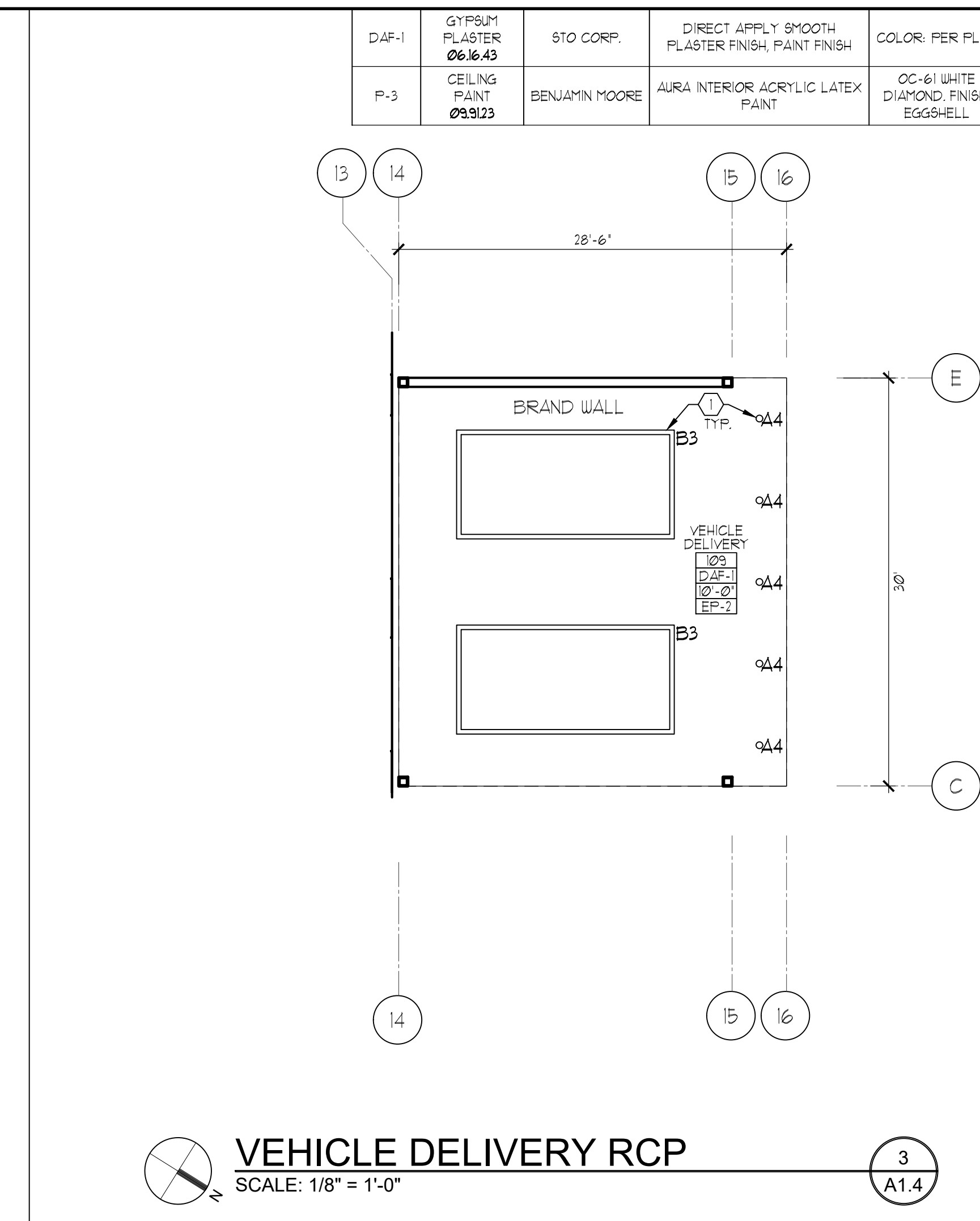
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A1.4



**VEHICLE DELIVERY PLAN**

SCALE: 1/8" = 1'-0"

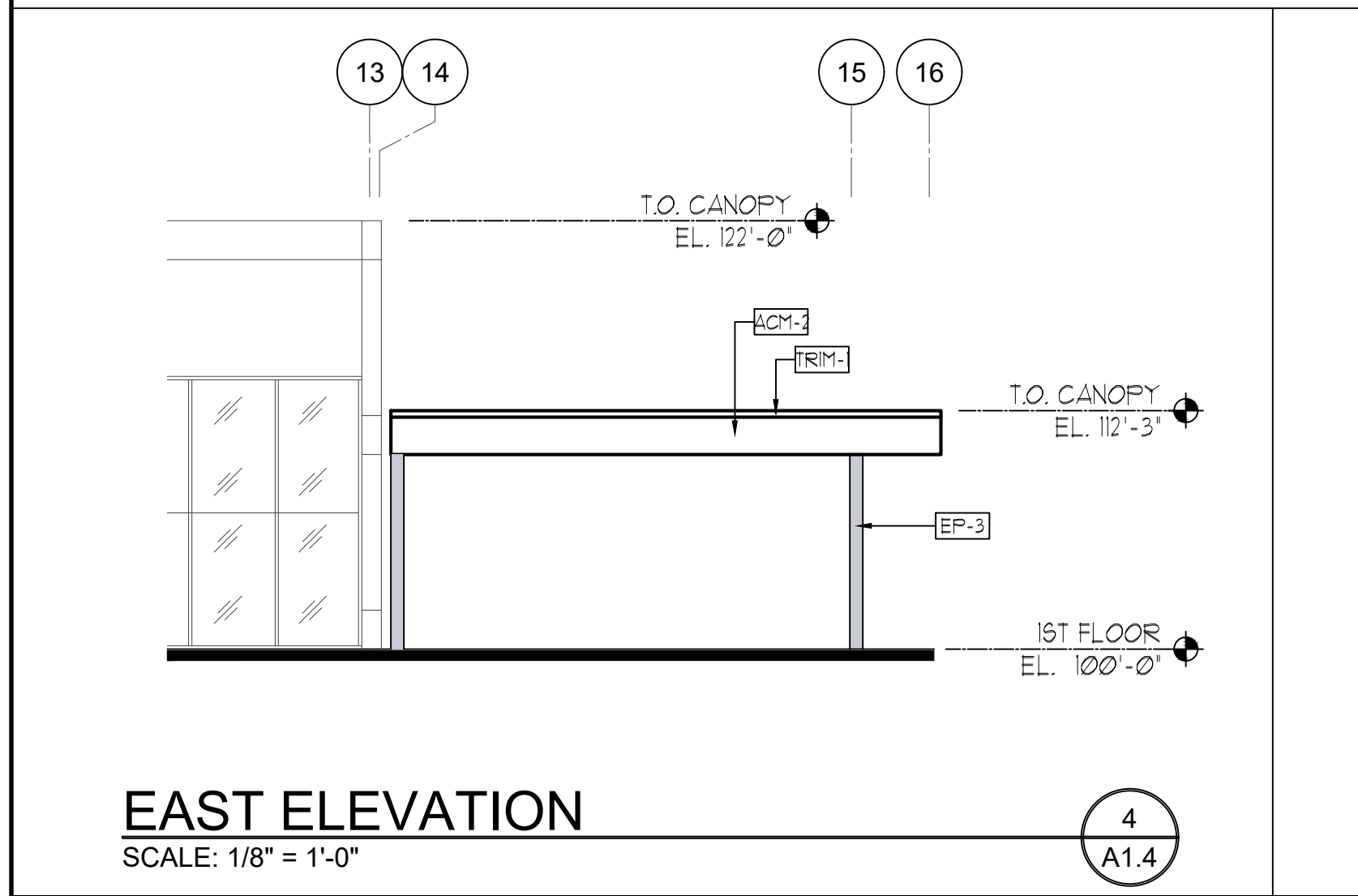
2  
A1.4



**VEHICLE DELIVERY RCP**

SCALE: 1/8" = 1'-0"

