

COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR PUBLIC HEARING
MEETING AGENDA

Wednesday, October 16, 2024, 2:30 P.M.

Tracy City Hall, Conference Room 203, 333 Civic Center Plaza, Tracy

THIS MEETING WILL BE OPEN TO THE PUBLIC FOR IN-PERSON AND REMOTE PARTICIPATION PURSUANT TO GOVERNMENT CODE SECTION 54953(e).

During the upcoming Director Public Hearing meeting, public comment will be accepted via the options listed below. All interested persons are invited to participate by:

- *joining the meeting via Microsoft Teams by:*
 - *viewing the Public Hearing Login information at <https://www.cityoftracy.org/government/public-notice>; or*
 - *visiting the Microsoft Teams website at <https://www.microsoft.com/microsoft-teams/join-a-meeting> and using the following Meeting ID: 225 487 543 046 and Passcode: 547udm; or*
 - *calling the Microsoft Teams teleconference line at (209) 425-4338 Conference ID: 304 050 191# to submit statements orally during the meeting; or*
- *submitting comments in writing before the meeting by sending written statements to publiccomment@cityoftracy.org.*

MEETING AGENDA

CALL TO ORDER

1. PUBLIC HEARING TO CONSIDER (1) APPROVING THE DEVELOPMENT REVIEW PERMIT, APPLICATION NUMBER D24-0001, FOR THE CONSTRUCTION OF A 26,019 SQUARE FOOT BUILDING AND RELATED SITE IMPROVEMENTS ON A 1.35 ACRE SITE LOCATED AT THE SOUTHEAST CORNER OF MARIANI COURT AND STONEBRIDGE DRIVE, 1396 MARIANI COURT, APN 250-260-03; AND (2) DETERMINING THAT THIS PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO CEQA GUIDELINES SECTION 15332 AS AN INFILL PROJECT THAT IS CONSISTENT WITH THE GENERAL PLAN AND ZONING CODE AND IS SERVED BY EXISTING INFRASTRUCTURE.

ADJOURNMENT

Posted: October 11, 2024



DIRECTOR HEARING STAFF REPORT

Item No. 2

DATE	October 16, 2024
TITLE	Eastgate Business Park Phase 2
LOCATION	1396 Mariani Court (APN 250-260-03)
APPLICATION TYPE	Development Review Permit (D24-0001)
CEQA STATUS	Categorically Exempt CEQA Guidelines Section 15332
PROJECT PLANNER	Genevieve Federighi (209) 831-6435 genevieve.federighi@cityoftracy.org

RECOMMENDATION

Staff recommends that the Community and Economic Development Director (1) approve the Development Review Permit, Application Number D24-0001, for the construction of a 26,019 square foot building and related site improvements on a 1.35 acre site located at the southeast corner of Mariani Court and Stonebridge Drive, 1396 Mariani Court, APN 250-260-03; and (2) determine that this project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15332 as an infill project that is consistent with the General Plan and zoning code and is served by existing infrastructure.

PROJECT DESCRIPTION

The project site is currently vacant. The adjacent site to the north was developed in 2003 and known as Eastgate Business Park Phase 1. The project site has some existing improvements including landscaping, drive aisles and parking spaces, which were developed with Phase 1. The new building will be an expansion of the business currently operating on the adjacent property.

The project site is accessed off MacArthur Road and located on the southeast corner of Mariani Court and Stonebridge Drive (Attachment A: Location Map). The project site is designated Industrial in the General Plan and zoned Light Industrial (M-1) in the Tracy Municipal Code (TMC), which permits manufacturing uses.

The proposed site plans and elevations are included in Attachment B.

The project, as proposed, is consistent with the intent of Light Industrial Zone district. The project meets all zone regulations including minimum yards, lot coverage, height and parking and landscaping of the zoning district. The proposed parking and layout meet the requirements of the municipal code along with the landscaping coverage and screening for the site.

The project has been reviewed for consistency with the massing, architectural style and colors and textures of the surrounding industrial businesses. The project meets the aesthetics of the area and will provide for the infill of a vacant parcel to be utilized by the existing adjacent business.

California Environmental Quality Act (CEQA) Requirements

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, the project is an infill project / property that is consistent with the General Plan and Zoning Code and served by existing infrastructure. No further environmental assessment is necessary.

ATTACHMENTS

- A – Location Map
- B – Plan Set
- C – Community and Economic Development Director Determination
Exhibit 1 – Conditions of Approval



EASTGATE BUSINESS PARK PHASE II

Attachment B

1396 MARIANI COURT
 TRACY, CA 95376

MANUFACTURING AND WAREHOUSE

PROJECT INFORMATION	PERSPECTIVE RENDERING	DEVELOPMENT REVIEW
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PROJECT DESCRIPTION
 PROPOSED SINGLE STORY, 26,019 SF CONCRETE TILT-UP BUILDING FOR WAREHOUSE USE INCLUDING 2,070 SF OF ACCESSORY OFFICE USE. PHASE II OF BUILDING DEVELOPMENT, TRASH ENCLOSURE AND SITE IMPROVEMENTS.

BUILDING CODE SUMMARY
 APPLICABLE CODES:
 2022 CALIFORNIA BUILDING CODE BASED ON IBC 2021
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALGREEN CODE, NON RESIDENTIAL

ZONING: M-1 (LIGHT INDUSTRIAL)
 SITE AREA: 58,806 SF (1.35 ACRES)
 CONSTRUCTION TYPE: III-B FULLY SPRINKLERED
 OCCUPANCY: B-OFFICE AND S-1-WAREHOUSE
 ALLOWABLE AREA: BASE ALLOWABLE S-1: 70,000 SF COMPLIES

BUILDING AREA TOTAL:	26,019 SF
OFFICE:	2,070 SF
WAREHOUSE:	23,948 SF

OCCUPANT LOAD: 60
 OFFICE: 2,070 SF / 150 = 13
 WAREHOUSE: 23,948 SF / 500 = 47

HAZARDOUS MATERIALS
 NO HAZARDOUS MATERIALS TO BE STORED IN THIS BUILDING. FUTURE HAZARDOUS MATERIAL TO BE WITHIN THE EXEMPT LIMITS AS NOTED IN CBC.

SITE ANALYSIS
 PARCEL NUMBER: 26209003
 SITE AREA: 58,806 SF (1.35 ACRES)
 ZONING: M-1 (LIGHT INDUSTRIAL)
 USE: WAREHOUSE - PERMITTED USE
 SET BACKS: AS SHOWN ON SITE PLAN

GROSS SITE AREA	58,806 SF	100%
BUILDING	26,019 SF	44.2%
PARKING/LOADING	20,809 SF	35.4%
HARDSCAPE	1121 SF	2%
LANDSCAPE	10,756 SF	18.3%
TRASH ENCLOSURE	100 SF	0.1%

PARKING ANALYSIS
 PARKING REQUIRED:
 OFFICE (1:250) 20
 WAREHOUSE <20,000 (1:1000) 20,809 / 1000 = 20
 WAREHOUSE >20,000 (1:2000) 23,948 / 2000 = 12
 REQ. PARKING PROVIDED
 STANDARD 20
 COMPACT (UP TO 30%) 08
 HC ACCESSIBLE 02
 TOTAL 30
 ADD. AND OTHER PARKING
 COMPACT 03
 PARKING FOR 1388 MARIANI CT 01
 TOTAL SHOWN 34

PARKING LANDSCAPE REQUIRED:
 REFER TO LANDSCAPE SHEETS FOR OTHER LANDSCAPE REQ.
 REQUIRED 15% PARKING AREA: 17,281 SF x .15 = 2,592 SF
 PROVIDED 2,695 SF

BIKE PARKING REQUIRED:
 2 BIKE SPACES : 20-40 CAR SPACES



SUBMISSION DATE: 01/03/2024
 REVISION 1: 04/17/2024
 REVISION 2: 06/27/2024

DESIGN TEAM

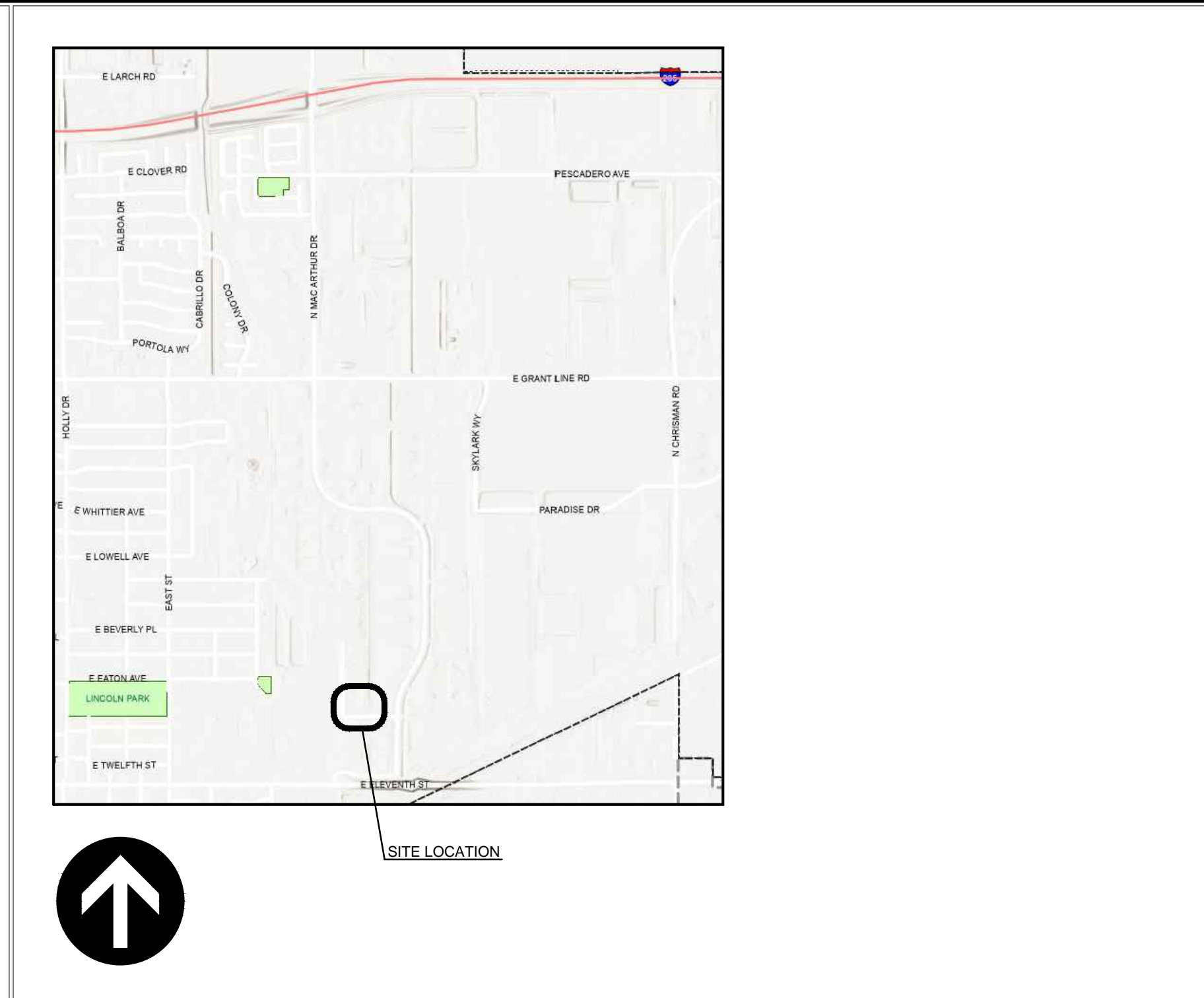
OWNER
 GRATING PACIFIC
 3671 SAUSALITO ST.
 LOAS ALAMITOS, CA 900720
 PH: 562.598.4314
 ATTN: RON ROBERTSON
 ronrobertson@gratingpacific.com

STRUCTURAL ENGINEER
 MSC ENGINEERS, INC.
 5470 PIPESBEND PLACE, STE 120
 SALEM, OR 97301
 PH: 503.399.1399
 ATTN: CAMERON SWEARENGIN, PE, SE
 cameron@mscengineersinc.com

CIVIL ENGINEER
 RIDGELINE ENGINEERING
 2769 BOEING WAY, STE 200
 STOCKTON, CA 95206
 PH: 209.955.0110
 ATTN: ROBBY WIKOFF, PE
 robby@rle.com

LANDSCAPE
 RIDGELINE ENGINEERING
 2769 BOEING WAY, STE 200
 STOCKTON, CA 95206
 PH: 209.955.0110
 ATTN: ROBBY WIKOFF, PE
 robby@rle.com

VICINITY MAP



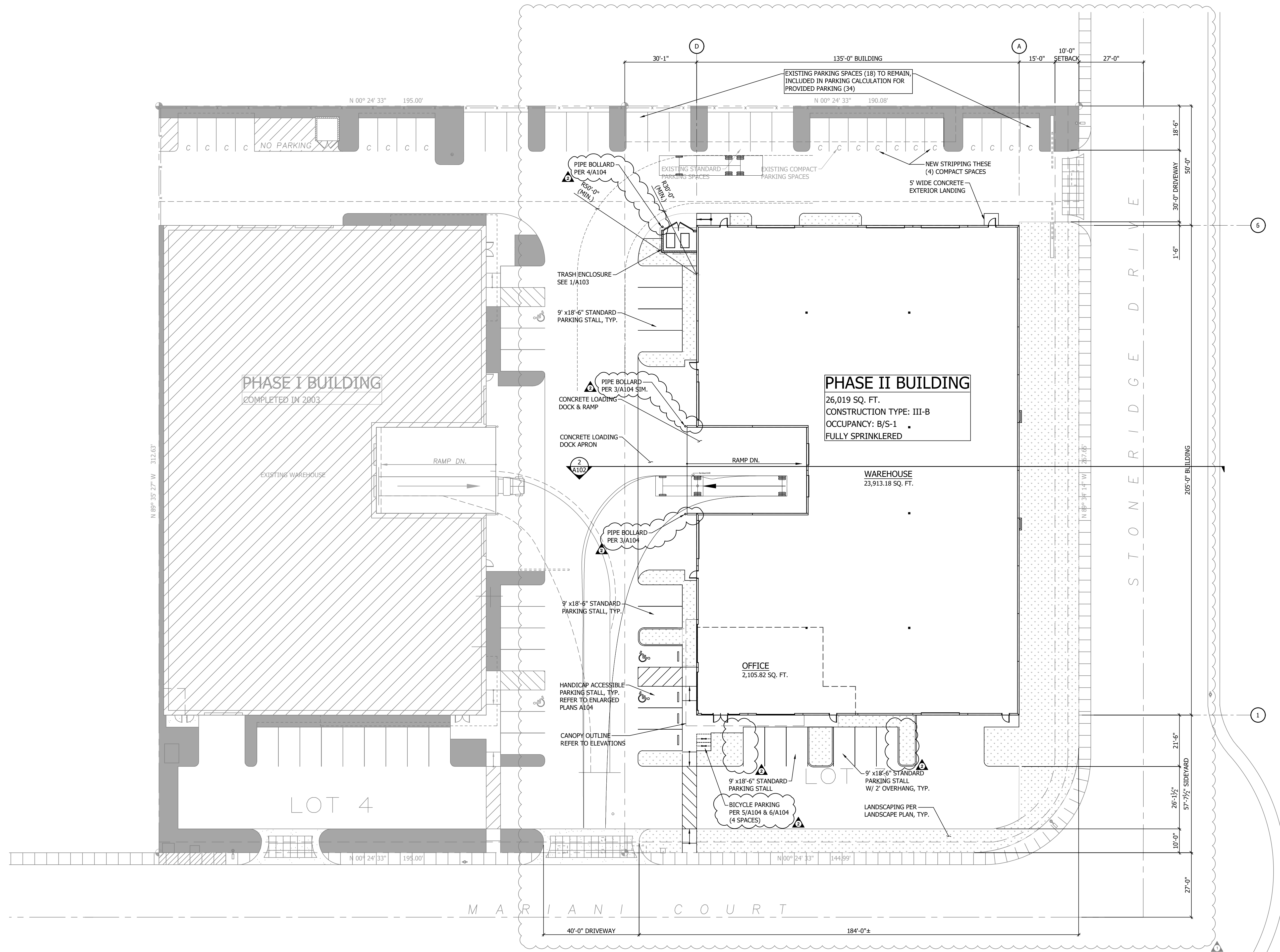
AERIAL VIEW



SHEET INDEX (DEVELOPMENT REVIEW)

- GENERAL**
 G100 TITLE SHEET & PROJECT INFORMATION
- ARCHITECTURE**
 A100 TITLE SHEET & PROJECT INFORMATION
 A101 SITE PLAN
 A102 SITE SECTIONS
 A103 TRASH ENCLOSURE
 A104 SITE DETAILS
 A201 FLOOR PLAN
 A202 ENLARGED PLANS
 A203 ENLARGED MEZZANINE PLAN & CANOPY DETAILS
 A206 ROOF PLAN
 A301 ELEVATIONS
 A401 BUILDING SECTIONS
- CIVIL**
 C0.0 COVER SHEET
 C0.1 EXISTING CONDITIONS AND DEMOLITION PLAN
 C1.0 SITE PLAN
 C1.1 SECTION VIEW
 C1.2 SITE DETAILS
 C2.0 GRADING PLAN
 C2.1 GRADING AND DRAINAGE DETAILS
 C3.0 UTILITY PLAN
 C3.1 UTILITY DETAILS
 C4.0 EROSION CONTROL PLAN
 C4.1 DAMAGE MANAGEMENT PLAN
- LANDSCAPE**
 L1 CONCEPTUAL LANDSCAPE PLAN

Jun 19, 2024 3:23:41 pm G:\JOBS-2023\230527 - GRATING PACIFIC - TRACY, CA\230527 - GRATING PACIFIC\TRACY_A101_SITE-PLANNING_02_06-19-2024.DWG_SCMAB



SITE PLAN
1" = 20'-0"

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DRAWN BY: SMC
REVISION:
DATE: 01-03-2024

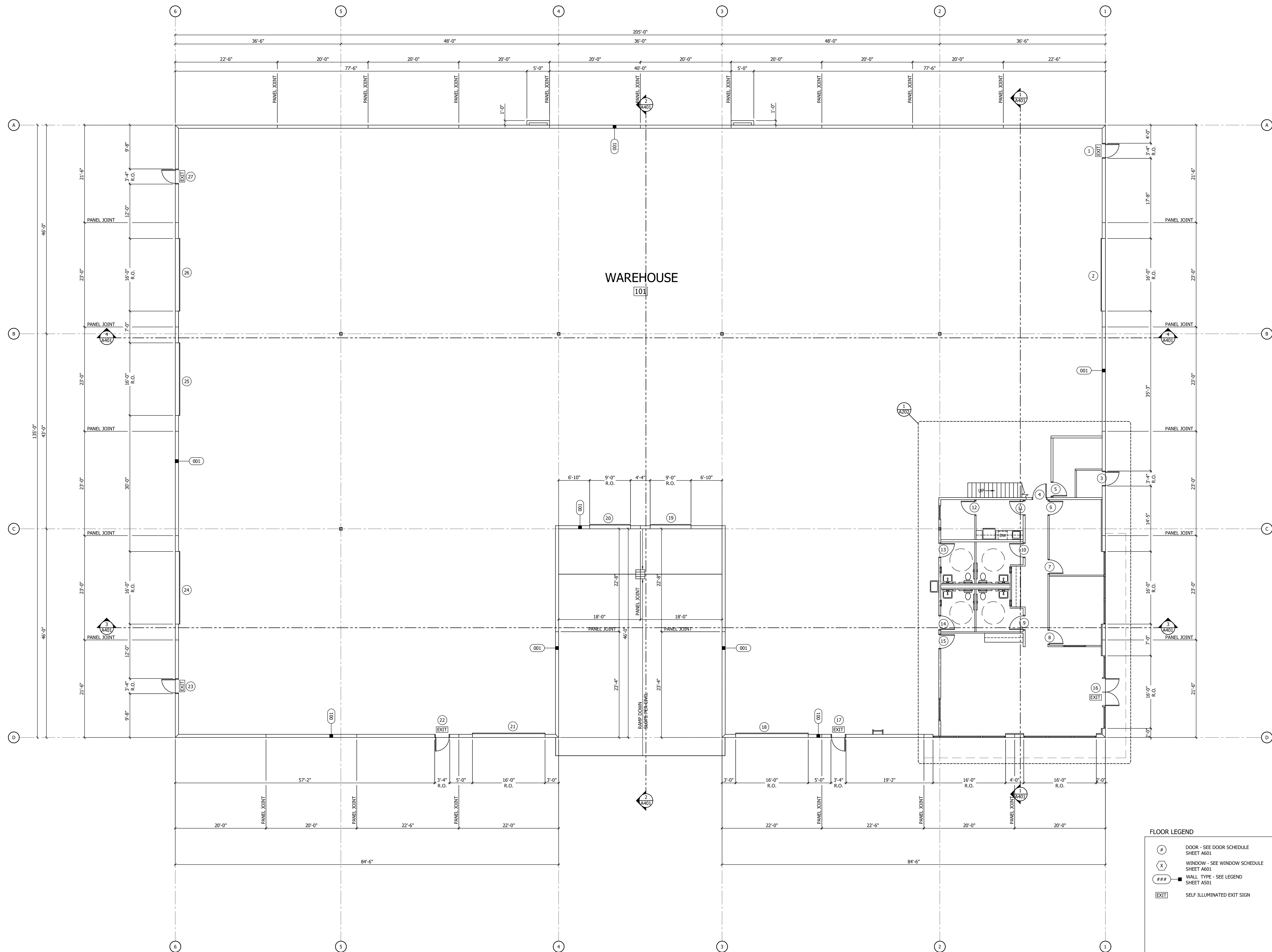
CHECKED BY: CBS
DATE: 01-03-2024
CONSULTING STRUCTURAL ENGINEERS
MSC ENGINEERS
SINCE 1925

SITE PLAN
EASTGATE BUSINESS PARK - PHASE 2
1396 MARIANI COURT
TRACY, CA
FOR: GRATING PACIFIC, INC.

PRELIMINARY
NOT FOR
CONSTRUCTION

DWG. NO.
A101
- of

230527



FLOOR PLAN
1/8" = 1'-0"

FLOOR LEGEND

- ⊕ DOOR - SEE DOOR SCHEDULE SHEET A601
- ⊗ WINDOW - SEE WINDOW SCHEDULE SHEET A601
- ### WALL TYPE - SEE LEGEND SHEET A501
- EXIT SELF ILLUMINATED EXIT SIGN

FLOOR PLAN

EASTGATE BUSINESS PARK - PHASE 2
1396 MARIANI COURT
TRACY, CA

FOR: GRATING PACIFIC, INC.

PRELIMINARY
NOT FOR
CONSTRUCTION

DWG. NO.
A201
- of

230527

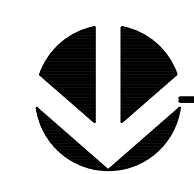
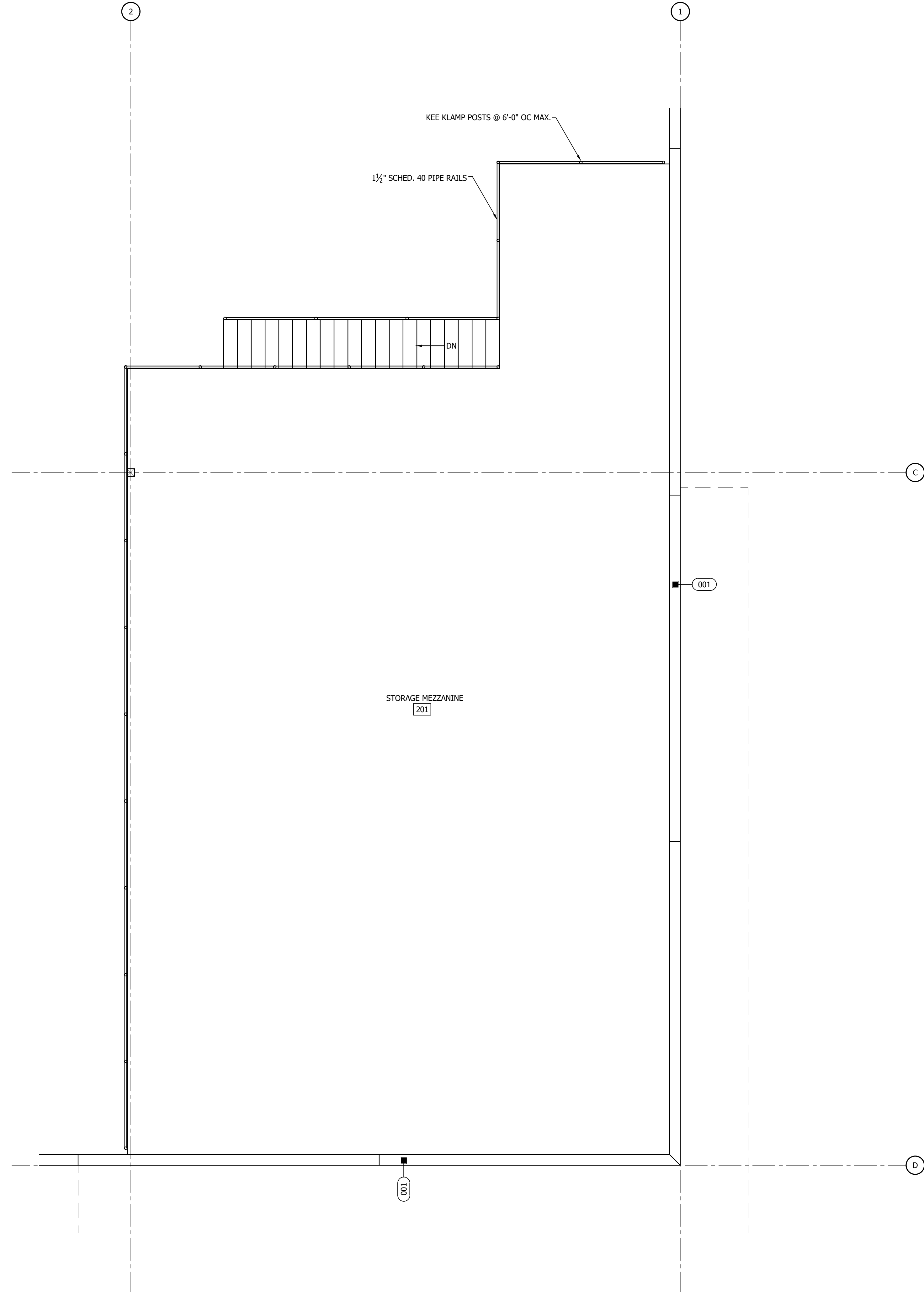
CHECKED BY: CBS
DATE: 01-03-2024
DRAWN BY: SMC
REVISION:

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CONSULTING
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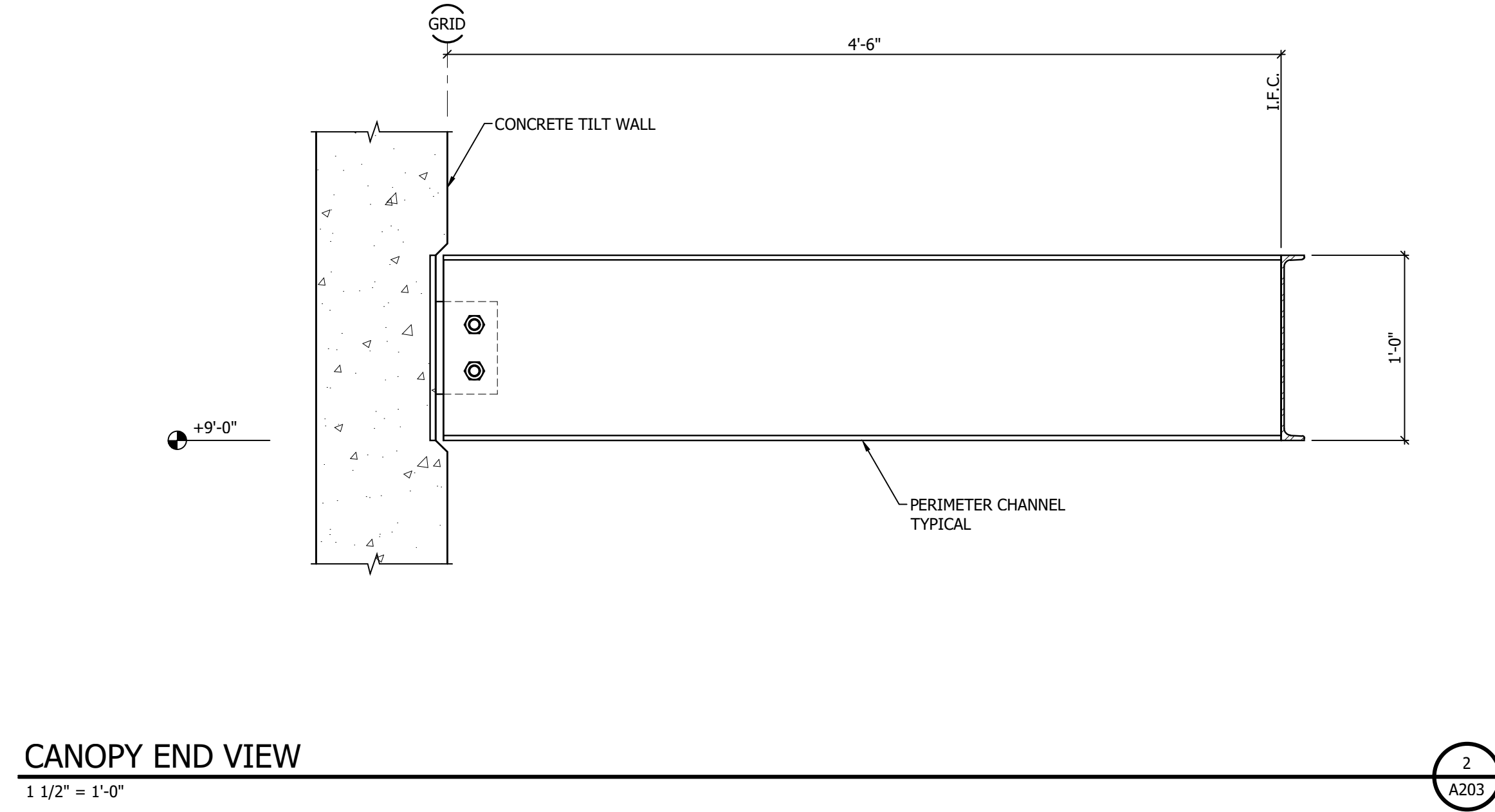
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ENLARGED STORAGE MEZZANINE FLOOR PLAN
1/4" = 1'-0"