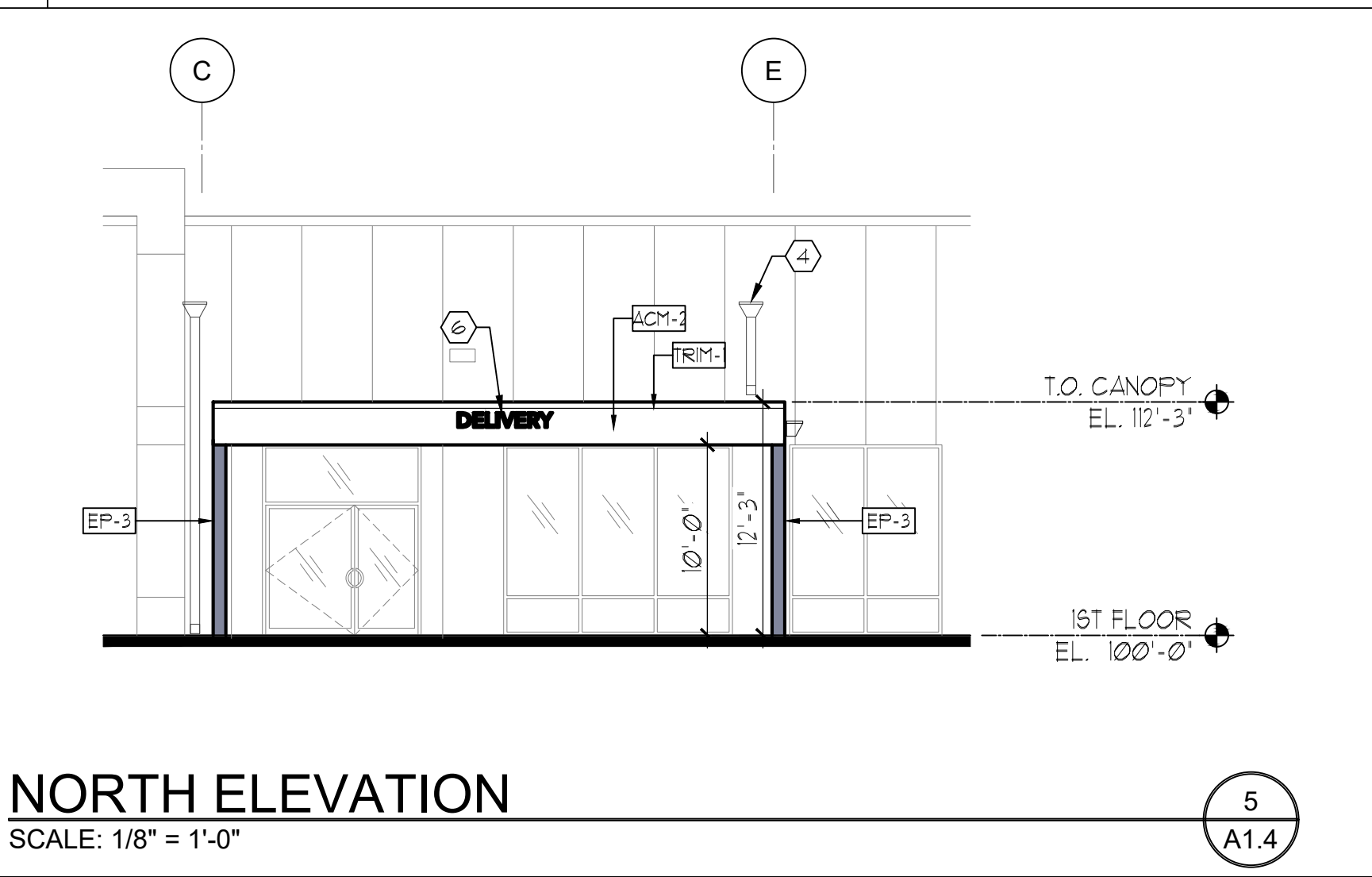
3  
A1.4



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

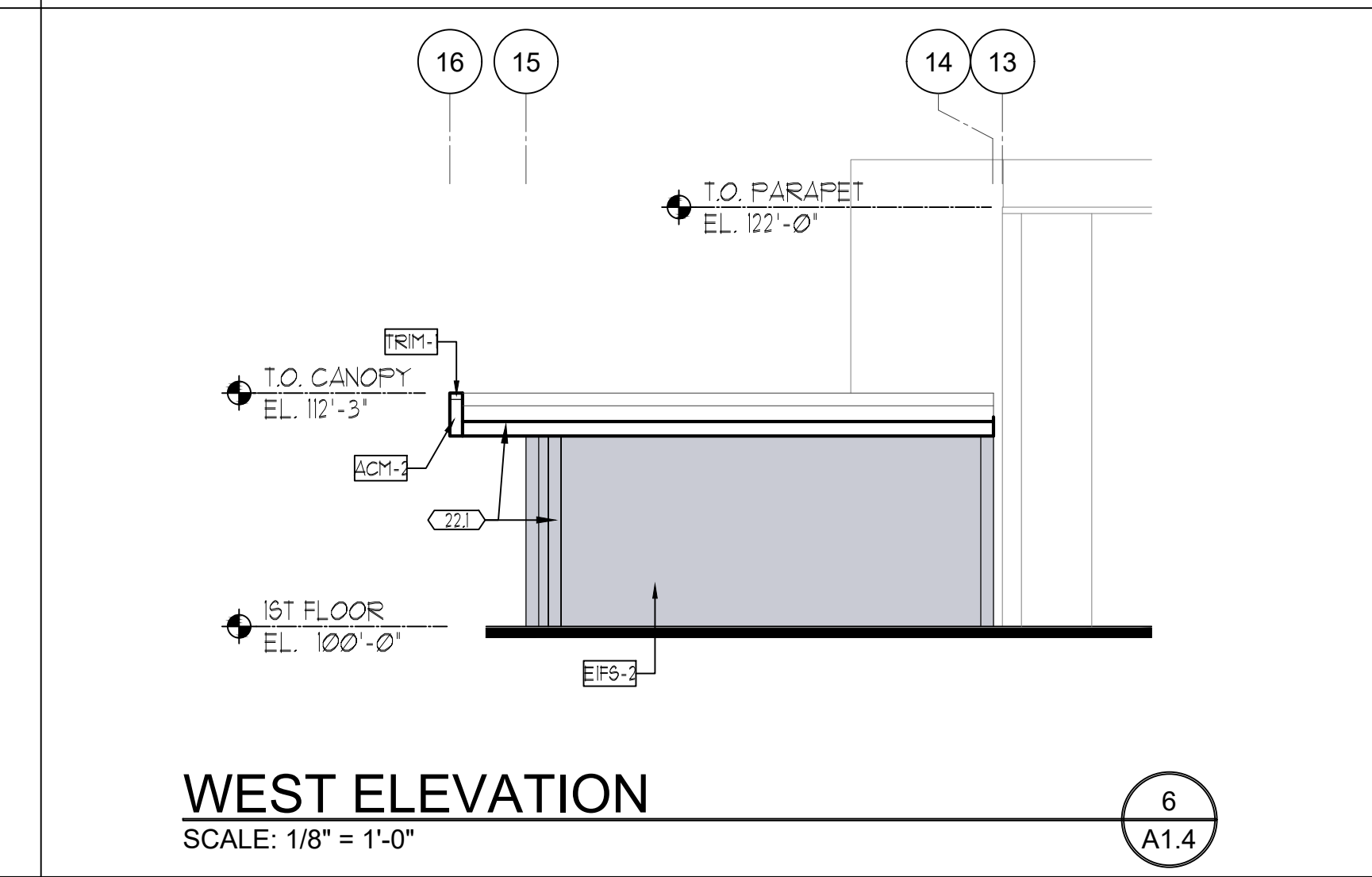
4  
A1.4



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

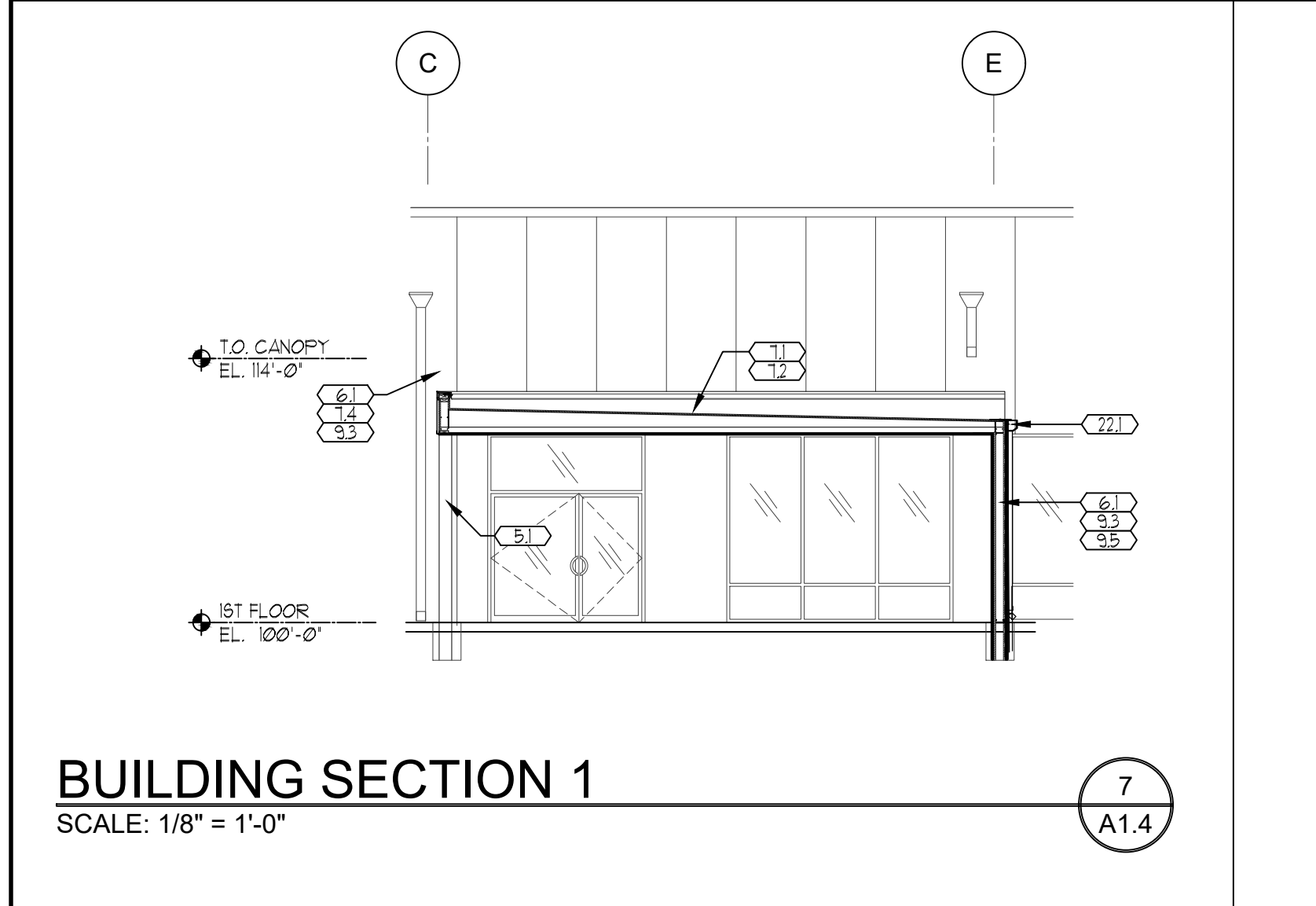
5  
A1.4



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

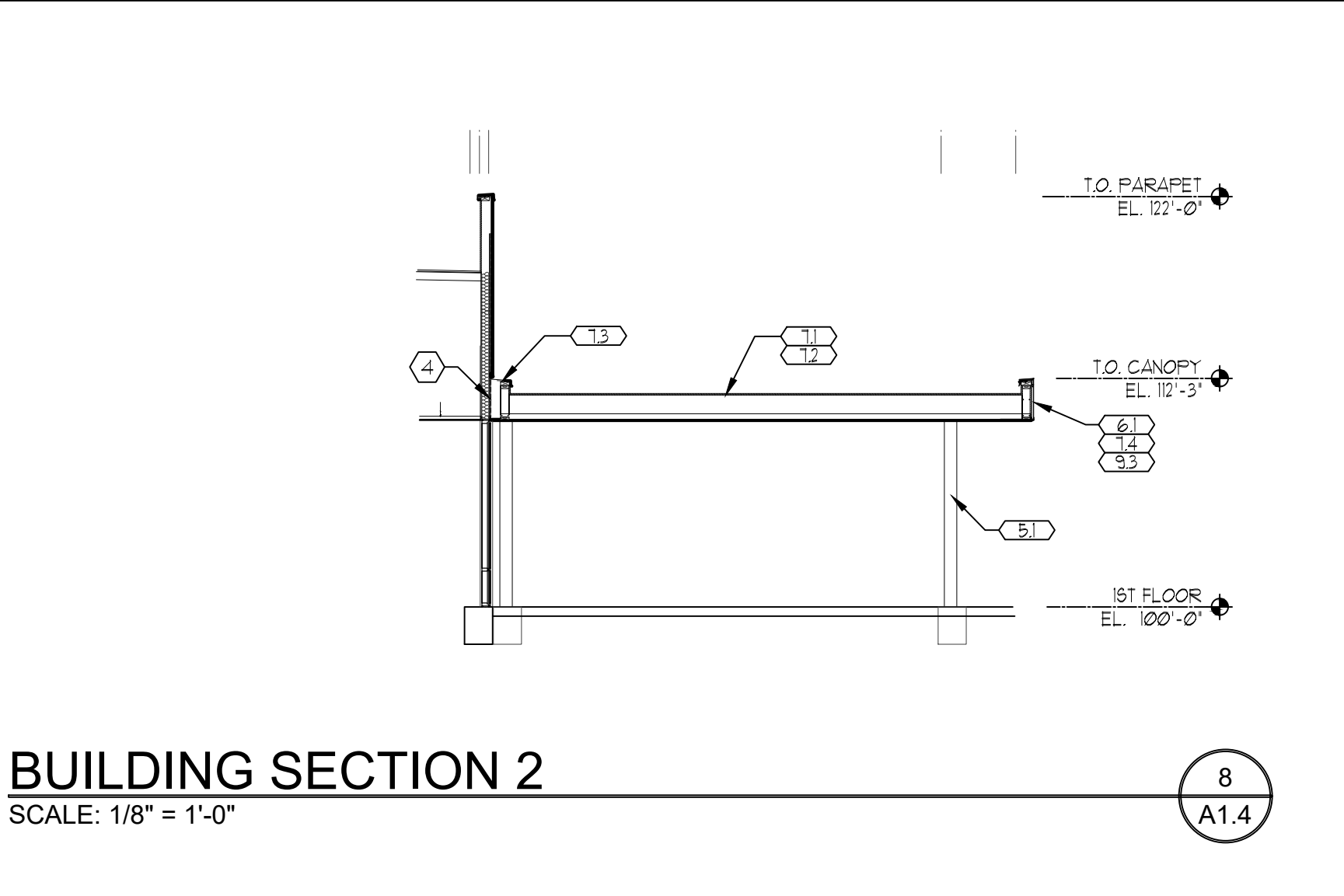
6  
A1.4



**BUILDING SECTION 1**

SCALE: 1/8" = 1'-0"

7  
A1.4



**BUILDING SECTION 2**

SCALE: 1/8" = 1'-0"

8  
A1.4

DAF-1	GYPSUM PLASTER 061643	STO CORP.	DIRECT APPLY SMOOTH PLASTER FINISH PAINT FINISH	COLOR: PER PLAN
P-3	CEILING PAINT 099123	BENJAMIN MOORE	AURA INTERIOR ACRYLIC LATEX PAINT	OC-61 WHITE DIAMOND FINISH: EGGSHELL

**BUILDING & GENERAL NOTES**

1. PLACEMENT OF LIGHT SWITCH SHALL BE MAX 6" AWAY FROM STRIKE SIDE OF DOOR IN ALL POSSIBLE LOCATIONS
2. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 8-B
3. ALL EXITS ARE TO BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE UNLESS INDICATED ON DOOR SCHEDULE
4. ALL EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. PROVIDE SIGNS AT THE MAIN EXIT DOOR READING THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. (SECTION 10098.1)
5. ALL INTERIOR WALLS FRAMING TO BE 3-5/8" MIN. 20 GA. (33 MIL) MTL. STUD UNLESS NOTED OTHERWISE OR FOR HEIGHT RESTRICTIONS. (STD. GA. PER MFG. FOR HT.)
6. PROVIDE FIRE EXTINGUISHER IN CABINETS (LOCATIONS PER A02) AND VERIFIED IN FIELD BY FIRE DEPARTMENT. COORDINATE FINAL LOCATIONS WITH THE ARCHITECT AND OWNER. SUPPLY SEMI-RECESSED CABINETS, STAINLESS STEEL FINISH, FULL GLASS DOOR. IN MTL. STUD WALLS WHERE POSSIBLE.
7. SUPPLY A MINIMUM 10 MIL VISQUEEN WATERPROOF MEMBRANE IN MOISTURE SENSITIVE AREAS INCLUDING OFFICES AND SHOWROOMS. RE: STRUCTURAL AND SOILS REPORT FOR FINAL DESIGN REQUIREMENTS
8. REFER TO CIVIL FOR GRADING REQUIREMENTS
9. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATIONS
10. ILLUM SIGN BY OTHERS. PROVIDE BACKING, AND ELECTRICAL CONNECTION SIGN COMPANY REQUIREMENTS
11. EQUIPMENT SUBMITTED UNDER SEPARATE PERMIT.