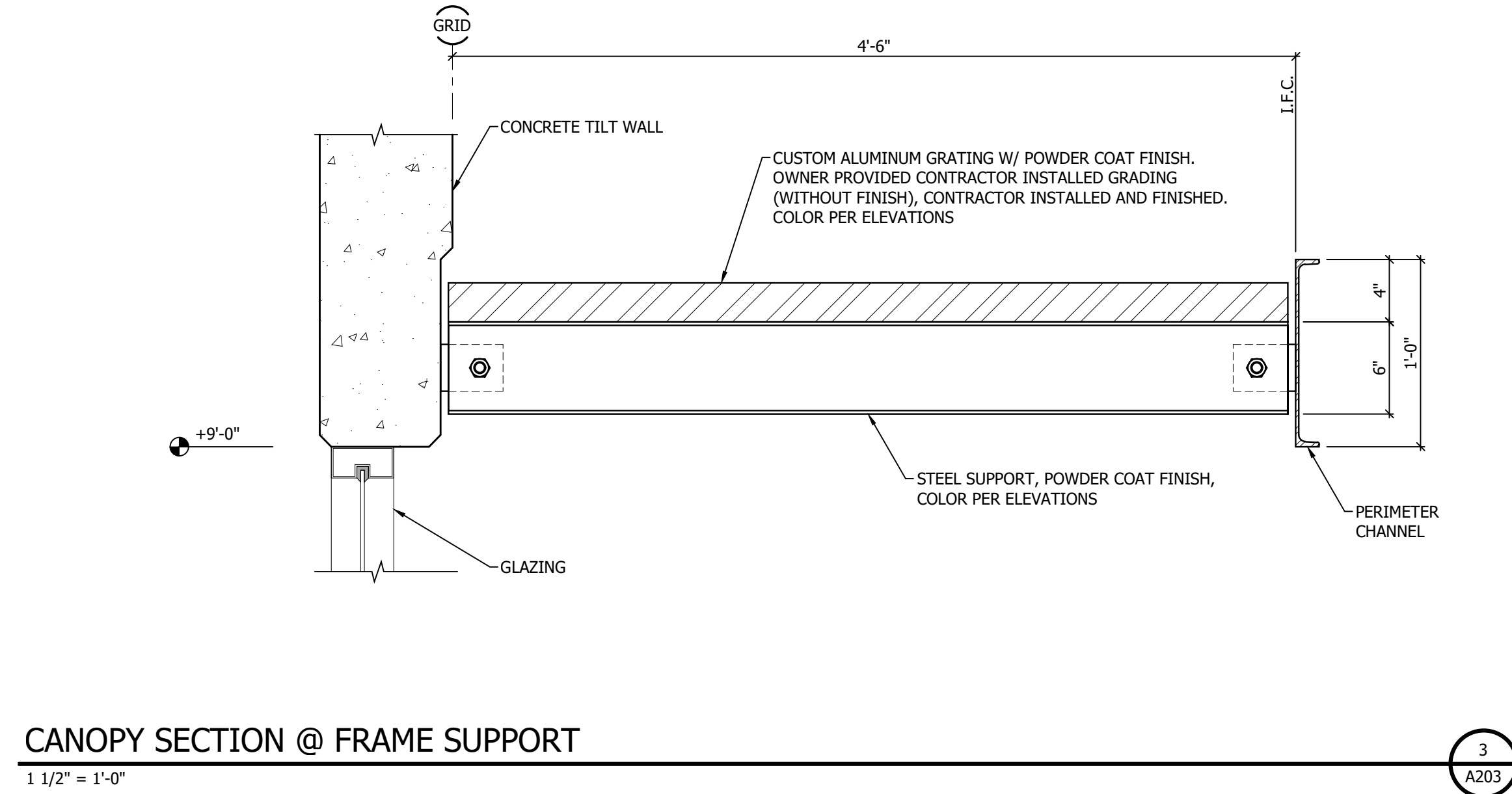
1
A203

FLOOR LEGEND	
(D)	DOOR - SEE DOOR SCHEDULE SHEET A601
(X)	WINDOW - SEE WINDOW SCHEDULE SHEET A601
###	WALL TYPE - SEE LEGEND SHEET A501
EXIT	SELF ILLUMINATED EXIT SIGN



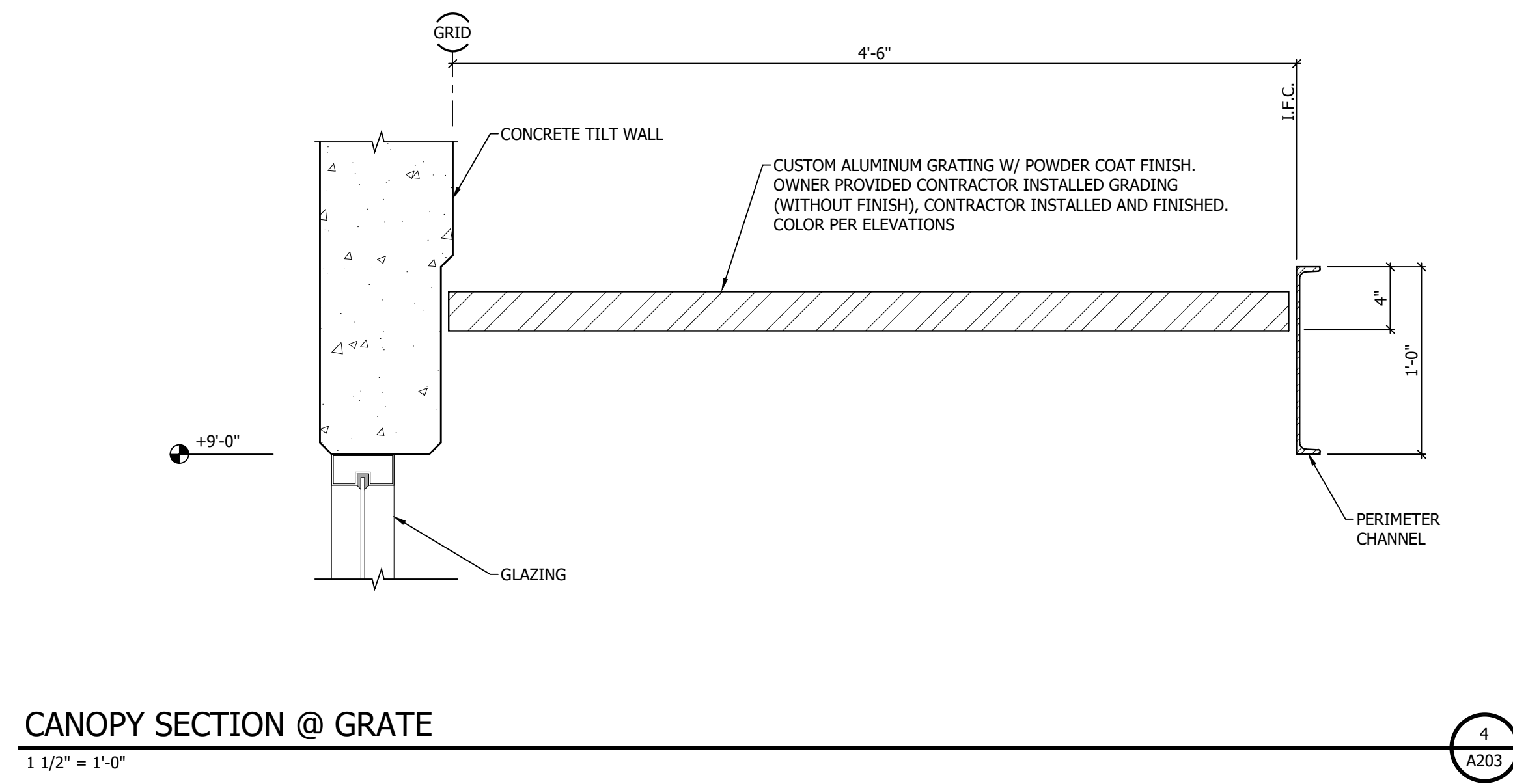
CANOPY END VIEW
1 1/2" = 1'-0"

2
A203



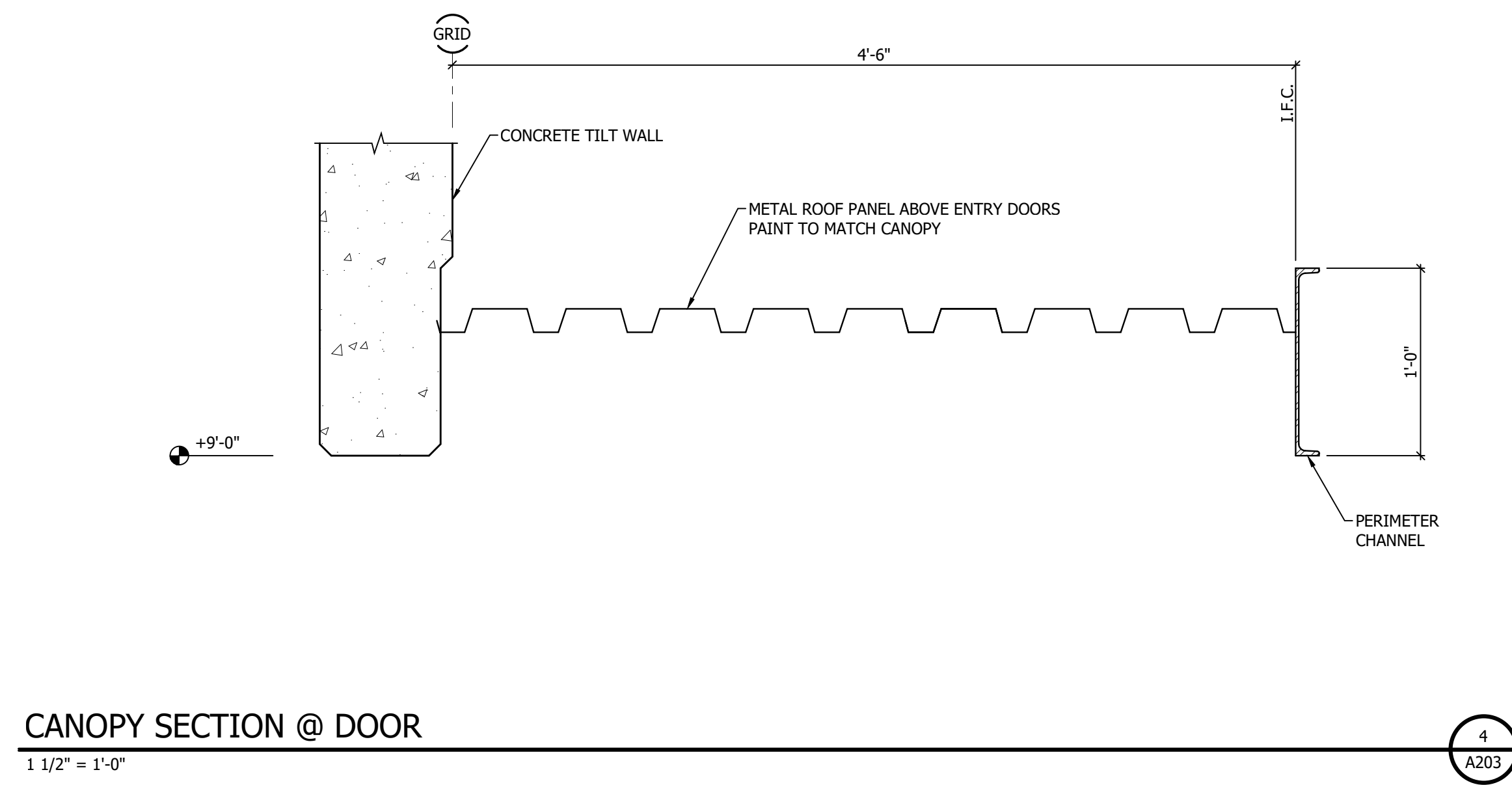
CANOPY SECTION @ FRAME SUPPORT
1 1/2" = 1'-0"

3
A203



CANOPY SECTION @ GRATE
1 1/2" = 1'-0"

4
A203



CANOPY SECTION @ DOOR
1 1/2" = 1'-0"

4
A203

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CHECKED BY: CBS
DATE: 01-03-2024



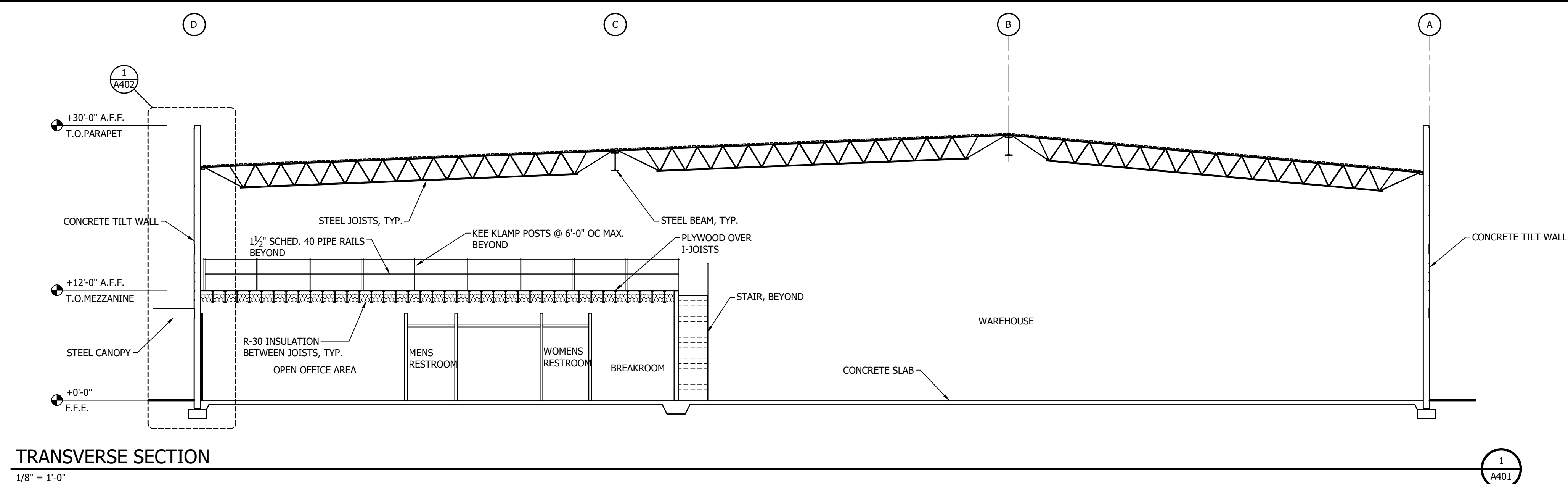
ENLARGED MEZZANINE FLOOR PLAN
EASTGATE BUSINESS PARK - PHASE 2
1396 MARIANI COURT
TRACY, CA
FOR: GRATING PACIFIC, INC.