**KEY BUILDING NOTES**

- NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET
1. CONTRACTOR TO COORDINATE LIGHTING FIXTURE WITH ELECT. MUST BE ABLE TO WITHSTAND MOISTURE CONDITIONS
  2. EXTERIOR PAVING TO REMAIN, PATCH AND REPAIR WHERE NEEDED.
  3. EXISTING FRAMING TO REMAIN.
  4. EXISTING DOWNSPOUT TO BE REPERUTED ONTO NEW VEHICLE DELIVERY CANOPY ROOF
  5. FINISH TO BE REMOVED IN PREPARATION OF FLASHING AT SEISMIC GAP. AREA ON EXISTING BUILDING TO HAVE WATERPROOFING REDONE TO GUARANTEE WATER TIGHT SEAL. FINISH AT EXISTING BUILDING TO BE REDONE AFTER FLASHING IS INSTALLED
  6. SIGNAGE UNDER SEPARATE PERMIT

**KEY CONSTRUCTION NOTES**

- 300000 - CONCRETE**
- (3) 033000 - FOOTING PER STRUCTURAL
- 050000 - METALS**
- (5) 051200 - STEEL COLUMN, REF: STRUCTURAL
  - (5) 051200 - STEEL BEAMS AND SUPPORTS RE: STRUCT.
- 060000 - WOOD, PLASTICS, COMPOSITES**
- (6) 061000 - 5/8" MIN. THK. EXTERIOR SHEATHING AT FRAMED WALLS. TYPICAL. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
- 070000 - THERMAL AND MOISTURE PROTECTION**
- (1) 072216 - 1/2" MIN. ROOF SHEATHING OVER ROOF FRAMING, PER STRUCT
  - (1) 071423 - ROOFING SYSTEMS - CLASS B, PER PLAN - RE: SPEC'S
  - (1) 071123 - PRE-FINISHED SHEET METAL SEISMIC FLASHING AND TRIM PER DETAIL. PATCH AND REPAIR EXISTING FACADE EIFS AS NEEDED.
  - (1) 071423B3 - ALUMINUM COMPOSITE METAL PANEL, FINISH PER ELEVATIONS
  - (1) 071423 - ALUMINUM COMPOSITE METAL PANEL CAP FLASHING-RE ELEV. FOR FINISH
- 090000 FINISHES**
- (3) VARIES - FLOOR FINISH AND BASE PER A23
  - (3) VARIES - CEILING FINISH AND HEIGHTS PER A31
  - (3) 092216 - METAL STUD FRAMING, PER STRUCTURAL
  - (3) 092116 - GYPSUM BOARD ASSEMBLIES - 5/8" TYPE X' GYP. BD.
  - (3) 092120 - EXTERIOR INSULATING FINISH SYSTEM W/ R-42 RATING MIN AT CONDITIONED AREAS. RE: ELEVATIONS
- 110000 - EQUIPMENT**
- (1) 110000 - FUTURE EV CHARGER IN INDICATED LOCATION. PROVIDE POWER.
- 210000 - PLUMBING (REF PLUMBING DRAWINGS)**
- (7) 214239 - ROOF DRAIN GUTTER AND DOWNSPOUT W/ SPLASH BLOCK- DRAIN TO LOWER ROOF-SUPPLY 4 DRAIN MIN. 4 GUTTER SEE ELEVATION FOR LOCATION

**SYMBOL LEGEND**

- (XXX) SEE A01 FOR DOOR & HARDWARE SCHEDULE
- (X) PER DETAIL CALL OUT
- (AXX)

**EXTERIOR SURFACE FINISH SCHEDULE**

COD	MATERIAL / MASTER FORMAT CODE	MANUFACTURER	DESCRIPTION			LOCATION
			PRODUCT	COLOR	DIM	
EP-1	EXTERIOR PAINT 09913	BENJAMIN MOORE	AURA EXTERIOR ACRYLIC LATEX PAINT	OC-61 WHITE DIAMOND FINISH: EGGSHELL	-	PAINT OVER EXISTING EXTERIOR WALLS
EP-2	EXTERIOR PAINT 09913	BENJAMIN MOORE	AURA EXTERIOR ACRYLIC LATEX PAINT	BM HC-169 COVENTRY GRAY FINISH: EGGSHELL	-	PER ELEVATION
EP-3	EXTERIOR PAINT 09913	BENJAMIN MOORE	AURA EXTERIOR ACRYLIC LATEX PAINT	MATCH RFS 285 C - HONDA BLUE FINISH: EGGSHELL	-	PER ELEVATION
EIFS-1	EXTERIOR INSULATING FINISH SYSTEM 072419	MATCH EXISING	MATCH EXISING	MATCH EP-1	-	EXTERIOR FACADE
EIFS-3	EXTERIOR INSULATING FINISH SYSTEM 072419	MATCH EXISING	MATCH EXISING	MATCH EP-2	-	PER ELEVATION
TRIM-1	ALUMINUM COMPOSITE METAL PANEL 07421323	ALPOLIC	ALPOLIC BREAK METAL	9NT BONE WHITE	-	EDGE AND PARAPET PROFILE
TRIM-2	ALUMINUM COMPOSITE METAL PANEL 07421323	ALPOLIC	ALPOLIC BREAK METAL	MATCH RFS 285 C (HONDA BLUE)	-	EDGE AND PARAPET PROFILE
ACM-1	ALUMINUM COMPOSITE METAL PANEL 07421323	ALPOLIC	RAIN SCREEN SYSTEM	HNB BLUE 4-HNB-50. LEV 16.78	-	EXTERIOR FACADE CANOPIES

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LEICED ARCHITECT  
WALTER E. WAGNER  
No. C14831  
Exp. 1/31/25  
STATE OF CALIFORNIA

**TRACY HONDA**  
3450 Auto Plaza Way, Tracy, CA 95304

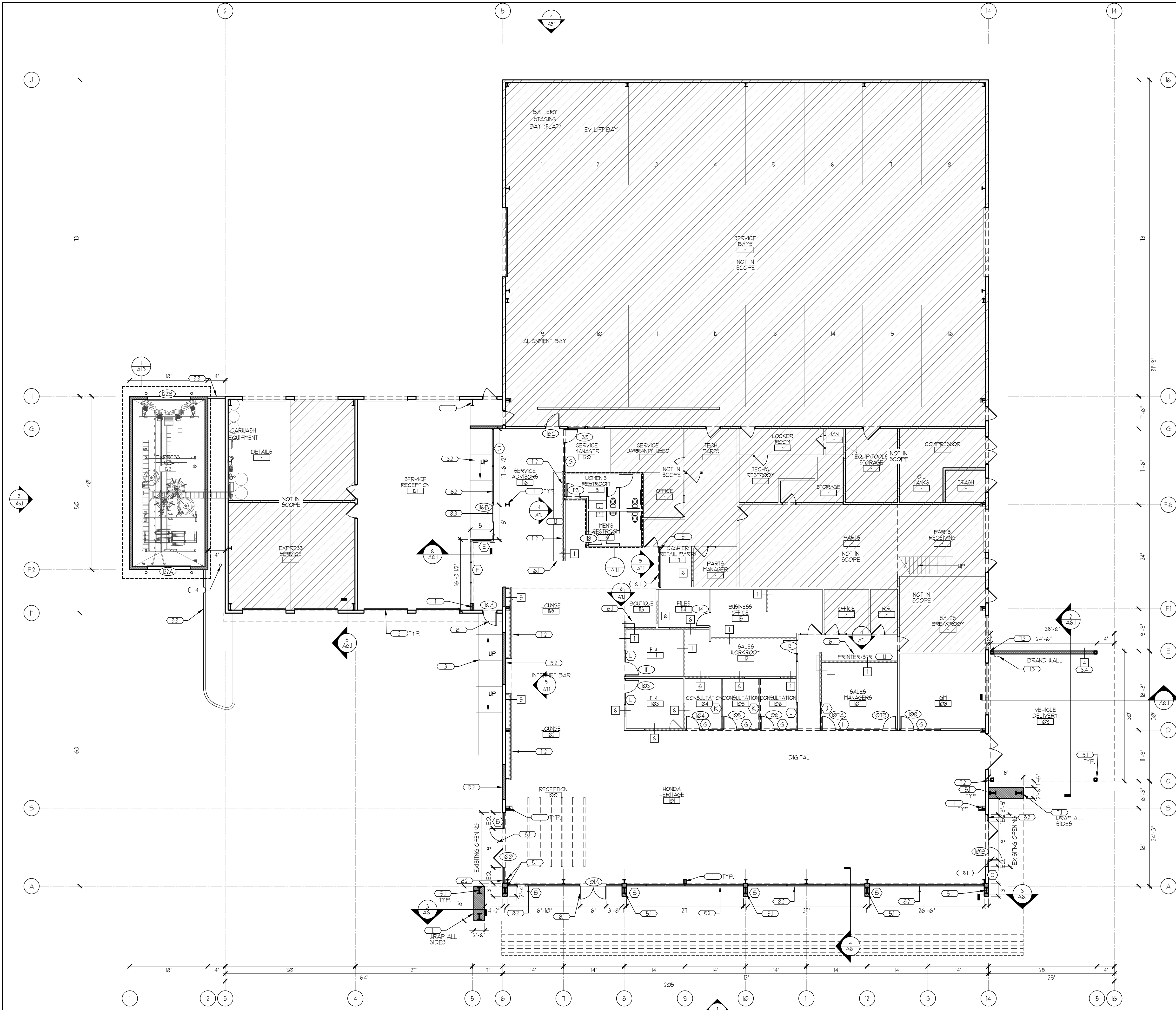
**HONDA**

SHEET TITLE  
**CANOPY**

DATE: 05/24/2024  
REVISION/DESCRIPTION

PROJECT NO.  
SHEET NO.

**A1.4**



### FLOOR PLAN

SCALE: 3/32" = 1'-0"

### BUILDING & GENERAL NOTES

1. PLACEMENT OF LIGHT SWITCH SHALL BE MAX 6' AWAY FROM STRIKE SIDE OF DOOR IN ALL POSSIBLE LOCATIONS.
2. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME-SFREAD CLASSIFICATIONS IN CBC TABLE 8-B.
3. ALL EXITS ARE TO BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE UNLESS INDICATED ON DOOR SCHEDULE.
4. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. PROVIDE SIGNS AT THE MAIN EXIT DOOR READING 'THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.' (SECTION 1008.12).
5. ALL INTERIOR WALLS FRAMING TO BE 3-5/8" METAL STUD UNLESS NOTED OTHERWISE OR FOR HEIGHT RESTRICTIONS. (STANDARD GAUGE PER MANUFACTURE FOR HEIGHT).
6. SUPPLY A MINIMUM 10 MIL VISQUEEN WATERPROOF MEMBRANE IN MOISTURE UNDER NEW INTERIOR SLAB ON GRADE. RE: STRUCTURAL

### KEY BUILDING NOTES

NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET

1. EXISTING STRUCTURAL FRAMING TO REMAIN IN PLACE.
2. EXISTING SECTIONAL OVERHEAD DOORS TO BE CLEANED AND REPAIRED AS NEEDED.
3. EXISTING ACCESSIBLE RAMP TO BE REVISED TO MEET ADA REQUIREMENTS
4. EXISTING FIRE RISER TO BE PROTECT IN PLACE
5. RELOCATE EXISTING SECURITY GRILL TO INDICATED LOCATION. REFORMAT GRILL TO CLOSE OVER COUNTER

### KEY CONSTRUCTION NOTES

#### 3.0000 - CONCRETE

- 3.1 3.3100.12 - STRUCTURAL CONCRETE SLAB ON GRADE. REF: STRUCTURAL
- 3.2 3.0000 - MODIFY CURB FOR ACCESSIBLE RAMP CURB CUT, 8% MAX SLOPE.
- 3.3 3.0000 - 6" RAISED CONCRETE CURB FOR NEW ISLAND
- 3.4 3.0000 - 6" RAISED CONCRETE CURB FOR NEW EXTERIOR WALL

#### 05.0000 - METALS

- 5.1 05.12.00 - STEEL COLUMN. REF: STRUCTURAL
  - 5.2 05.12.00 - EXTERIOR METAL FRAMING FOR INFILL WALL. FINISH TO MATCH ADJACENT
- 06.0000 - WOOD, PLASTICS, COMPOSITES**
- 6.1 06.40.23 - MILLWORK BY OWNER. CONTRACTOR TO COORDINATE INSTALL AND ELECTRICAL / DATA AS REQUIRED.