PRELIMINARY
NOT FOR
CONSTRUCTION

DWG. NO.
A203
- of

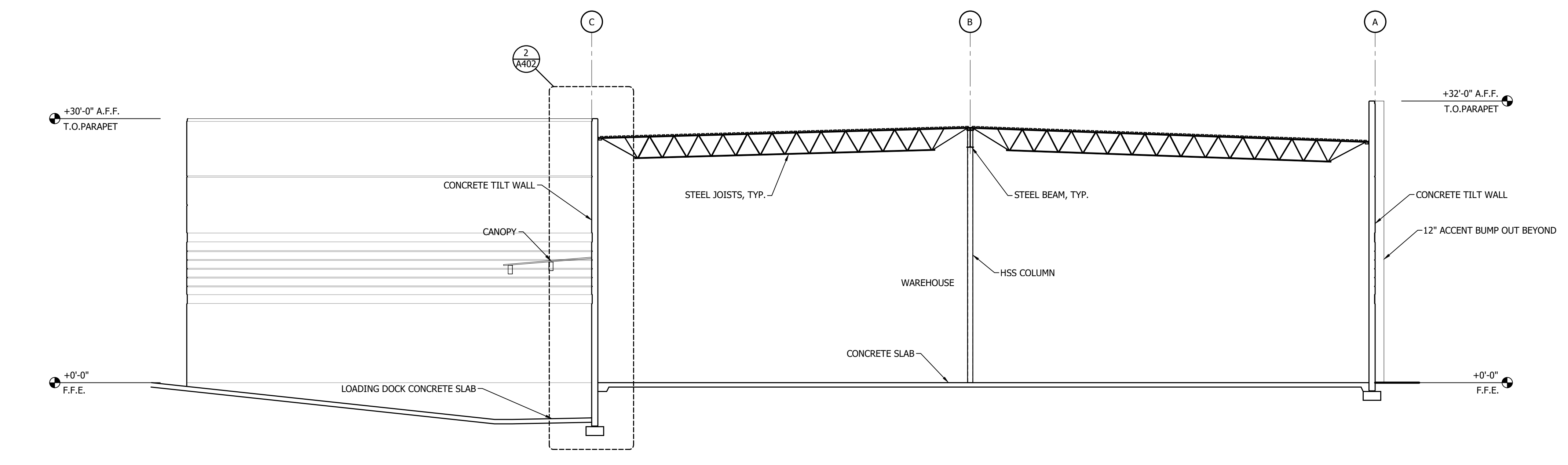
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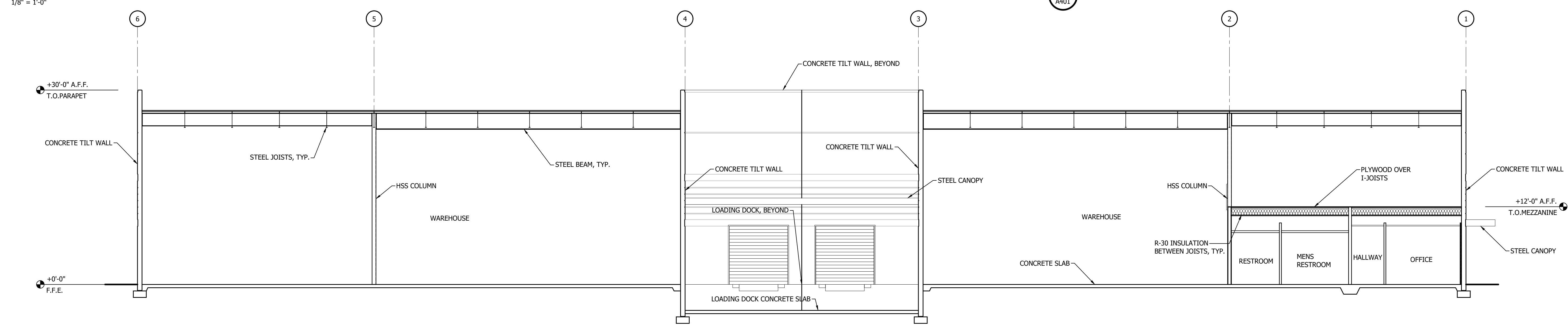
TRANSVERSE SECTION
1/8" = 1'-0"

1
A401



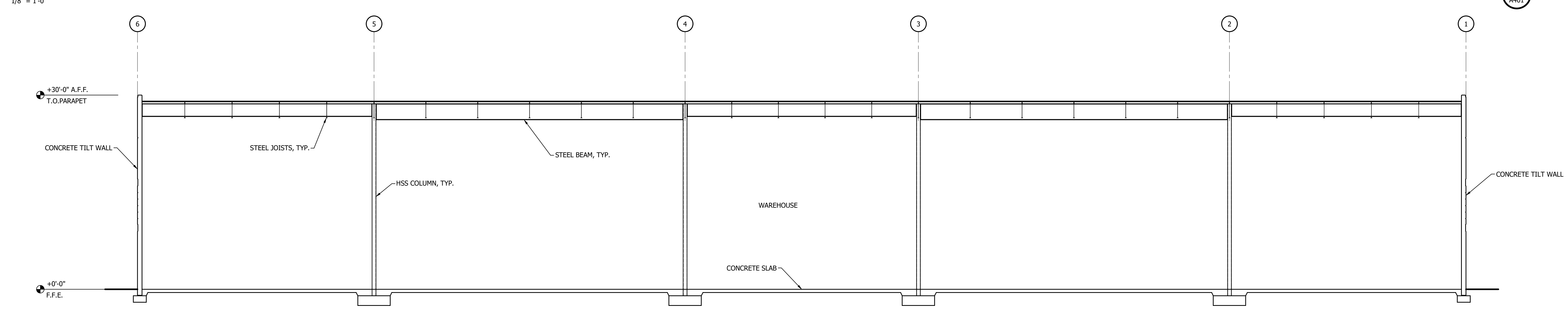
TRANSVERSE SECTION
1/8" = 1'-0"

2
A401



LONGITUDINAL SECTION
1/8" = 1'-0"

3
A401



LONGITUDINAL SECTION
1/8" = 1'-0"

4
A401

CHECKED BY: CBS
DATE: 01-03-2024
JOB NO. 230527
DRAWN BY: SMC
REVISION:

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BUILDING SECTIONS
EASTGATE BUSINESS PARK - PHASE 2
1396 MARIANI COURT
TRACY, CA
FOR: GRATING PACIFIC, INC.

PRELIMINARY
NOT FOR
CONSTRUCTION

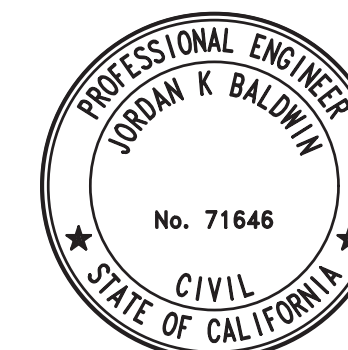
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A401
- of

EASTGATE BUSINESS PARK PHASE 2

1398 MARIANI CT.
TRACY, CA, 95376



2769 BOEING WAY | STOCKTON, CA 95206
P. 209.955.0110



PROJECT DIRECTORY

OWNER
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EMAIL: ronrobertson@gratingpacific.com

CIVIL ENGINEER
RIDGELINE ENGINEERING
2769 BOEING WAY
STOCKTON, CA 95206
CONTACT: JORDAN BALDWIN
PHONE: 209.955.0110
EMAIL: JORDAN@RLE.US

SCOPE OF WORK

- SITE WORK:**
- ROUGH AND FINISH GRADING
 - DRAINAGE MANAGEMENT
 - UTILITY LAYOUT
 - PARKING LOT PAVING

PROJECT DATA

SITE ADDRESS: 1398 MARIANI CT.
TRACY CA, 95376

ASSESSOR'S PARCEL NUMBER (APN): 250-260-03

PARCEL AREA: 1.35 ACRES

ZONING:

WATER: CITY OF TRACY - PUBLIC SERVICES

FIRE: TRACY FIRE DEPARTMENT

SEWER: CITY OF TRACY - PUBLIC WORKS

STORM: CITY OF TRACY - PUBLIC WORKS

ELECTRICITY: PACIFIC GAS & ELECTRIC

TELEPHONE: AT&T

GAS: PACIFIC GAS & ELECTRIC

BUILDING CODES:
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATION CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)
2022 CALIFORNIA REFERENCE STANDARDS CODE

ABBREVIATIONS

@	AT	FT	FOOT OR FEET	PVC	POLYVINYL CHLORIDE
AB	ANCHOR BOLT	FTG	FOOTING	PVMT	PAVEMENT
ADA	AMERICANS WITH DISABILITIES ACT	GA	GAUGE	R	RADIUS
AFF	ABOVE FINISH FLOOR	GAL	GALLON	RD	ROOF DRAIN
AFG	ABOVE FINISH GRADE	GALV	GALVANIZED	RE	REFERENCE
ALT	ALTERNATE	GC	GENERAL CONTRACTOR	REQ'D	REQUIRED
APPROX	APPROXIMATELY	GI	GALVANIZED IRON (STEEL)	R/W	RIGHT OF WAY
ARCH	ARCHITECTURAL	GLB	GLULAM BEAM	RM	ROOM
BC	BACK OF CURB	GYPBRD	GYPSPUM BOARD	SCHED	SCHEDULE
BRD	BOARD	HB	HOSE BIB	SD	STORM DRAIN
BLDG	BUILDING	HORIZ	HORIZONTAL	SF	SQUARE FOOT(FEET)
BOT	BOTTOM	HR	HOUR	SIM	SIMILAR
CIP	CAST IN PLACE	HT	HEIGHT	SPECS	SPECIFICATIONS
CJ	CONTROL JOINT	IN	INCH	SQ	SQUARE
CLG	CEILING	INSUL	INSULATION	STD	STANDARD
CLR	CLEAR	INT	INTERIOR	STL	STEEL
CMU	CONCRETE MASONRY UNIT	INV	INVERT	T&G	TONGUE & GROOVE
CO	CLEAN-OUT	LAV	LAVATORY	TEL	TELEPHONE
COL	COLUMN	LBS	POUNDS	THK	THICKNESS
CONT	CONTINUOUS	LF	LINEAR FEET	TYP	TYPICAL
DBL	DOUBLE	MAX	MAXIMUM	UNO	UNLESS NOTED
DET	DETAIL	MECH	MECHANICAL		OTHERWISE
DIA	DIAMETER	MTL	METAL	VERT	VERTICAL
DIM	DIMENSION	MFR	MANUFACTURER	VIF	VERIFY IN FIELD
DWG	DRAWING	MH	MANHOLE	W/	WITH
EA	EACH	MIN	MINIMUM	W/O	WITHOUT
EJ	EXPANSION JOINT	MISC	MISCELLANEOUS	WD	WOOD
EL	ELEVATION	NO OR #	NUMBER	WWF	WELDED WIRE FABRIC
EQ	EQUAL	NTS	NOT TO SCALE		
EQP	EQUIPMENT	OC	ON CENTER(S)		
EW	EACH WAY	OCC	OCCUPANT(S)		
EXH	EXHAUST	O/H	OVER HEAD		
(E)	EXISTING	OH	OVERHANG		
EXP	EXPANSION	OL	OCCUPANT LOAD		
EXT	EXTERIOR	OPP	OPPOSITE		
FD	FLOOR DRAIN	PL	PROPERTY LINE		
FE	FIRE EXTINGUISHER	PLYWD	PLYWOOD		
FF	FINISHED FLOOR	PSF	POUNDS PER SQUARE FOOT		
FH	FIRE HYDRANT	PSI	POUNDS PER SQUARE INCH		
FLR	FLOOR	PT	PRESSURE TREATED		

VICINITY MAP



SHEET INDEX

PG #	DESC	SHEET TITLE
1	C0.0	COVER SHEET
2	C0.1	EXISTING CONDITIONS AND DEMOLITION PLAN
3	C1.0	SITE PLAN
4	C1.1	SECTION VIEW
5	C1.2	SITE DETAILS
6	C2.0	GRADING PLAN
7	C2.1	GRADING AND DRAINAGE DETAILS
8	C3.0	UTILITY PLAN
9	C3.1	UTILITY DETAILS
10	C4.0	EROSION CONTROL PLAN
11	C4.1	DRAINAGE MANAGEMENT PLAN

GENERAL NOTES

- ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES SHOULD BE BROUGHT, IN WRITING, TO THE ATTENTION OF THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
- WORK IS TO BE PERFORMED IN ACCORDANCE TO ALL APPLICABLE LAWS, CODES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION OVER WORK DESCRIBED IN THESE PLANS.
- ALL PERMITS WILL BE SECURED BY THE GENERAL CONTRACTOR AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- FINISH MATERIALS INCLUDING BUT NOT LIMITED TO: ADHESIVES, SEALANTS, PAINTS, COATINGS, FLOORING SYSTEMS, COMPOSITE WOOD PRODUCTS, ETC. SHALL COMPLY WITH 2022 CALIFORNIA GREEN CODE POLLUTION CONTROLS (SECTIONS 5.504).
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. IN THE EVENT THAT MANUFACTURERS SPECIFICATIONS CONFLICT WITH THE DRAWINGS, MANUFACTURERS SPECIFICATIONS PREVAIL.
- CONTRACTOR SHALL NOT SCALE THE DRAWINGS BUT SHALL RELY ON THE WRITTEN DIMENSIONS GIVEN. IF A DISCREPANCY OCCURS OR DIMENSIONS ARE NOT GIVEN WHERE NEEDED, THE CONTRACTOR SHALL NOTIFY THE DESIGN FOR WRITTEN CLARIFICATION BEFORE PROCEEDING.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNO.
- PRIOR TO DEMOLITION, VERIFY THAT ALL ACTIVE MECHANICAL, ELECTRICAL AND TELEPHONE SERVICES CAN BE TURNED OFF WITHOUT DISRUPTING OTHER ADJACENT AREAS OF THE BUILDING.
- ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL MATCH SURROUNDING SIMILAR SURFACES UPON COMPLETION.
- THESE PLANS SHOW EXISTING FEATURES INCLUDING BUT NOT LIMITED TO TREES, UTILITIES, AND STRUCTURES THAT MAY BE AFFECTED BY THE CONSTRUCTION OR PLACEMENT OF THE PROPOSED ENGINEERED IMPROVEMENTS. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE ENGINEER IF THERE ARE ANY EXISTING FEATURES, WHETHER SHOWN OR NOT SHOWN ON THESE PLANS, THAT COULD IN ANY WAY BE IN POTENTIAL CONFLICT WITH THE DESIGN OF THESE PLANS. ALL WORK WITHIN THE VICINITY OF A POTENTIAL CONFLICT SHALL CEASE UNTIL AN ADEQUATE AND APPROPRIATE SOLUTION IS DETERMINED BY THE ENGINEER AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER, FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- QUALITY CONTROL PLAN: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING THE QUALITY OF MATERIAL ENTERING THE WORK AND THE WORK PERFORMED, AND SHALL PERFORM TESTING TO ENSURE CONTROL. PRIOR TO THE START OF WORK THE CONTRACTOR SHALL SUBMIT A QUALITY CONTROL PLAN THAT MUST DESCRIBE THE METHODS AND FREQUENCY OF TESTING, IMPLEMENTATION OF CORRECTIVE ACTIONS AS NECESSARY, AND REPORTING OF TEST RESULTS, SPECIFIC TO EACH MATERIAL TO BE USED.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS, STAMPED AND DISTRIBUTED BY THE ENGINEERING SERVICES DIVISION, PRIOR TO ACCEPTANCE OF THE WORK AS COMPLETE.
- NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. IF ANY TREES ARE TO BE REMOVED, THE IMPROVEMENT PLANS MUST BE REVIEWED AND ACKNOWLEDGED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED, PROPERLY TREATED AND SEALED. A TREE PERMIT MAY BE NECESSARY AND CAN BE OBTAINED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.
- COMPACTION REQUIREMENTS (RELATIVE DENSITY PER ASTM D-1557):
 - EXISTING SUBGRADE: 90% IN THE TOP 12" FROM NATIVE OR CUT SURFACE
 - TRENCH BACKFILL:
 - IN PUBLIC RIGHT-OF-WAY: PER CITY STANDARDS
 - IN LANDSCAPED AREAS: 85% IN THE TOP 12" FROM FINISHED GRADE, 90% BELOW 12" FROM FINISHED GRADE.
 - IN BUILDING PADS: 90% FULL DEPT
 - ROAD RIGHT-OF-WAYS:
 - PER CITY STANDARDS
 - IN PARKWAYS: 90% MIN. IN THE TOP 6" FROM FINISH GRADE, 85% BELOW 6" FROM FINISH GRADE.
- APPLICABLE FEES TO BE PAID AND PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR BEFORE THE COMMENCEMENT OF CONSTRUCTION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACT WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR WHICH IS NECESSARY TO ALLEGED STAKING ERROR, THE CONTRACTOR SHALL NOTIFY RIDGELINE ENGINEERING FOR RE-STAKING AND VERIFICATION OF PREVIOUS STAKING. SHOULD ANY CORRECTIVE WORK BE DONE PRIOR TO NOTIFICATION, OR IF THE ORIGINAL STAKING IS DONE BY OTHERS, RIDGELINE ENGINEERING ASSUMES NO LIABILITIES FOR THE COSTS INCURRED FOR THIS WORK. WHERE IT HAS BEEN DETERMINED THAT ANY CORRECTIVE ACTION WILL REQUIRE FINANCIAL PARTICIPATION BY RIDGELINE ENGINEERING, THAT AMOUNT SHALL BE AGREED TO BY RIDGELINE ENGINEERING IN WRITING PRIOR TO TAKING CORRECTIVE ACTION. FAILURE TO OBTAIN WRITTEN ACCEPTANCE BY RIDGELINE ENGINEERING WILL NEGATE ALL REQUIREMENTS OF OUR FINANCIAL ASSISTANCE.
- RIDGELINE ENGINEERING HAS EXERCISED A REASONABLE AND ACCEPTABLE STANDARD OF CARE IN THE PREPARATION OF THESE PLANS. HOWEVER, THE DESIGN PROCESS INCLUDES ACTIVITIES OCCURRING AFTER PLAN SIGNATURE. THESE ACTIVITIES INCLUDE CALCULATION, PLAN CHECK AND VERIFICATIONS DURING CONSTRUCTION. SHOULD PERSONS OTHER THAN RIDGELINE ENGINEERING PERFORM THE CONSTRUCTION STAKING OPERATIONS, THEY SHALL INDEMNIFY RIDGELINE ENGINEERING FROM ANY DAMAGES RESULTING FROM FAILURE TO PERFORM THESE TASKS OR ANY EXPENSE OR DAMAGE RESULTING FROM OMISSION OR ERROR CONTAINED IN THE PLANS WHICH WOULD REASONABLY HAVE BEEN DISCOVERED AND CORRECTED BY RIDGELINE ENGINEERING.
- ALL APPLICABLE, CLEANOUTS, VALVE BOXES, PULL BOXES AND RELATED APPURTENANCE SUBJECT TO VEHICULAR WHEEL LOADING SHALL BE CONSTRUCTED WITH A TRAFFIC (H20) LOAD RATING.
- THE CONTRACTOR SHALL IMPLEMENT B.M.P. TO CONTROL ALL SOIL AND DUST FROM LEAVING THE SITE.