#### 07.0000 - THERMAL AND MOISTURE PROTECTION

- 7.1 07.43.13.23 - ALUMINUM COMPOSITE METAL WALL PANEL (ACM) W/ING WALLS PER DETAIL 7146.0
- 7.2 08.32.13 - SEISMIC FLASHING PER DETAIL 1146.0

#### 08.0000 - OPENINGS

- 8.1 08.32.13 - ALUMINUM-FRAMED GLASS DOOR PER SCHEDULE
- 8.2 08.32.13 - ALUMINUM-FRAMED GLAZING PER SCHEDULE
- 8.3 08.32.13 - ALUMINUM-FRAMED GLASS AUTOMATIC SLIDING DOOR PER SCHEDULE

#### 11.0000 - EQUIPMENT

- 11.1 11.0000 - PRINTERS REQUIRED TO BE COORDINATED BY MILLWORK SUPPLIER W/ OWNER - CONTRACTOR TO VERIFY POWER & DATA AS REQUIRED
- 11.2 11.0000 - TV MONITOR BY OWNER - CONTRACTOR TO VERIFY POWER & DATA AS REQUIRED
- 11.3 11.0000 - FUTURE EV CHARGER IN INDICATED LOCATION. PROVIDE POWER

#### 12.0000 - COMMERCIAL PLUMBING FIXTURES

- 12.1 12.0000 - PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
- 12.2 12.0000 - NEW LOCATION FOR EXISTING HI-LOW ACCESSIBLE DRINKING FOUNTAIN - RE: PLUMB & RELOCATE POWER AS REQUIRED

### LEGEND

- EXISTING WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- AREA NOT IN SCOPE - SHOWN FOR REFERENCE ONLY
- SEE A5.1 FOR EXTERIOR ELEVATIONS
- SEE A6.1 FOR BUILDING SECTIONS
- SEE A6.0 FOR PARTITION TYPES
- SEE A8.1 FOR DOOR & HARDWARE SCHEDULE
- SEE A8.2 FOR WINDOW SCHEDULE



SHEET TITLE

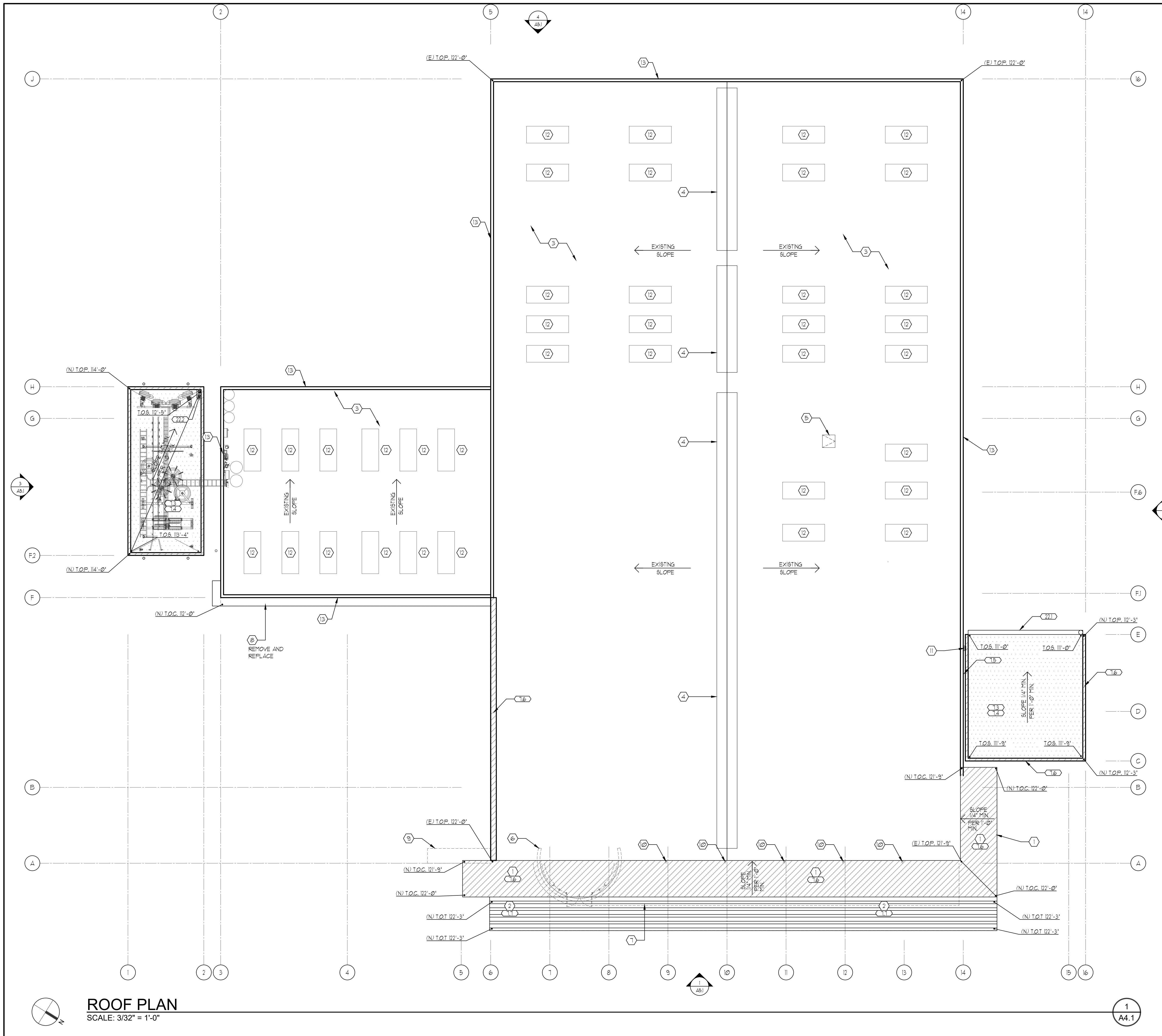
**FLOOR PLAN**

DATE: 05/24/2024

REVISION DESCRIPTION

PROJECT NO.

SHEET NO.



**ROOF PLAN**  
SCALE: 3/32" = 1'-0"

**GENERAL NOTES**

- REFER TO SERVICE MANUFACTURER DRAWINGS FOR EQUIPMENT LAYOUT
- REVIEW STRUCTURAL DRAWINGS PRIOR TO ERECTION AND NOTIFY ARCHITECT/STRUCTURAL ENGINEER FOR AN ADDITIONAL CLARIFICATION PRIOR TO START OF WORK
- FINAL DESIGN FOR OPENINGS FOR MECHANICAL UNITS SHALL BE COORDINATED WITH STRUCTURAL AND MECHANICAL - FLASH AND SEAL PER ROOFING MANUFACTURER'S RECOMMENDATIONS
- REVIEW STRUCTURAL/MECHANICAL DRAWINGS AND NOTIFY ARCHITECT/STRUCTURAL ENGINEER FOR CLARIFICATIONS OR ADDITIONAL INFORMATION AS REQUIRED PRIOR TO ERECTION
- SUPPLY COMMERCIAL GRADE LOCKABLE HOSE BID # ROOF FOR MAINTENANCE REQUIREMENTS, RE: PLUMB
- CONTRACTOR TO COORDINATE ROOF ASSESSMENT WITH OWNER PRIOR TO FINAL BID TO EVALUATE EXTENT OF REPAIR WORK AS REQUIRED FOR WATERTIGHT CONDITION
- REFER TO DEMO PLAN SHEET A4.0 FOR ADDITIONAL GENERAL NOTES ON DEMOLITION

**KEY BUILDING NOTES**

- NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET
- NEW HONDA OVERHANG CANOPY, RE TO STRUCTURAL DWGS.
  - NEW TERRACE ELEMENT, RE: TO STRUCTURAL DWGS
  - EXISTING ROOF, PROTECT IN PLACE.
  - EXISTING ROOF MECHANICAL EQUIPMENT TO REMAIN IN PLACE
  - EXISTING ROOF ACCESS HATCH TO REMAIN IN PLACE
  - REMOVE INDICATED CYLINDER ELEMENT - FRAMING AND FINISH AND DISPOSE OF MATERIAL. PROTECT, PATCH AND REPAIR ADJACENT PARAPET AS NEEDED.
  - REMOVE INDICATED WAVE CANOPY AND DISPOSE OF MATERIAL. PATCH AND REPAIR FACADE AS NEEDED.
  - REMOVE INDICATED EXISTING SERVICE DRIVE CANOPY AND FRAMING, DISPOSE OF MATERIAL, PATCH AND REPAIR ADJACENT FACADE AS NEEDED, REPLACE WITH NEW CANOPY PER PLANS
  - REMOVE INDICATED EXISTING WING FRAMING AND FINISHES, DISPOSE OF MATERIAL, PATCH AND REPAIR ADJACENT FACADE AS NEEDED.
  - REMOVE INDICATED ROOF DRAINS
  - REROUTE INDICATED DOWNSPOUTS TO FINISH AT NEW ROOF BELOW
  - EXISTING CLEAR ROOF PANELS TO REMAIN, CLEAN AND REPAIR AS NEEDED.
  - EXISTING PARAPET TRIM FLASHING TO REMAIN, CLEAN, REPAIR AND FINISH PER ELEVATIONS

**KEY CONSTRUCTION NOTES**

- NOTES ARE GENERAL - NOT ALL ITEMS REFERENCED ON SHEET SEE SCHEDULES, LEGENDS AND DETAILS FOR ADDITIONAL INFORMATION. CONTRACTOR TO VERIFY CONDITIONS OF EXISTING STRUCTURE AND FOUNDATION FOR REQUIRED ATTACHMENTS AND METALLATION
- 010000 - THERMAL & MOISTURE PROTECTION**
- 012216 - 1/4" TAPERED ROOF BOARD INSULATION AS REQUIRED FOR CRICKET DESIGN
  - 011123 - PRE-FINISHED SHEET METAL GUTTER AND MANUFACTURED DOWNSPOUT TO FINISH GRADE - FINISH TO MATCH
  - 012216 - 1/2" MIN. ROOF SHEATHING OVER ROOF FRAMING, PER STRUCT
  - 013423 - ROOFING SYSTEMS - CLASS B, PER PLAN - RE: SPECS
  - 011123 - PRE-FINISHED SHEET METAL SEISMIC FLASHING AND TRIM PER DETAIL, PATCH AND REPAIR EXISTING FACADE EIFS AS NEEDED.
  - 014213 - ALUMINUM COMPOSITE METAL PANEL CAP FLASHING-RE ELEV. FOR FINISH
  - 014213 - ALUMINUM COMPOSITE METAL PANEL WRAPPED TERRACE ELEMENT -RE ELEV. FOR FINISH
- 500000 - MECHANICAL (REF MECHANICAL DRAWINGS)**
- 500000 - MECHANICAL UNITS - RE: MECH
- 220000 - PLUMBING (REF PLUMBING DRAWINGS)**
- 224239 - ROOF DRAIN GUTTER AND DOWNSPOUT W/ SPLASH BLOCK- DRAIN TO LOWER ROOF-SUPPLY 4" DRAIN MIN. # GUTTER, SEE ELEVATION FOR LOCATION
  - 22142613 - CAST IRON ROOF DRAIN AND OVERFLOW W/ SCREENS.