EASTGATE BUSINESS PARK

COVER SHEET

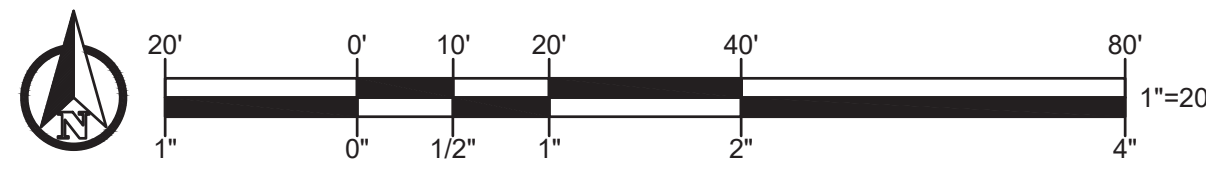
1398 MARIANI CT.
TRACY, CA, 95376

NO.	DATE	DESCRIPTION	CITY COMMENTS 01
1	08/09/2024		

PROJECT NO.: 23E-028
DRAWN BY: NH/MA
CHECKED BY: JB/RW
DATE: 8/13/2024
SHEET NO.:

C0.0

SHEET: 1 OF 11



LEGEND

	BUILDING		SIGN
	ASPHALT		ELECTRICAL BOX
	CONCRETE		POWER POLE
	PROPERTY LINE		SITE LIGHT, SINGLE
	RIGHT OF WAY		SITE LIGHT, DOUBLE
	EASEMENT		STUB
	CONTOUR, 10'		SANITARY SEWER MANHOLE
	CONTOUR, 2'		SANITARY SEWER CLEANOUT
	FENCE		STORM INLET
	SD - STORM		BACKFLOW PREVENTER
	SS - SEWER		DCDA
	W - WATER		WATER METER
	DEMOLISH/REMOVE		GATE VALVE
			FIRE HYDRANT
			TREE

SURVEY NOTES

BENCHMARK:
 NGS BENCHMARK A17592
 DESCRIPTION: BRASS DISK SET ATOP A CONCRETE FILLED PIPE
 LOCATION: IN TRACY, AT THE INTERSECTION OF MACARTHUR DRIVE AND LEAMON STREET, 38.7 FEET WEST OF THE DRIVE CENTERLINE, AND 1 FOOT SOUTH OF THE STREET CENTERLINE.

ELEVATION = 61.44 FEET, NAVD88 DATUM

SURVEYOR'S NOTES:

THIS TOPOGRAPHIC SURVEY WAS PREPARED TO DOCUMENT SURFACE FEATURES AND ELEVATIONS. THEREFORE, THE FOCUS OF THE SURVEY WAS ON EXISTING SURFACE FEATURES AND SURFACE IMPROVEMENTS.

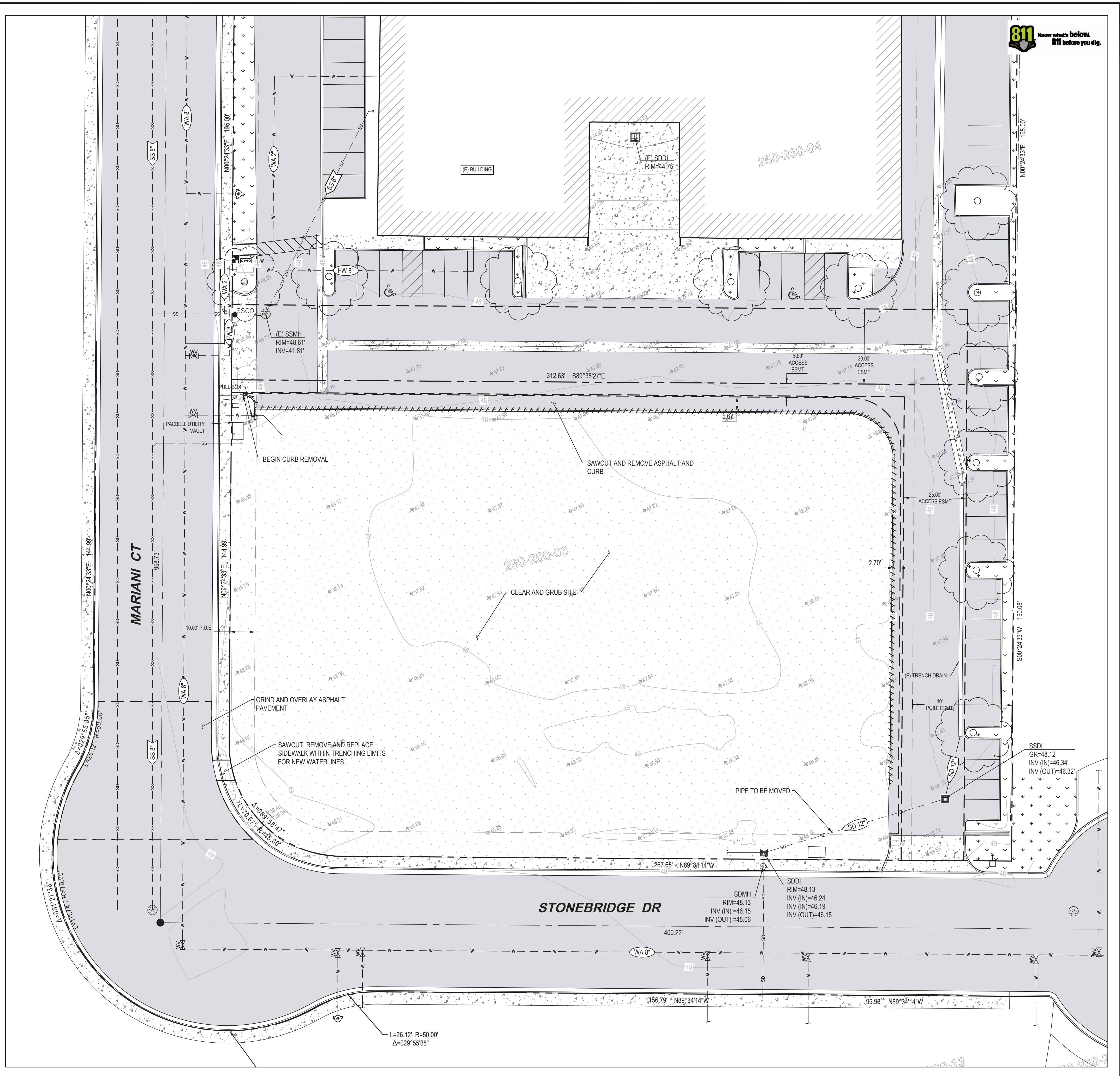
THE TOPOGRAPHIC DATA SHOWN HEREON IS BASED UPON A CONVENTIONAL FIELD SURVEY COMPLETED IN AUGUST 2023 AND COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS.

EASEMENT RIGHTS ARE UNKNOWN AND A PRELIMINARY TITLE REPORT WAS NOT REVIEWED AS PART OF THIS SURVEY.

THE USER OF THIS INFORMATION SHALL REVIEW ALL RESULTS FOR CONSISTENCY AND ACCURACY, DISCREPANCIES OR CONCERNS SHALL BE BROUGHT TO THE ATTENTION OF RIDGELINE ENGINEERING IMMEDIATELY. THE USER OF THIS INFORMATION ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR ITS PROPER USE, EVALUATION AND ANY SUBSEQUENT ACTIONS RESULTING FROM THE USE THEREOF.

DEMOLITION NOTES

- CONTRACTOR TO FIELD LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY SIGNIFICANT DISCREPANCIES.
- EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS TO BE PROTECTED-IN-PLACE UNLESS OTHERWISE NOTED. UTILITIES TO BE REMOVED: IF REMOVAL IS NOT FEASIBLE UTILITIES MAY BE CAPPED AND ABANDONED IN PLACE. CONTRACTOR TO COORDINATE WITH ENGINEER AND OWNER ON REMOVAL/ABANDONMENT OF ANY EXISTING UTILITIES FOUND IN FIELD/NOT SHOWN ON THESE PLANS.
- EXCAVATE AND REMOVE TREE STUMPS AND ORGANICS WITHIN PROPOSED PAD AND ROAD AREAS.
- ALL MATERIAL DEMOLISHED AND UNSUITABLE CLEARED OR GRUBBED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE THEIR SOLE RESPONSIBILITY FOR REMOVAL AND OFF-SITE DISPOSAL.

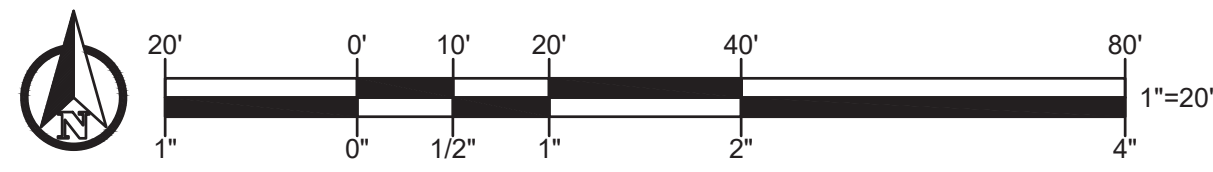


**EASTGATE BUSINESS PARK
 EXISTING CONDITIONS AND
 DEMOLITION PLAN**

1398 MARIANI CT.
 TRACY, CA, 95376

NO.	DATE	DESCRIPTION	CITY COMMENTS
1	08/09/2024		

PROJECT NO.: 23E-028
 DRAWN BY: NH/MA
 CHECKED BY: JB/RW
 DATE: 8/13/2024
 SHEET NO.:
C0.1
 SHEET: 2 OF 11



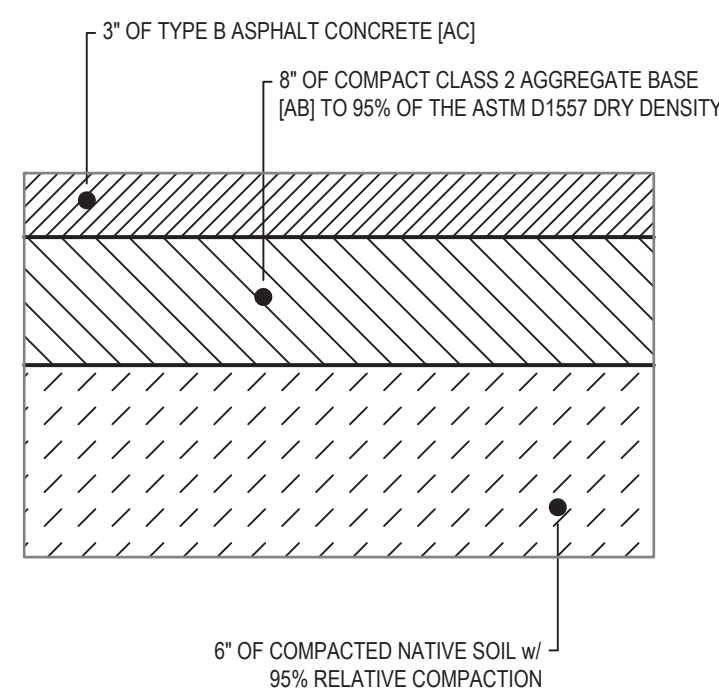
LEGEND

- | | | | |
|--|-----------------------|--|------------------------|
| | BUILDING | | TRAFFIC FLOW DIRECTION |
| | (E) ASPHALT | | STUB |
| | (P) ASPHALT | | SANITARY SEWER MANHOLE |
| | GRIND AND OVERLAY | | STORM INLET |
| | CONCRETE | | STORM MANHOLE |
| | LANDSCAPING | | OVERFLOW RISER |
| | BIORETENTION | | BACKFLOW PREVENTER |
| | PROPERTY LINE | | DCDA |
| | EASEMENT | | WATER METER |
| | BUILDING SETBACK LINE | | GATE VALVE |
| | SD | | FIRE HYDRANT |
| | SS | | |
| | W | | |