**ROOF FINISH - AT NEW ROOFS**

**MANUFACTURER:**  
REQUIRED CARLISLE 60 MIL SINGLE PLY HEAT WELDED ADHERED TPO ROOF SYSTEM. REVIEW ALL MANUFACTURER SPECIFICATIONS FOR ATTACHMENT, SUBSTRATE REQUIREMENTS, TEMPERATURE SURFACE INSTALLATION, AND/OR ANY ADDITIONAL REQUIREMENTS AS SPECIFIED PER THE TPO APPLICATION

**SURFACE PREPARATION:**  
CONTRACTOR SHALL VERIFY AND INSPECT ROOF SUBSTRATE FOR ANY UNACCEPTABLE CONDITIONS BASED ON MANUFACTURER'S SPECIFICATIONS PRIOR TO START OF WORK.

**INSTALLATION:**  
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. CONTACT ARCHITECT FOR CLARIFICATIONS PRIOR TO INSTALLATION WHEN A CONFLICT ARISES OR ADDITIONAL INFORMATION IS NECESSARY.

**REQUIRED SOLAR REFLECTANCE INDEX (SRI):**  
PER ASTM E1880 LOW-SLOPED ROOF 2:12 = 18

**SYMBOL AND LEGEND**

T.O.P. = TOP OF PARAPET  
T.O.S. = TOP OF FINISHED SURFACE

**INSULATION SPECIFICATIONS**

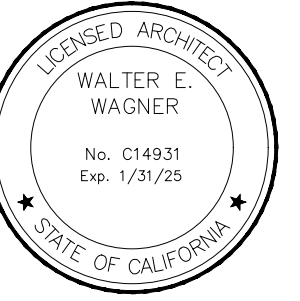
INSULATION REQUIREMENTS: (PER TITLE 24)  
ROOF = R-30 MIN.  
EXTERIOR WALLS = R-19 MIN.  
INTERIOR WALLS = R-13 MIN.

**ROOF SYMBOLS AND LEGEND**

ALL T.O.P. AND T.O.S. ARE NOTED FROM SHOWERROOM FINISH FLOOR.

T.O.P. = TOP OF PARAPET  
T.O.S. = TOP OF FINISHED SURFACE  
T.O.C. = TOP OF CANOPY  
T.O.T. = TOP OF TERRACE ELEMENT

AREA OF NEW ROOF FINISH  
NEW ROOF PARAPETS



**TRACY HONDA**  
3450 Auto Plaza Way, Tracy, CA 95304



SHEET TITLE

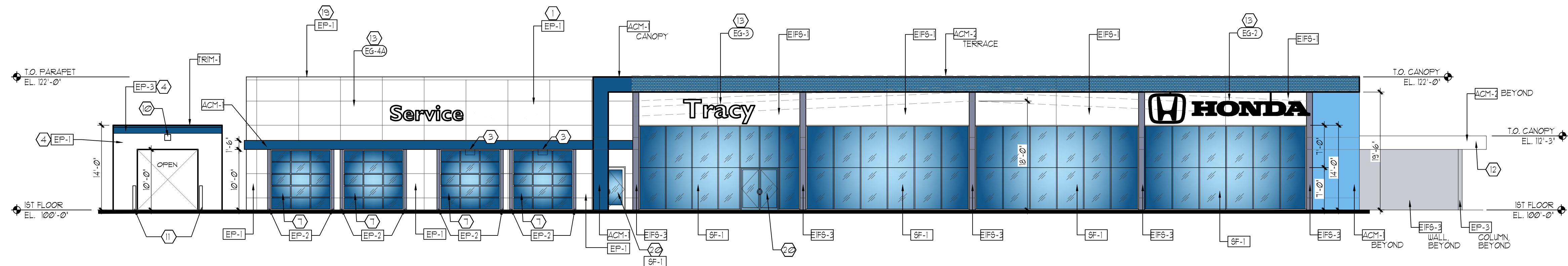
**ROOF PLAN**

DATE: 05/24/2024

REVISION DESCRIPTION

PROJECT NO.  
SHEET NO.

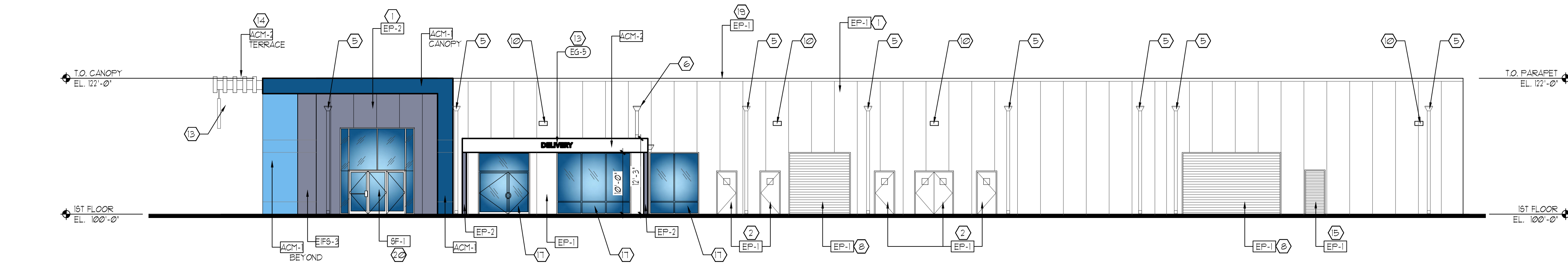
**A4.1**



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"

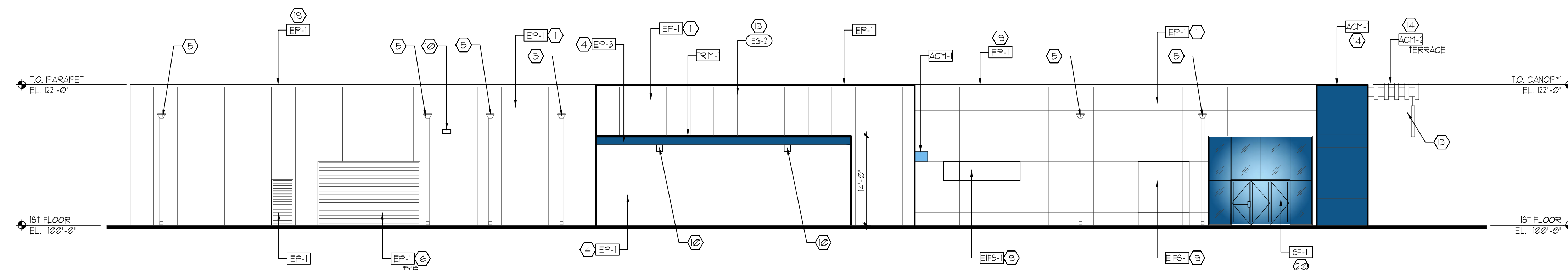
1  
A5.1



**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"

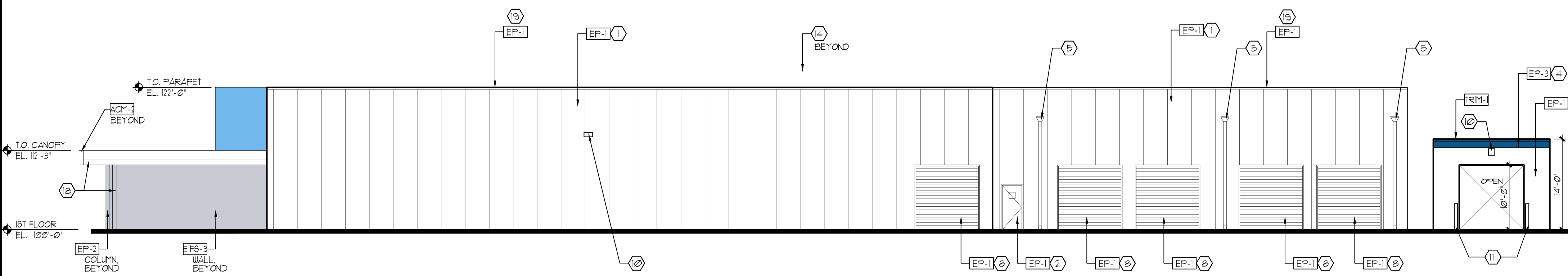
2  
A5.1



**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"

3  
A5.1



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"

4  
A5.1

**EXTERIOR BUILDING SIGNAGE**

- ALL SIGNAGE IS SHOWN FOR DESIGN INTENT ONLY. ALL SIGNAGE PROVIDED BY APPROVED VENDOR DEALER TO CONTACT THEIR REGIONAL DEALER DEVELOPMENT DEPARTMENT TO SCHEDULE SIGN SURVEY WITH APPROVED SIGN VENDOR. SIGNAGE UNDER SEPARATE PERMIT.
- PLASTER CEMENT AND EIFS OPTIONS ARE APPROVED BY BRAND AND AVAILABLE TO GC. EIFS-1 AND PAINT INDICATED ON DRAWINGS. GC TO EVALUATE EXISTING CONDITIONS AND CHOOSE MOST SUITABLE OPTION TO MATCH EXISTING FINISH.
- ALL GRAPHICS AND WALL PANELS MAY REQUIRE BLOCKING OR OTHER POSITIVE FORM OF ANCHORAGE COORDINATE WITH THE GRAPHICS VENDOR PRIOR TO CLOSING ANY WALL CAVITIES. SELECT SIGN ARE ELECTRIFIED.
- EIFS/STUCCO SCORING AND JOINT LAYOUT PER MANUFACTURER REQUIREMENTS.
- SIGNAGE UNDER SEPARATE PERMIT.
- CONTRACTOR TO SUPPLY ALL BACKING, ELECTRICAL AND FLASHING REQUIREMENTS.
- COORDINATE WITH SIGN COMPANY ON EXACT LOCATION OF BACKING AND ELECT.
- FIRE DEPARTMENT APPROVED 'KNOX' BRAND KEY BOX. THE KNOX BOX SHALL BE MOUNTED NO HIGHER THEN 6'-0" TO CENTERLINE OF BOX.
- APPROXIMATE LOCATION OF ADDRESS IDENTIFICATION NUMBERS PLACED ON BUILDING. SEE FIRE DEPARTMENT NOTES FOR ADDITIONAL INFORMATION.

**KEY ELEVATION NOTES**

- EXISTING WALL. CLEAN AND FINISH PER ELEVATIONS.
- EXISTING DOOR. CLEAN AND FINISH PER ELEVATIONS.
- PROPOSED RECESSED LED 'STOP/GO' LANE DIRECTIONAL SIGN. 'TCL027RG-A626D BY SIGNAL-TECH' (OR EQUAL). LOCATE IN CENTER OF LANE. PROVIDE SWITCHING IN SERVICE MANAGERS OFFICE. RE: ELECTRICAL.
- EXISTING CMU CARWASH.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING DOWNSPOUT AND COORDINATE WITH ARCHITECT IF REROUTING IS REQUIRED.
- REROUTE INDICATED EXISTING DOWNSPOUT TO DRAIN ONTO NEW DELIVERY ROOF.
- EXISTING SECTIONAL DOOR TO REMAIN IN PLACE. PATCH REPAIR AND CLEAN AS NEEDED BEFORE RE-FINISHING PER DOOR SCHEDULE.
- EXISTING OVER-HEAD DOOR TO REMAIN IN PLACE. PATCH REPAIR AND CLEAN AS NEEDED BEFORE RE-FINISHING PER DOOR SCHEDULE.
- PROPOSED EXTERIOR WALL INFILL. EIFS FINISH TO MATCH ADJACENT EIFS WALL PRODUCT AND FINISH. MATCH EXISTING REVEALS.
- EXISTING EXTERIOR WALL MOUNTED LIGHT FIXTURE. RE: ELECTRICAL.
- PROPOSED 42" TALL METAL PIPE BOLLARDS. TYP. AT OPENINGS. PAINT TO MATCH CARWASH.
- PROPOSED DELIVERY SERVICE CANOPY.
- HONDA SIGNAGE. UNDER SEPARATE PERMIT.
- PROPOSED CANOPY AND TERRACE. PER STRUCTURAL. FINISH PER ELEVATIONS.
- EXISTING LOUVER. CLEAN AND FINISH PER ELEVATIONS.
- EXISTING DOWNSPOUT. CLEAN AND PAINT TO MATCH BUILDING.
- EXISTING STOREFRONT TO REMAIN IN PLACE.
- PROPOSED GUTTER AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE.
- EXISTING PARAPET FLASHING TO BE CLEANED AND REFINISHED PER PLANS. ALSO PATCH AND REPAIR AS NEEDED.
- PROPOSED STOREFRONT DOOR PER DOOR SCHEDULE.

**LEGEND**

- \* NOTE DESIGNATOR - REFER TO DRAWING NOTES ON THIS SHEET
- (EG-1) GRAPHICS DESIGNATOR - REFER TO HONDA DESIGN INTENT DOCUMENTS
- (X-1) FINISH DESIGNATOR - REFER TO EXTERIOR FINISH SCHEDULE THIS SHEET

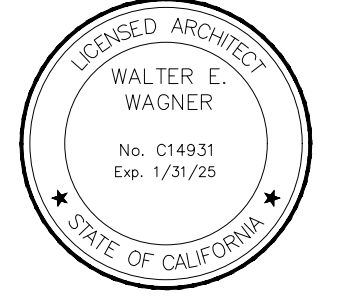
**EXTERIOR SURFACE FINISH SCHEDULE**

COD	MATERIAL / MASTER FORMAT CODE	MANUFACTURER	DESCRIPTION			LOCATION
			PRODUCT	COLOR	DIM	
EP-1	EXTERIOR PAINT 09913	BENJAMIN MOORE	AURA EXTERIOR ACRYLIC LATEX PAINT	OC-61 WHITE DIAMOND FINISH: EGGSHELL	-	PAINT OVER EXISTING EXTERIOR WALLS
EP-2	EXTERIOR PAINT 09913	BENJAMIN MOORE	AURA EXTERIOR ACRYLIC LATEX PAINT	BM HC-169 COVENTRY GRAY FINISH: EGGSHELL	-	PER ELEVATION
EP-3	EXTERIOR PAINT 09913	BENJAMIN MOORE	AURA EXTERIOR ACRYLIC LATEX PAINT	MATCH RFS 285 C - HONDA BLUE FINISH: EGGSHELL	-	PER ELEVATION
EIFS-1	EXTERIOR INSULATING FINISH SYSTEM 012419	MATCH EXISING	MATCH EXISING	MATCH EP-1	-	EXTERIOR FACADE
EIFS-3	EXTERIOR INSULATING FINISH SYSTEM 012419	MATCH EXISING	MATCH EXISING	MATCH EP-2	-	PER ELEVATION
TRIM-1	ALUMINUM COMPOSITE METAL PANEL 01421323	ALPOLIC	ALPOLIC BREAK METAL	SNT BONE WHITE	-	EDGE AND PARAPET PROFILE
TRIM-2	ALUMINUM COMPOSITE METAL PANEL 01421323	ALPOLIC	ALPOLIC BREAK METAL	MATCH RFS 285 C (HONDA BLUE)	-	EDGE AND PARAPET PROFILE
ACM-1	ALUMINUM COMPOSITE METAL PANEL 01421323	ALPOLIC	RAIN SCREEN SYSTEM	HNB BLUE. 4-HNB-50. LRV 1678	-	EXTERIOR FACADE CANOPIES
ACM-2	ALUMINUM COMPOSITE METAL PANEL 01421323	ALPOLIC	RAIN SCREEN SYSTEM	HNB WHITE. 4-HNB-50. LRV 808	-	EXTERIOR FACADE
SF-1	ALUMINUM FRAMED GALZING 084313	PER WINDOW SCHEDULE	KALNEER OR APPROVED EQUAL	FRAME: CLEAR ANODIZED	-	GENERAL EXTERIOR
SF-2	ALUMINUM FRAMED GALZING 084313	PER WINDOW SCHEDULE	KALNEER OR APPROVED EQUAL	FRAME: FINISH TO MATCH EXISTING BUILDING	-	GENERAL EXTERIOR



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**TRACY HONDA**  
3450 Auto Plaza Way, Tracy, CA 95304



SHEET TITLE  
**EXTERIOR ELEVATIONS**


DATE: 05/24/2024

REVISION	DESCRIPTION

PROJECT NO.  
SHEET NO.

**A5.1**



	<p><b>TRACY HONDA</b> TRACY, CA</p>	<p>Project Number: <b>HONDA1.19</b></p>	<p>Date: <b>NOV '22</b></p>	<p><b>ChangeUp</b> 2056 Byers Rd, Miamisburg, OH 45203 T + 1 844 804 7700</p>	<p><b>DESIGN INTENT DOCUMENTS</b></p> <p><small>These drawings are for communication of design intent only. They are shown to a specific size, shape, color, feature and proportion, and not to be used as fabrication drawings. © 2020 ChangeUp</small></p>	<p><b>Exterior Rendering</b></p> <p><b>American Honda Motor Co.- Blue Stage</b></p> <p>Drawing No: <b>EN-01</b></p>
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**EXISTING TREE SURVEY**

No.	Species	Circ (in.)	DBH (in.)	Condition	Approx. Dripline (ft.)	Disposition
1	Quercus agrifolia	55	17.5	Good	30	Remain
2	Lagerstroemia indica	12	3.8	Good	10	Remove, tree conflicts with proposed improvements*
3	Lagerstroemia indica	10	3.2	Good	8	Remain
4	Lagerstroemia indica	7	2.2	Good	6	Remain
5	Lagerstroemia indica	5	1.6	Good	4	Remain
6	Quercus agrifolia	34	10.8	Poor	20	Remove due to health*
7	Pistachia chinensis	39	12.4	Good	30	Remain
8	Quercus agrifolia	52	16.6	Poor	30	Remove due to health*
9	Pistachia chinensis	38	12.1	Good	25	Remain
10	Pistachia chinensis	31	9.9	Good	30	Remain
11	Quercus agrifolia	36	11.5	Poor	30	Remove due to health*
12	Quercus agrifolia	38	12.1	Fair	30	Remain
13	Quercus agrifolia	25	8.0	Poor	15	Remove due to health*
14	Pistachia chinensis	43	13.7	Good	25	Remain
15	Acer sp.	34	10.8	Good	30	Remain
16	Acer sp.	45	14.3	Good	25	Remain
17	Acer sp.	28	8.9	Good	20	Remain
18	Acer sp.	27	8.6	Good	15	Remain
19	Acer sp.	35	11.1	Good	18	Remain
20	Acer sp.	35	11.1	Good	25	Remain
21	Pistachia chinensis	35	11.1	Good	20	Remain
22	Pistachia chinensis	35	11.1	Good	30	Remain
23	Pistachia chinensis	38	12.1	Good	30	Remain
24	Pistachia chinensis	38	12.1	Good	35	Remain
25	Pistachia chinensis	39	12.4	Good	25	Remain
26	Pistachia chinensis	44	14.0	Good	25	Remain
27	Pistachia chinensis	32	10.2	Good	20	Remain
28	Pistachia chinensis	39	12.4	Good	20	Remain
29	Quercus agrifolia	44	14.0	Good	30	Remain
30	Quercus agrifolia	48	15.3	Poor	30	Remove due to health*
31	Quercus agrifolia	51	16.2	Good	35	Remain
32	Quercus agrifolia	38	12.1	Good	30	Remain
33	Quercus agrifolia	32	10.2	Poor	20	Remove due to health*
34	Quercus agrifolia	39	12.4	Dead	25	Remove due to health*

\*REMOVED TREES ARE SHOWN TO BE REPLACED WITH 24" BOX TREES, SEE SHEET L2.2.  
 \*\* (1) ADDITIONAL 24" BOX TREE SHALL BE INSTALLED AS PART OF THIS PROJECT. SEE SHEET L2.2.

**PLANT LEGEND**

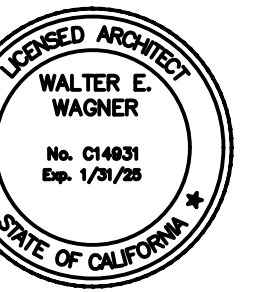
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER NEEDS*	RATE GROWTH	SIZE IN 3-5 YEARS	HEIGHT AND TRUNK CALIPER SIZE
TREES:							
QUE AGE	24" BOX	QUERCUS AGRIFOLIA	COAST LIVE OAK	LOW	SLOW	10-20' FT. TALL	8-15' FT. TALL, AND 2.5" - 3"

\*WATER NEEDS BASED ON: "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES", ZONE 1, UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION AND THE DEPARTMENT OF WATER RESOURCES, 2014.

**PLANTING NOTES**

- THESE NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF ALL EXISTING AND PROPOSED UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH WORK TO BE DONE. CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 642-2444 PRIOR TO DIGGING. NOTIFY OWNER IMMEDIATELY SHOULD CONFLICTS ARISE.
- FINE GRADING, HEADERS AND IRRIGATION COVERAGE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING OPERATIONS.
- CONTRACTOR SHALL LAY OUT PLANT MATERIAL PER PLAN AND FACE TO GIVE BEST APPEARANCE OR RELATION TO ADJACENT PLANTS, STRUCTURES OR VIEWS. CONTRACTOR TO OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANT MATERIAL SHALL NOT BE INSTALLED IN AN AREA WHICH WILL CAUSE HARM TO ADJACENT STRUCTURES OR OBSTRUCT IRRIGATION SPRAY PATTERN. NOTIFY THE OWNER'S REPRESENTATIVE SHOULD CONFLICTS ARISE.
- PLANT LOCATIONS ARE DIAGRAMMATIC AND MAY BE ADJUSTED IN THE FIELD AT THE OWNER'S REPRESENTATIVE REQUEST PRIOR TO INSTALLATION. OBTAIN APPROVAL OF PLANT LAYOUT FROM THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- UNLESS OTHERWISE NOTED, FINISH GRADE OF SHRUB AND GROUND COVER AREAS SHALL BE 2" BELOW ADJACENT PAVING. TAPER 3" DEPTH BARK MULCH TOP DRESSING TO 1/2" BELOW ADJACENT PAVING (1-1/2" DEPTH) WITHIN 2' OF PAVING. FINISH GRADE OF SEEDED TURF AREAS SHALL BE 1/2" BELOW ADJACENT PAVING. FINISH GRADE OF SODDED TURF AREAS SHALL BE 1" BELOW ADJACENT PAVING.
- PLANTING AREAS SHALL RECEIVE A 3" MIN. DEPTH BARK MULCH TOP DRESSING. UNLESS OTHERWISE NOTED, IN NON-BIORETENTION AREAS BARK MULCH SHALL BE REPUBLIC SERVICES PRO-CHIP MULCH, IN BIORETENTION AREAS BARK MULCH SHALL BE PACIFIC LANDSCAPE SUPPLY SHREDDED CEDAR BARK MULCH.
- NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN 3 HOURS OF PLANTING.
- EXISTING TREES, SHRUBS AND GROUND COVERS TO REMAIN SHALL BE PROTECTED. ANY DAMAGE CAUSED BY CONTRACTOR'S WORK OR NEGLIGENCE SHALL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THIRTY DAYS AFTER PLANTING, CONTRACTOR SHALL RE-STAKE AND STRAIGHTEN TREES AS NECESSARY.
- CONTRACTOR TO COLLECT AND SUBMIT SOIL SAMPLE TO LUCCHESI CONSULTING FOR SOIL AMENDING AND PREPARATION RECOMMENDATION PER SPECIFICATION SECTION 32 90 00.
- CONTRACTOR SHALL COORDINATE ROUGH GRADING AND FINE GRADING TO ENSURE EXISTING SUITABLE TOPSOIL IS REMOVED, STOCKPILED AND REINSTALLED INTO PROPOSED LANDSCAPE AREAS PER LANDSCAPE SPECIFICATION SECTION 32 90 00. IN THE EVENT THERE IS NOT ENOUGH EXISTING TOPSOIL, OR NO PLACE TO STOCKPILE TOPSOIL, CONTRACTOR SHALL IMPORT AND INSTALL TOPSOIL PER LANDSCAPE SPECIFICATION SECTION 32 90 00.
- THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING OR REPLACING, AT HIS OWN EXPENSE, SURFACE AND SUBSURFACE SITE FEATURES TO REMAIN, INCLUDING BUT NOT LIMITED TO STRUCTURES, FENCES, WALLS, PAVING SURFACES, PLANT MATERIAL AND/OR TREES DAMAGED OR DESTROYED, BOTH ON THIS PROPERTY OR THOSE PROPERTIES ADJACENT TO THIS SITE. THE DAMAGED ITEM(S) WILL BE RESTORED TO THEIR ORIGINAL CONDITION OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- REFER TO PLANTING DETAILS THIS SHEET AND SPECIFICATIONS SECTIONS: 32 90 00 PLANTING