KEY NOTES

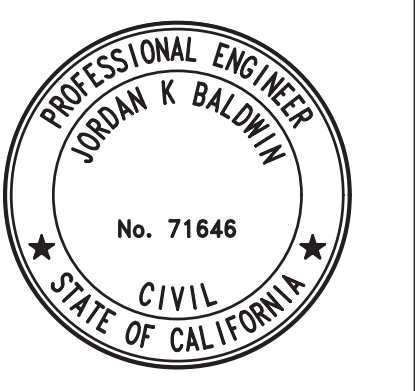
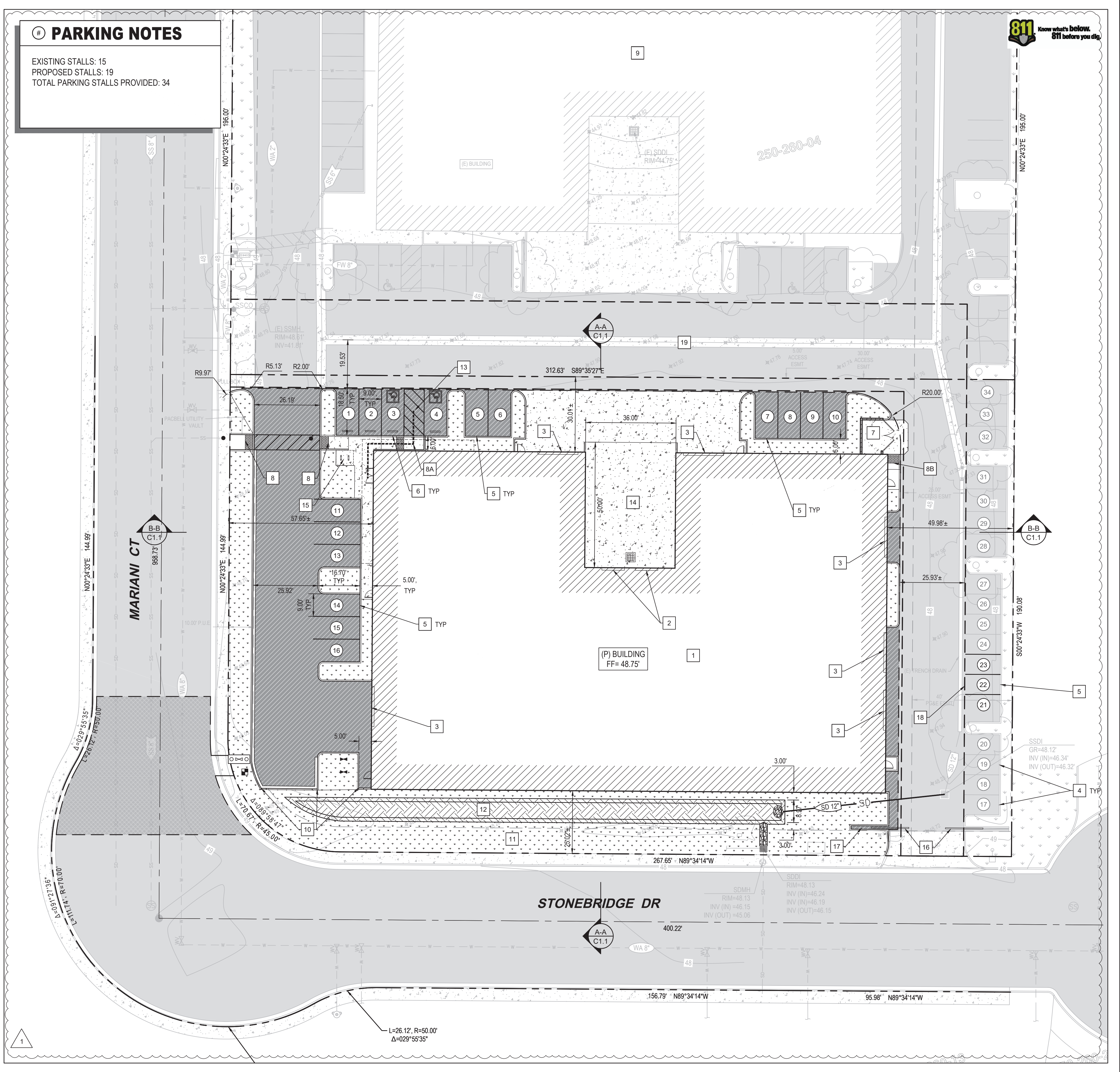
- (P) BUILDING.
- (P) 9' WIDE ROLL UP DOOR ENTRANCE
- (P) 16' WIDE ROLL UP DOOR ENTRANCE
- (E) PARKING STALL
- (P) PARKING STALL
- (P) ADA PARKING STALL, SEE SHEET C1.2 FOR ENLARGED VIEW.
- (P) TRASH ENCLOSURE, SEE SHEET C1.2 FOR ENLARGED VIEW.
- ADA RAMP, SEE SHEET C1.2 FOR ENLARGED VIEW. RAMPS PER COT STD 127, CASE F.
- ADA RAMP, SEE SHEET C1.2 FOR ENLARGED VIEW.
- TRUNCATED DOMES PER COT STD 127. SIDEWALK FLUSH WITH ASPHALT. 6" VERTICAL CURB SEPARATING SIDEWALK AND ASPHALT DRIVE. SEE SHEET C1.2 FOR ENLARGED VIEW.
- (E) BUILDING.
- (P) CURB CUT.
- RE-GRADE EXISTING LANDSCAPE STRIP 2' OFFSET FROM BACK OF SIDEWALK TO PROVIDE POSITIVE DRAINAGE TOWARDS (P) BIORETENTION POND.
- (P) BIORETENTION FACILITY
- ADA PATH OF TRAVEL
- LOADING DOCK, SEE GRADING AND DRAINAGE SHEETS FOR DETAILS.
- (P) BICYCLE RACK, SEE ARCHITECTURAL PLANS FOR DETAILS.
- (P) 27' ROLLING GATE, SEE ARCHITECTURAL PLANS FOR DETAILS.
- (P) CURB POCKET FOR ROLLING GATE.
- (E) TRENCH DRAIN, PROTECT-IN-PLACE.
- (E) VALLEY GUTTER, PROTECT-IN-PLACE.

PAVEMENT SECTION



PARKING NOTES

EXISTING STALLS: 15
 PROPOSED STALLS: 19
 TOTAL PARKING STALLS PROVIDED: 34



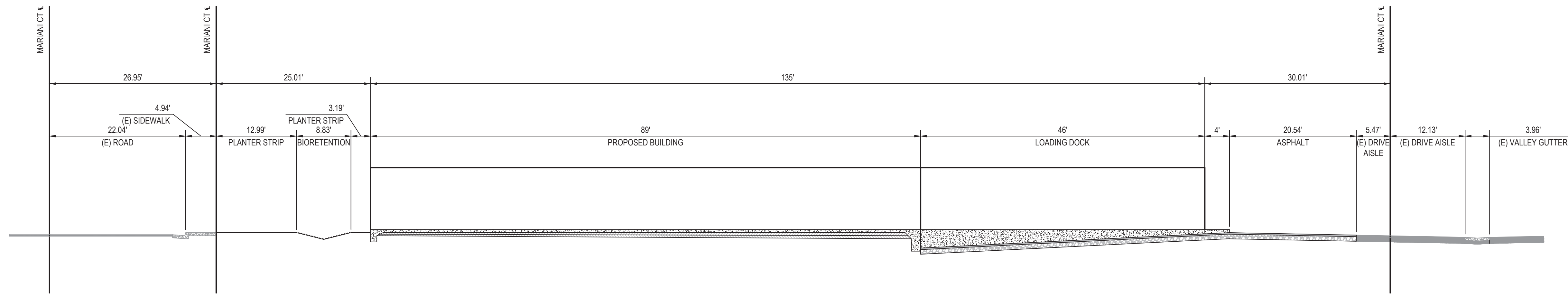
EASTGATE BUSINESS PARK

SITE PLAN

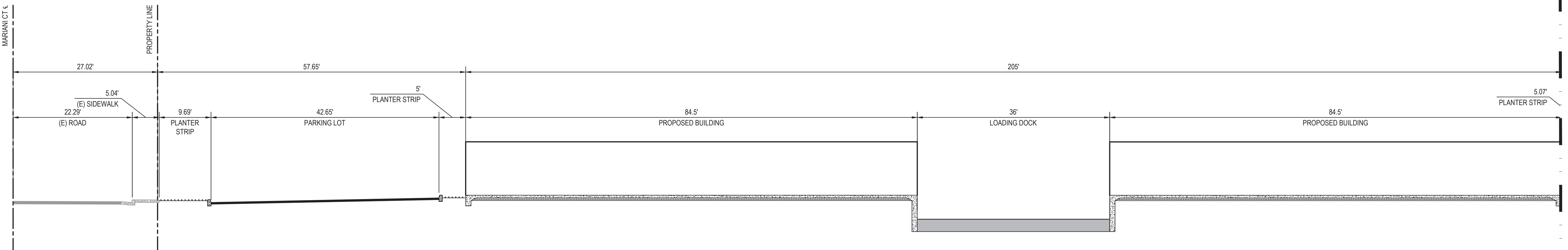
1398 MARIANI CT.
 TRACY, CA, 95376

REVISIONS		DESCRIPTION
NO.	DATE	CITY COMMENTS
1	08/09/2024	

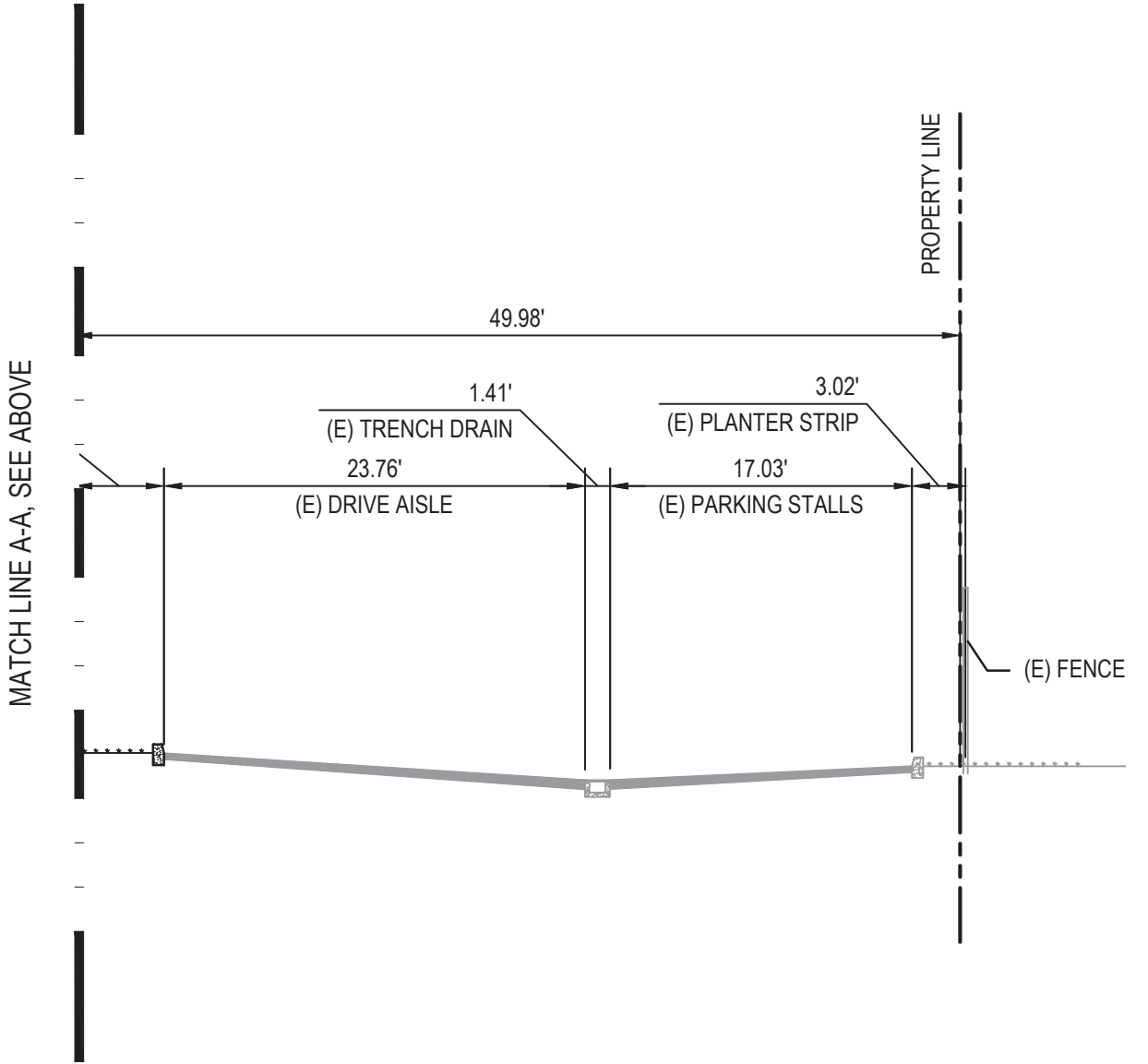
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DRAWN BY:	NH/MA
CHECKED BY:	JB/RW
DATE:	8/13/2024
SHEET NO.:	C1.0
SHEET:	3 OF 11



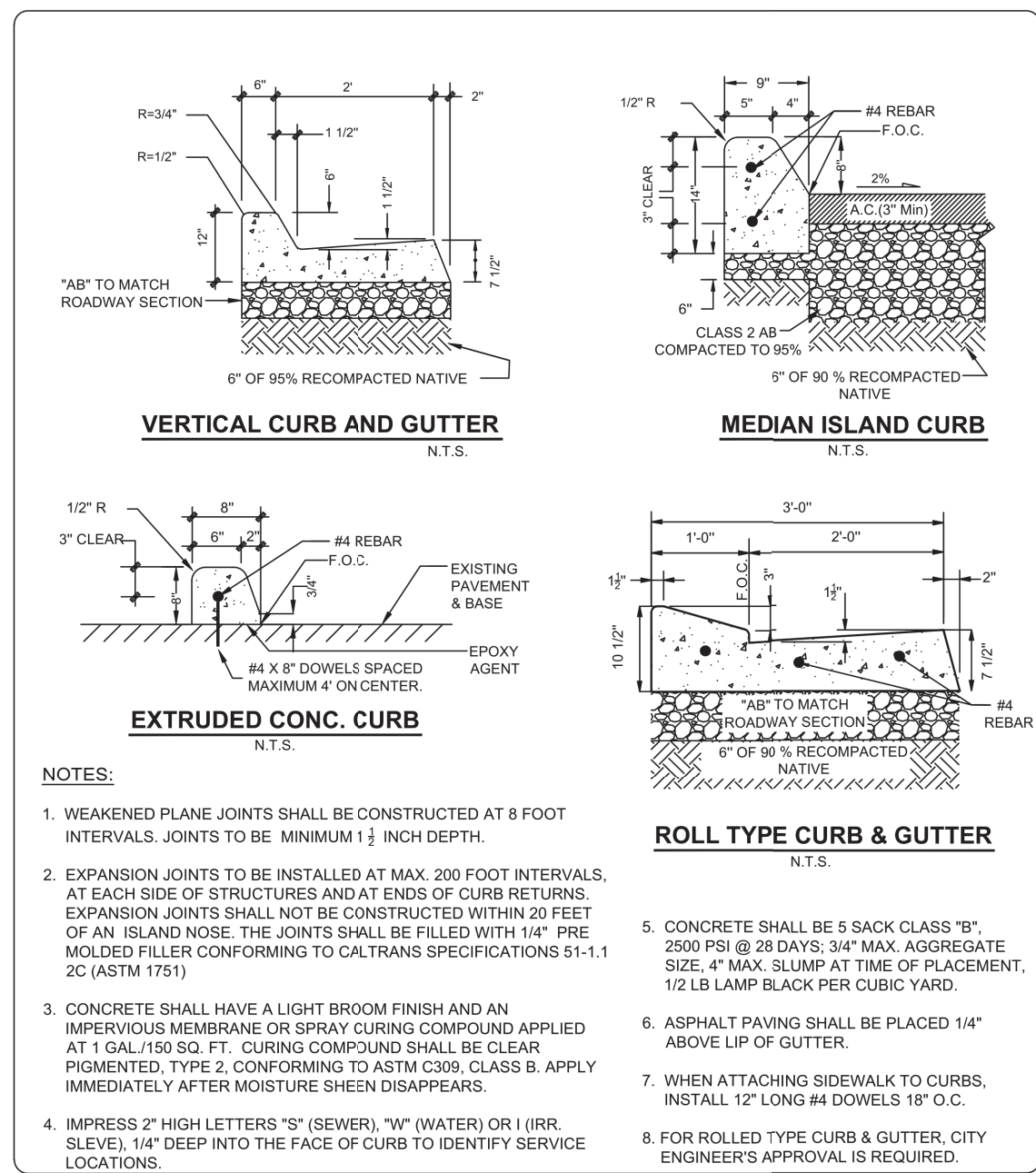
CROSS SECTION A-A
SCALE: 1"=10'