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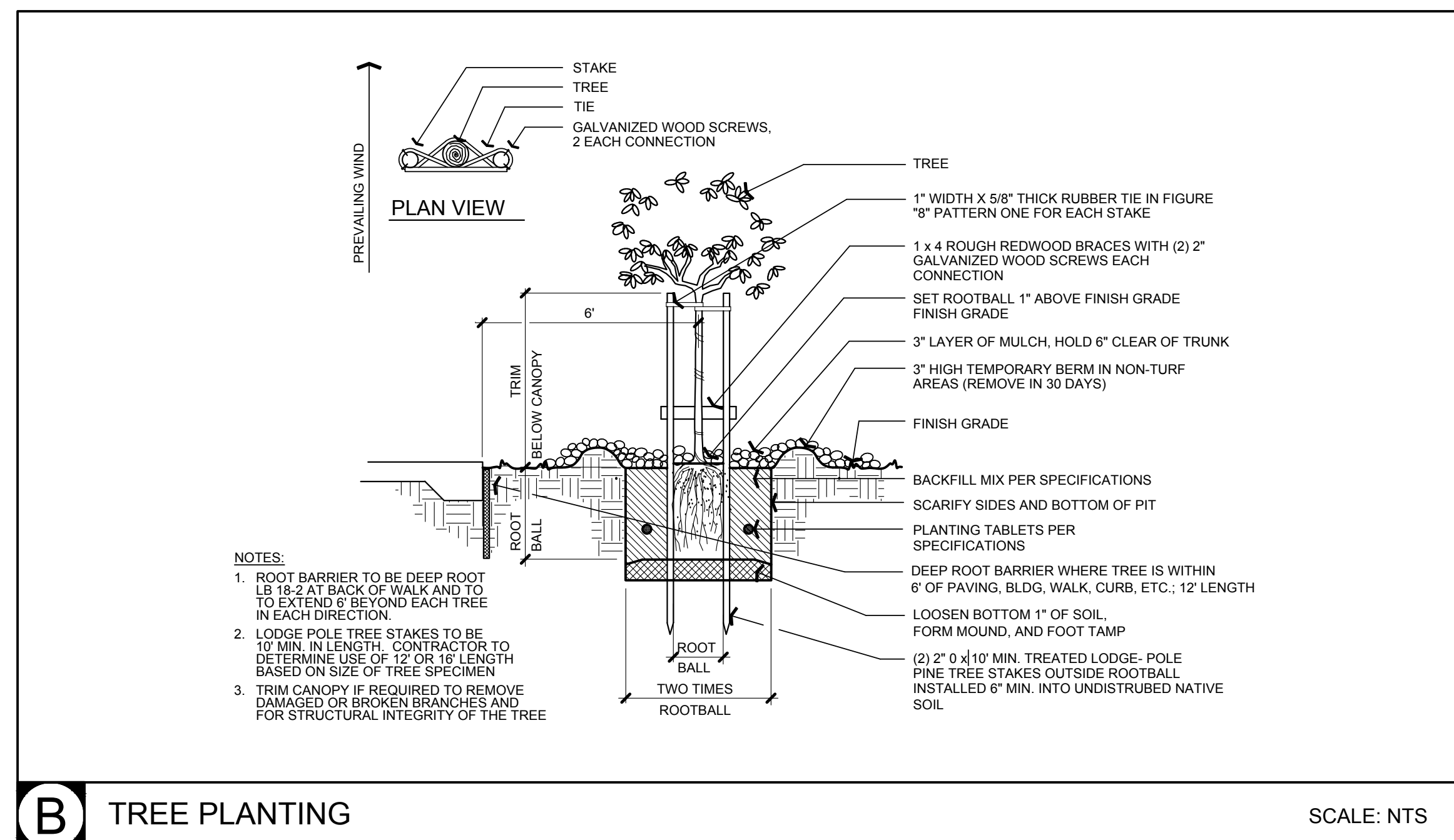


SHEET TITLE  
**PRELIMINARY LANDSCAPE PLAN**

DATE  
 REVISION/DESCRIPTION

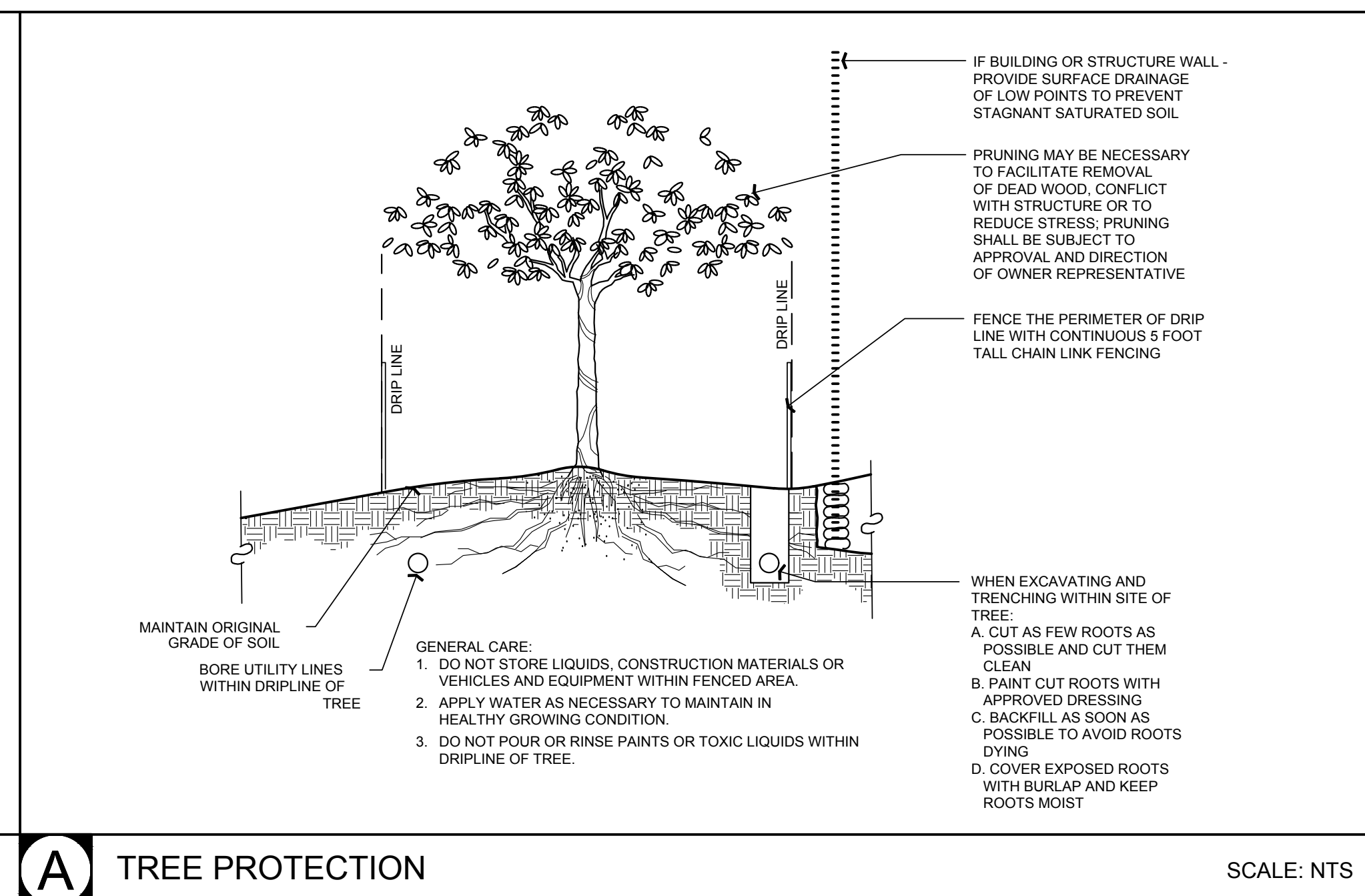
PROJECT NO. **2411**  
 SHEET NO. **L2.1**