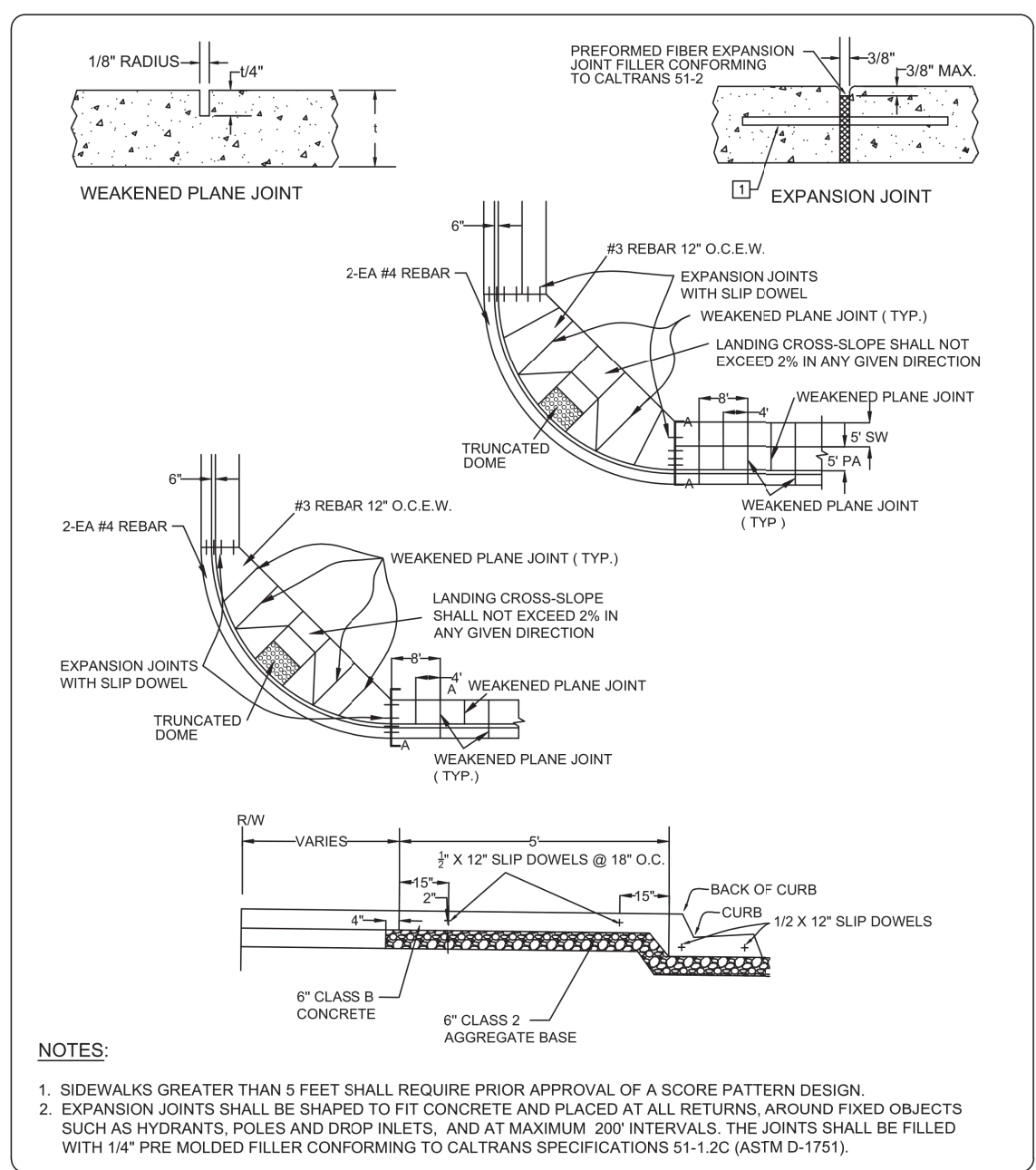
CROSS SECTION B-B
SCALE: 1"=10'



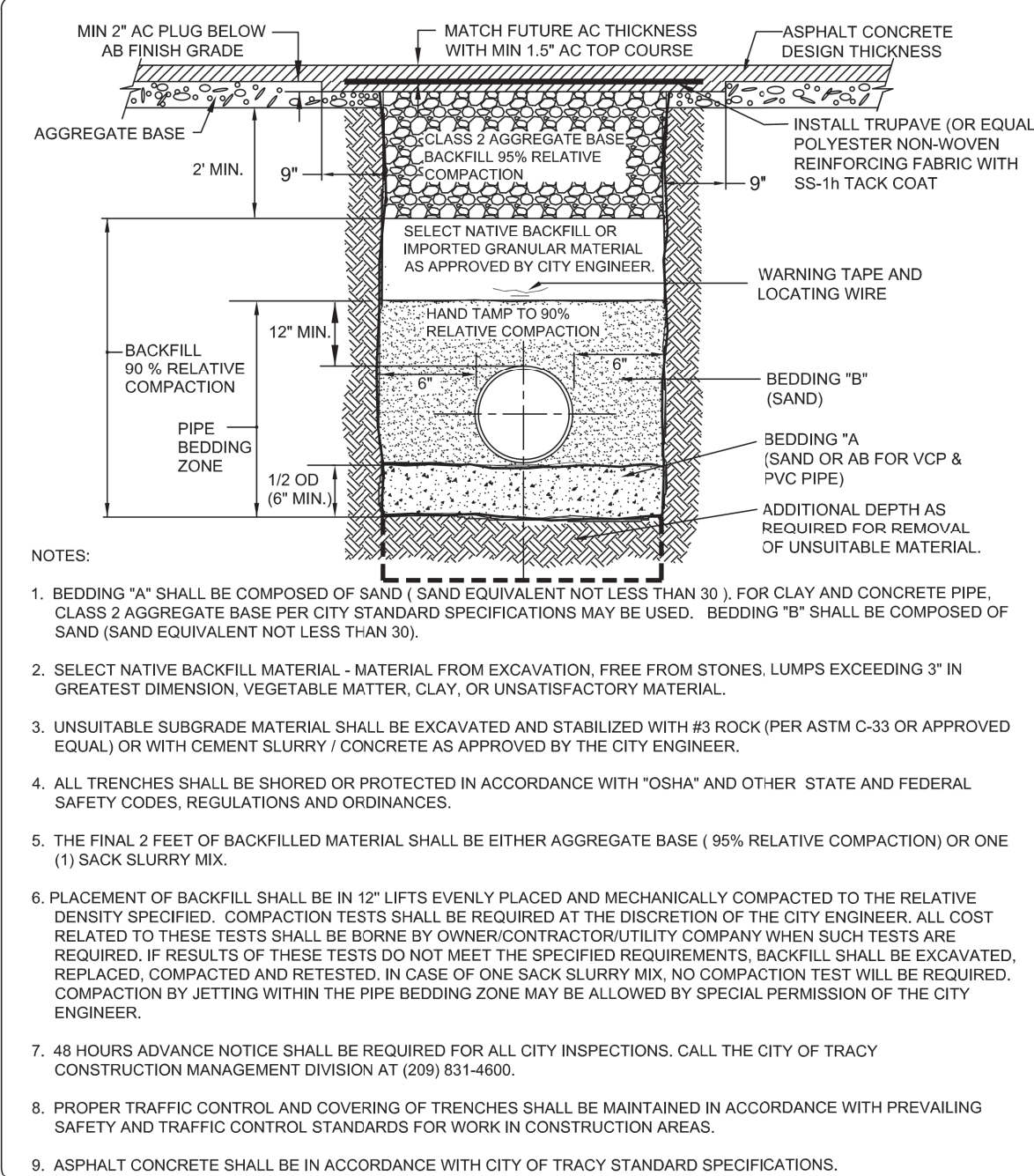
CROSS SECTION B-B CONT
SCALE: 1"=10'



CITY OF TRACY		STANDARD PLAN No. 120
REVIEWED BY: <i>Robert Amijz</i>	CITY ENGINEER RCE 63173	CURBS
Res No. 2020-031	DATE: February 18, 2020	
Prepared By: Leisser M.	Checked By: Thomas W.	
Rev:	Rev:	



CITY OF TRACY		STANDARD PLAN No. 126
REVIEWED BY: <i>Robert Amijz</i>	CITY ENGINEER RCE 63173	EXPANSION JOINTS, WEAKENED PLANE JOINTS AND SCORE LINES
Res No. 2020-031	DATE: February 18, 2020	
Prepared By: Leisser M.	Checked By: Thomas W.	
Rev:	Rev:	



CITY OF TRACY		STANDARD PLAN No. 502
REVIEWED BY: <i>Robert Amijz</i>	CITY ENGINEER RCE 63173	SUBDIVISION TRENCHING AND BACKFILL
Res No. 2020-031	DATE: February 18, 2020	
Prepared By: Leisser M.	Checked By: Thomas W.	
Rev:	Rev:	