**LANDSCAPE NOTES, LEGEND, AND DETAILS**



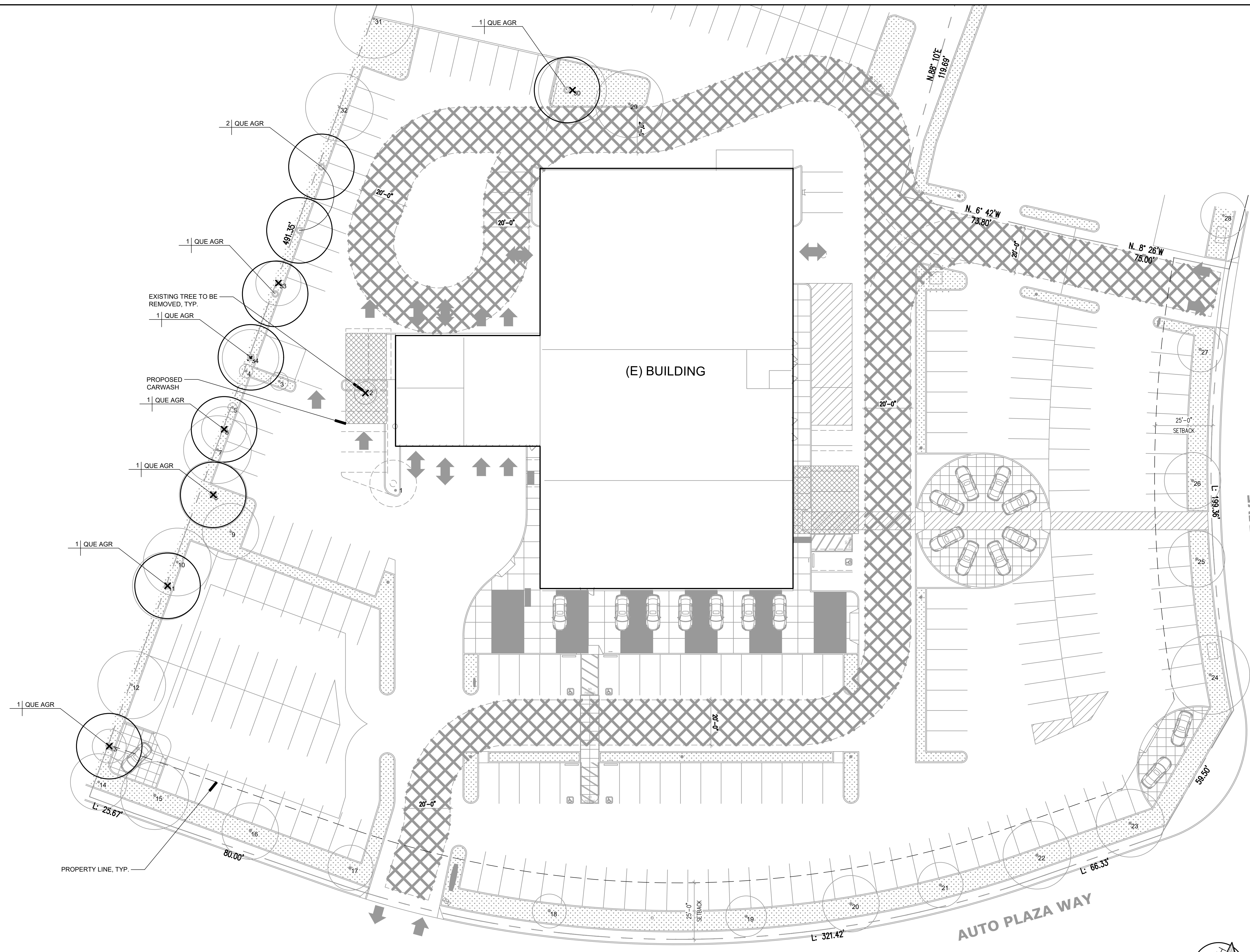
**B** TREE PLANTING

SCALE: NTS

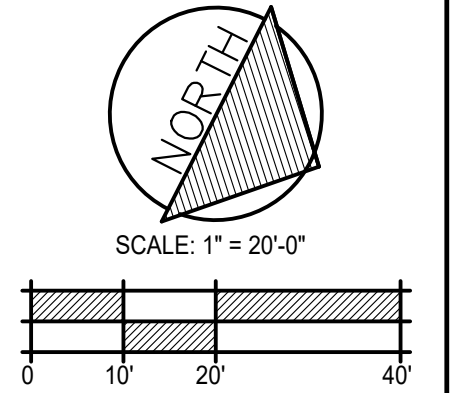


**A** TREE PROTECTION

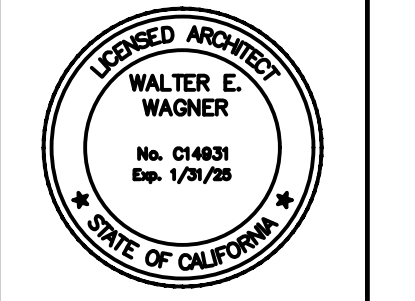
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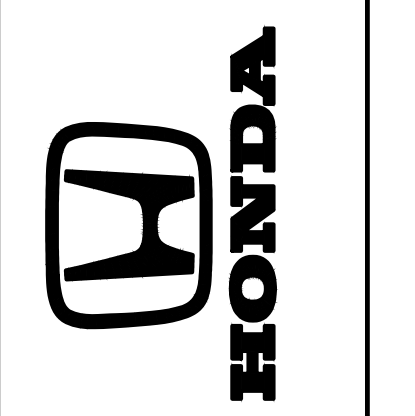
SEE SHEET L2.1 FOR PLANT LEGEND, NOTES, AND EXISTING TREE SURVEY



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**TRACY HONDA**  
 3450 Auto Plaza Way, Tracy, CA 95304



SHEET TITLE  
**PRELIMINARY LANDSCAPE PLAN**

DATE	REVISION/DESCRIPTION

PROJECT NO. 2411  
 SHEET NO. L2.2

**LANDSCAPE PLAN**

**CITY OF TRACY  
DETERMINATION OF  
THE COMMUNITY AND ECONOMIC DEVELOPMENT DIRECTOR**

Application Number D24-0007

A determination of the Community and Economic Development Director (1) approving a Development Review Permit, Application Number D24-0007, for the remodel of an existing Honda Dealership including exterior façade improvements, a new carwash (dealership-use only), a new delivery canopy and related site improvements on a 4.09-acre site located at 3450 Auto Plaza Way, Accessors Parcel Number 212-270-19; and (2) determine that this project is categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15301, pertaining to minor alterations of existing structures or facilities. The applicant is Carl Chrisman and the property owner is Ken Harvey.

Staff has reviewed the application and determined that the following City regulations apply:

1. I-205 Corridor Specific Plan
2. Off-Street Parking Requirements (TMC Sec 10.08.3440, Article 26)
3. Development Review (TMC Sec 10.08.3920, Article 30)
4. City Design, Goals and Standards

The Community and Economic Development Department has determined that the project is categorically exempt from the California Environmental Act pursuant to CEQA Guidelines Section 15301 pertaining to minor alterations of existing structures or facilities. No further environmental assessment is required.

THE DEVELOPMENT SERVICES DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES DEVELOPMENT REVIEW PERMIT APPLICATION NUMBER D24-0007, SUBJECT TO THE CONDITIONS OF APPROVAL CONTAINED IN EXHIBIT 1 AND BASED ON THE FOLLOWING FINDINGS:

1. The proposal increases the quality of the project site and enhances the property in a manner that therefore improves the property in relation to the surrounding area and the citizens of Tracy because the proposed exterior modifications, which includes an addition of a new 855 square foot vehicle delivery canopy and a new 720 square foot cement block carwash, will enhance the existing architecture and the improvements that are compatible with the architectural character of the commercial buildings in the surrounding area, such as the other dealerships of the Tracy Auto Plaza.
2. The proposal confirms to the I-205 Corridor Specific Plan, the City of Tracy General Plan, the Citywide Design Goals and Standards, and other City regulations because the proposed exterior modifications, the addition of a new 855 square foot vehicle delivery canopy and the 720 square foot cement block carwash will provide complementary level of detailing and high-quality materials, create visual interest on all sides, and establish a sense of arrival to the project site by adding focal elements like aluminum composite metal panels, decorative columns, and additional windows on the exterior façade. In addition, the project proposal includes replacing all poor and/or dead trees on-site.

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Forrest Ebbs  
Community and Economic Development Director

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Date of Action

**CITY OF TRACY  
COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT  
CONDITIONS OF APPROVAL**

Tracy Honda Remodel and Private Carwash Addition  
Development Review Permit, Application Number D24-0007  
July 25, 2024

**A. General Provisions and Definitions.**

A.1. General. These Conditions of Approval apply to:

The Project: A Development Review Permit for the remodel of an existing Honda Dealership including exterior façade improvements, a new carwash (dealership-use only), a new delivery canopy and related site improvements on a 4.09-acre site located at 3450 Auto Plaza Way, Accessors Parcel Number 212-270-19.

The Property: The Tracy Honda Remodel project is located on an approximately 4.09-acre site, located at 3450 Auto Plaza Way (APN 212-270-19).

A.2. Definitions.

- a. "Applicant" means any person, or other legal entity, defined as a "Developer".
- b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed Engineer designated by the City Manager, or the Community and Economic Development Director, or the City Engineer to perform the duties set forth herein.
- c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, policies, procedures, the Cordes Ranch Specific Plan, and the City's Design Documents (including the Standard Plans, Standard Specifications, and relevant Public Facility Master Plans).
- d. "Community and Economic Development Director" means the Community and Economic Development Director of the City of Tracy Community and Economic Development Department, or any other person designated by the City Manager or the Community and Economic Development Director to perform the duties set forth herein.
- e. "Conditions of Approval" shall mean the conditions of approval applicable to the Project located at the Property, Application Number D24-0007. The Conditions of Approval shall specifically include all conditions set forth herein.
- f. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or

who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

- A.3. Compliance with submitted plans. Except as otherwise modified herein, the project shall be constructed in substantial compliance with the project plans received by the Community and Economic Development Department on March 13, 2024, to the satisfaction of the Community and Economic Development Director.
- A.4. Payment of applicable fees. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
- A.5. Compliance with laws. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to:
- the Planning and Zoning Law (Government Code sections 65000, et seq.),
  - the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"),
  - the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 1500, et seq., "CEQA Guidelines"),
  - California Building Code, and
  - California Fire Code
- A.6. Compliance with City regulations. Unless specifically modified by these Conditions of Approval, the Developer shall comply with all City regulations, including, but not limited to, the Tracy Municipal Code (TMC), Standard Plans, I-205 Corridor Specific Plan, and the City's Design Goals and Standards.
- A.7. Pursuant to Government Code section 66020, including section 66020(d)(1), the City hereby notifies the Developer that the 90-day approval period (in which the Developer may protest the imposition of any fees, dedications, reservations, or other exactions imposed on this Project by these Conditions of Approval) has begun on the date of the conditional approval of this Project. If the Developer fails to file a protest within this 90-day period, complying with all of the requirements of Government Code section 66020, the Developer will be legally barred from later challenging any such fees, dedications, reservations or other exactions.

## **B. Community and Economic Development Department, Planning Division Conditions**

- B.1. Landscaping & Irrigation. Before the approval of a building permit, the applicant shall provide detailed landscape and irrigation plans consistent with the following to the satisfaction of the Community and Economic Development Director:

- B.1.1. Said plans shall demonstrate compliance with the I-205 Corridor Specific Plan, the City of Tracy Design Goals & Standards, and the Tracy Municipal Code Section 10.08.3560 for parking area landscaping. Said plans shall clearly delineate the property line and shall include a planting legend indicating, at minimum, the quantity, planting size, and height and width at maturity.
- B.1.2. Where trees are planted ten feet or less from a sidewalk or curb, root barriers dimensioned 8 feet long by 24 inches deep shall be provided adjacent to such sidewalk and curb, centered on the tree.
- B.1.3. Landscape & Irrigation Maintenance. Prior to the issuance of a building permit for each phase, the Developer shall execute a two-year landscape and irrigation maintenance agreement and submit financial security, such as a performance bond, to ensure the success of all on-site landscaping for the term of the agreement. The security amount shall be equal to \$2.50 per square foot of the landscaped area or equal to the actual labor and material installation cost of all on-site landscaping and irrigation for that phase.
- B.2. Screening Utilities and Equipment. Before the approval of a building permit, the applicant shall submit detailed plans that demonstrate the following:
  - B.2.1 All vents, gutters, downspouts, flashing, and electrical conduits shall be internal to the structures and bollards and other wall-mounted or building-attached utilities shall be painted to match the color of the adjacent surfaces or otherwise designed in harmony with the building exterior to the satisfaction of the Community and Economic Development Director.
  - B.2.2. No roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes, whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from any public right-of-way to the satisfaction of the Community and Economic Development Director. Plans to demonstrate such compliance shall be submitted to the City prior to the issuance of a building permit.
- B.3. Signs. No business identification signs are approved with this development review permit. All business identification signs shall obtain a sign permit in accordance with the I-205 Corridor Specific Plan and the Tracy Municipal Code.
- B.4. All bollards on-site shall be located and consistent with the approved plans and painted to match the existing building, unless stated otherwise by federal or state regulations.

**C. Community and Economic Development Department, Building Division Conditions**

- C.1. Prior to building permit issuance, Applicant must submit construction documents, plans, specifications and/or calculations to the Building Division for review and

approval which meet all requirements of Title 24 California Code of Regulations, as applicable per Title 24 California Code of Regulations.

- C.2. At the time of application and prior to the construction of onsite improvements, including, but not limited to sidewalks, utilities, signs, lights, retaining walls, sound walls, underground vaults, transformers, trellis, trash enclosures, etc., applicant shall submit to the Building Safety Division construction drawings and supporting documents that conform to the current Title 24 California Code of Regulations.
- C.3. Prior to commencement of construction, applicant shall submit a City of Tracy Accessible Budget Form to demonstrate compliance with path of travel accessibility upgrades per CBC 11B-202.4.
- C.4. Prior to commencement of construction, applicant shall submit plans to the Building Safety Division that demonstrate compliance with requirements for projections and fire resistance rating of exterior walls per California Building Code Sections 705.2 and 705.5.

**D. South San Joaquin County Fire Authority (SSJCFA) Conditions**

- D.1 Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority for review and approval.
  - D.1.1. Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.
  - D.1.2. Deferred submittals for fire sprinkler system, special fire suppression systems, and fire alarm system shall be listed on the coversheet. Each deferred submittal shall be submitted, reviewed, and approved by SSJCFA prior to installation.
  - D.1.3. Fire protection water supply application must be submitted separately from construction permit. All piping and installation shall be in accordance with CFC §507 & NFPA standards. Approval of grading and/or on-site improvements does not grant installation of underground fire service.
  - D.1.4. Fire sprinklers shall be designed by a licensed fire protection contractor or engineer. Hydraulic calculations, specifications and plans shall be submitted prior to issuance of building permit.
  - D.1.5. A request for fire flow shall be submitted to the South San Joaquin County Fire Authority and results shall be approved by the Fire Marshal prior to construction. Fire flow requirements shall be in accordance with CFC Appendix B.
- D.2. Engineering and building permit applications received by our offices are subject to the current fee schedule for South San Joaquin County Fire Authority. Contact our

offices for additional information.

- D.2.1. Application processing fees and minimum plan review fees are due at time of submittal of construction documents.
  - D.2.2. Additional plan review fees, minimum inspection fees and administrative fees are calculated on approval of project and shall be paid prior to issuance of permit.
  - D.2.3. Permit holder is responsible for any additional inspection fees incurred and shall be paid prior to final inspection.
- D.3. During construction, the all-weather fire apparatus access roads shall be maintained at all times to the property. Fire apparatus access roads during construction shall have a minimum 20' unobstructed width in accordance with CFC §503.