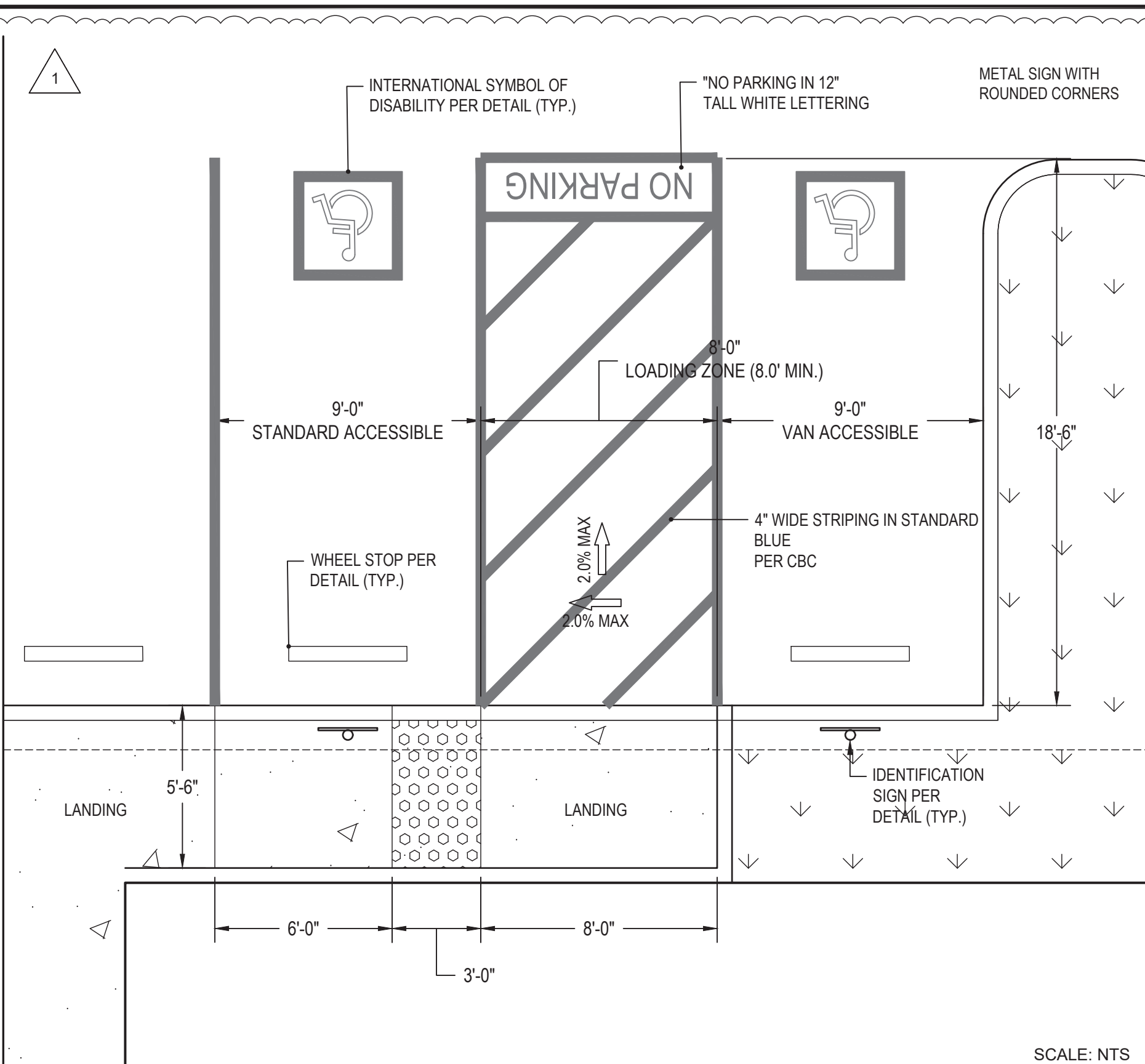
EASTGATE BUSINESS PARK

SECTION VIEW

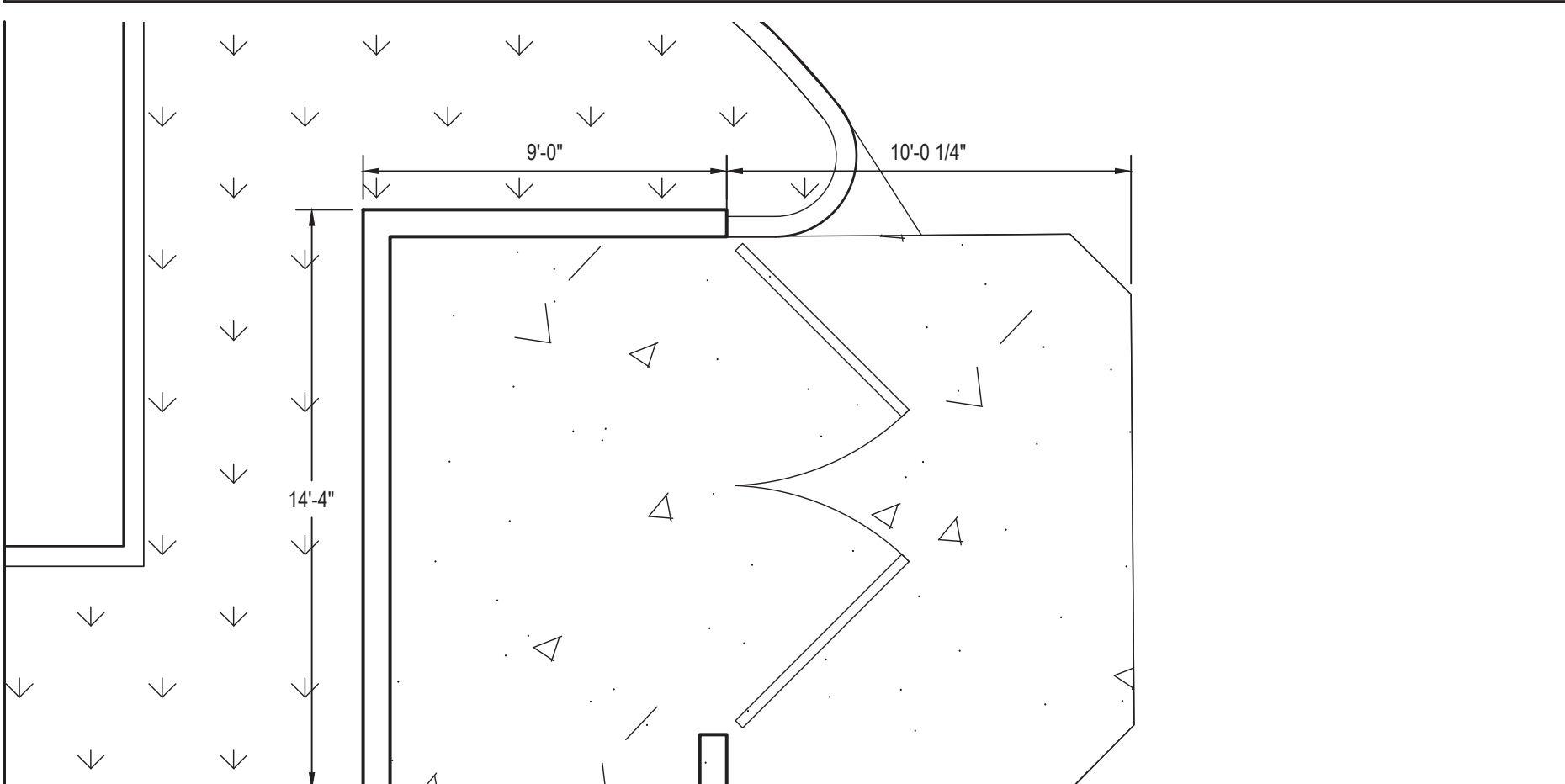
1398 MARIANI CT.
TRACY, CA, 95376

REVISIONS		DESCRIPTION	CITY COMMENTS
NO.	DATE		
1	08/09/2024		

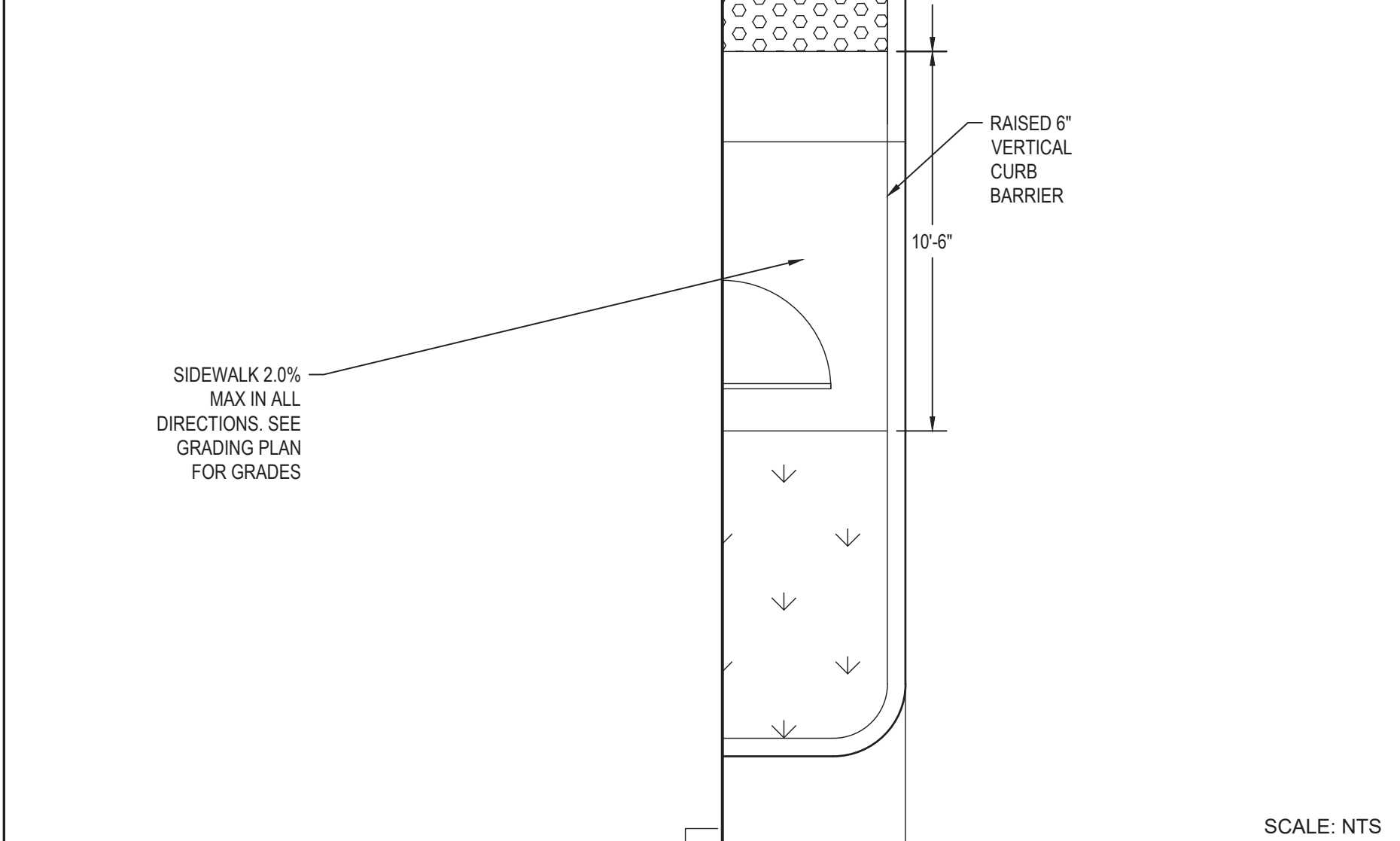
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DRAWN BY:	NH/MA
CHECKED BY:	JB/RW
DATE:	8/13/2024
SHEET NO.:	C1.1
SHEET:	4 OF 11



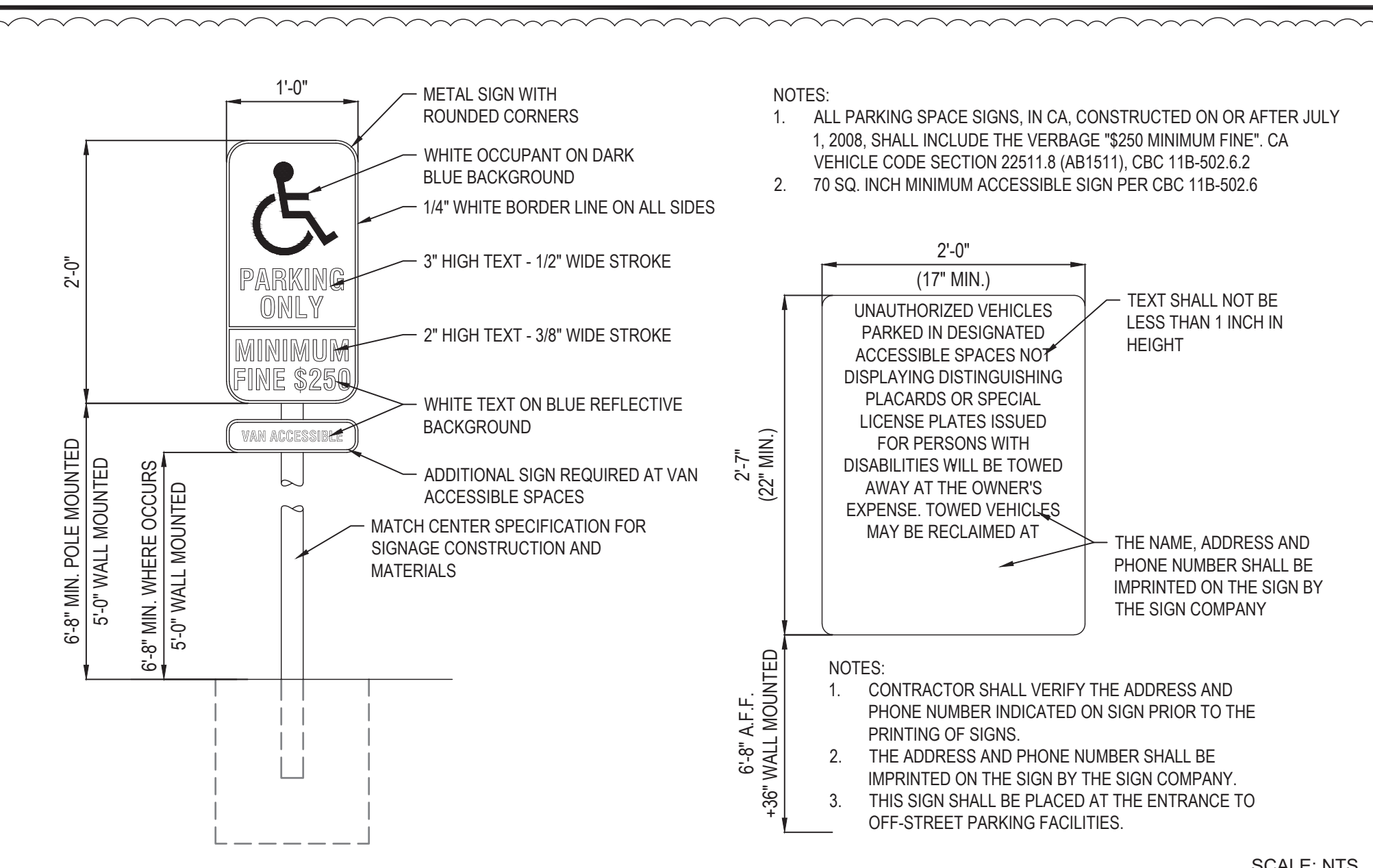
ENLARGED ADA PARKING 1



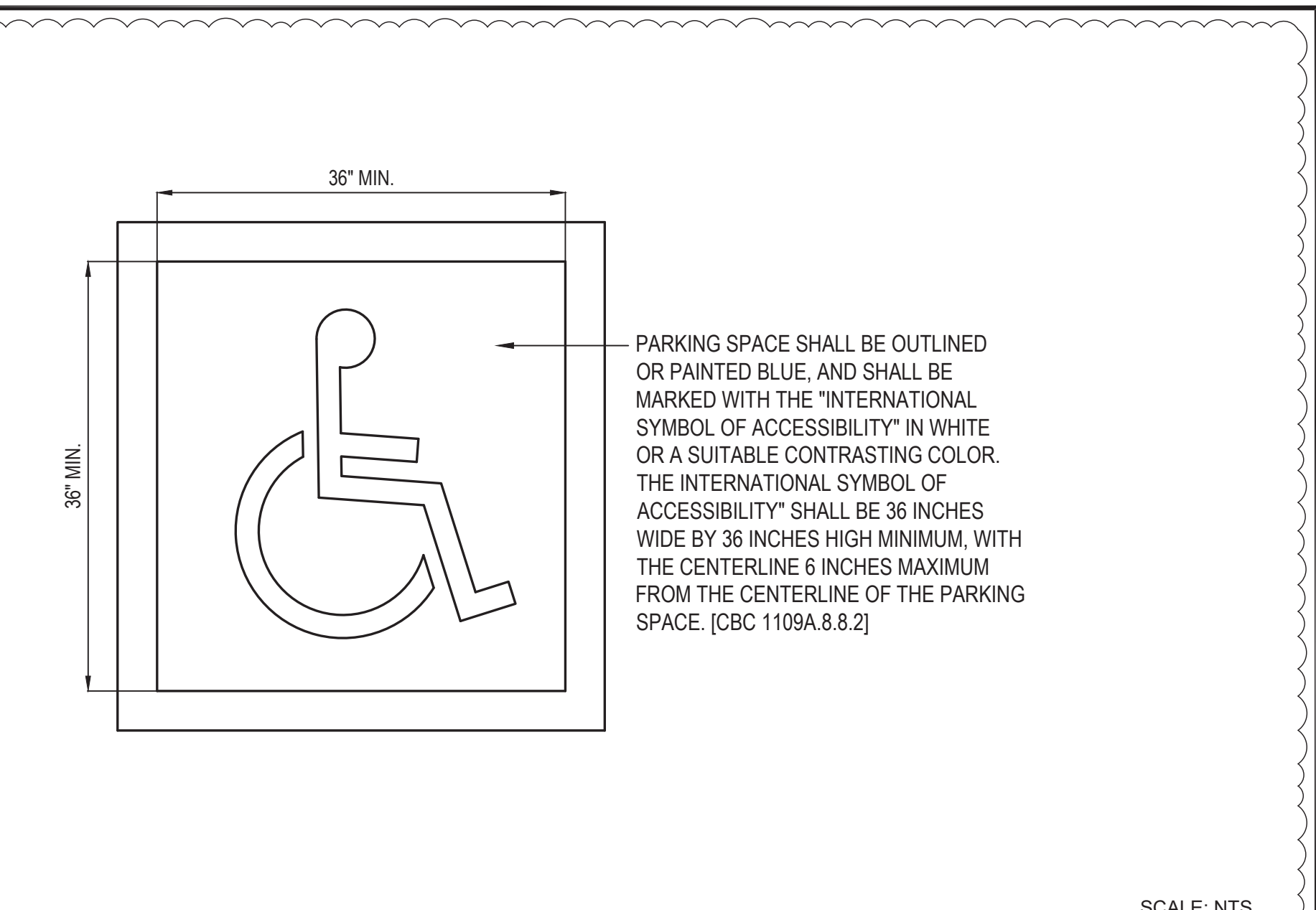
ENLARGED ADA RAMP AND PATH OF TRAVEL 3



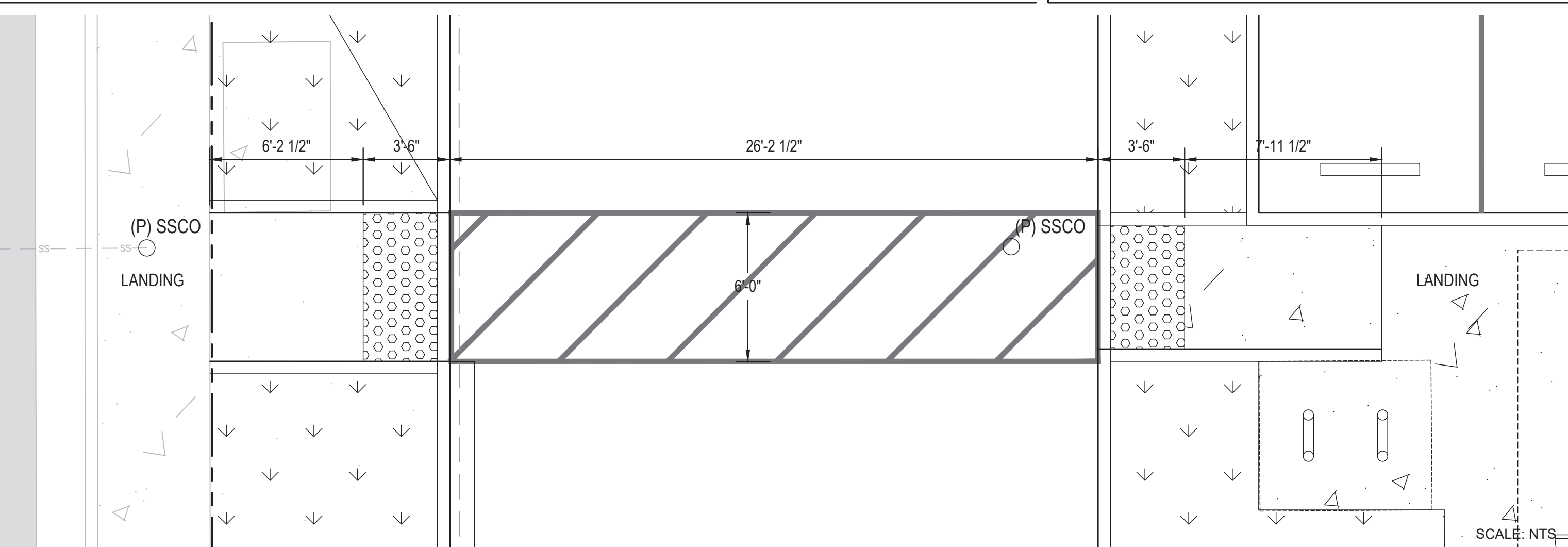
ENLARGED TRASH ENCLOSURE 2



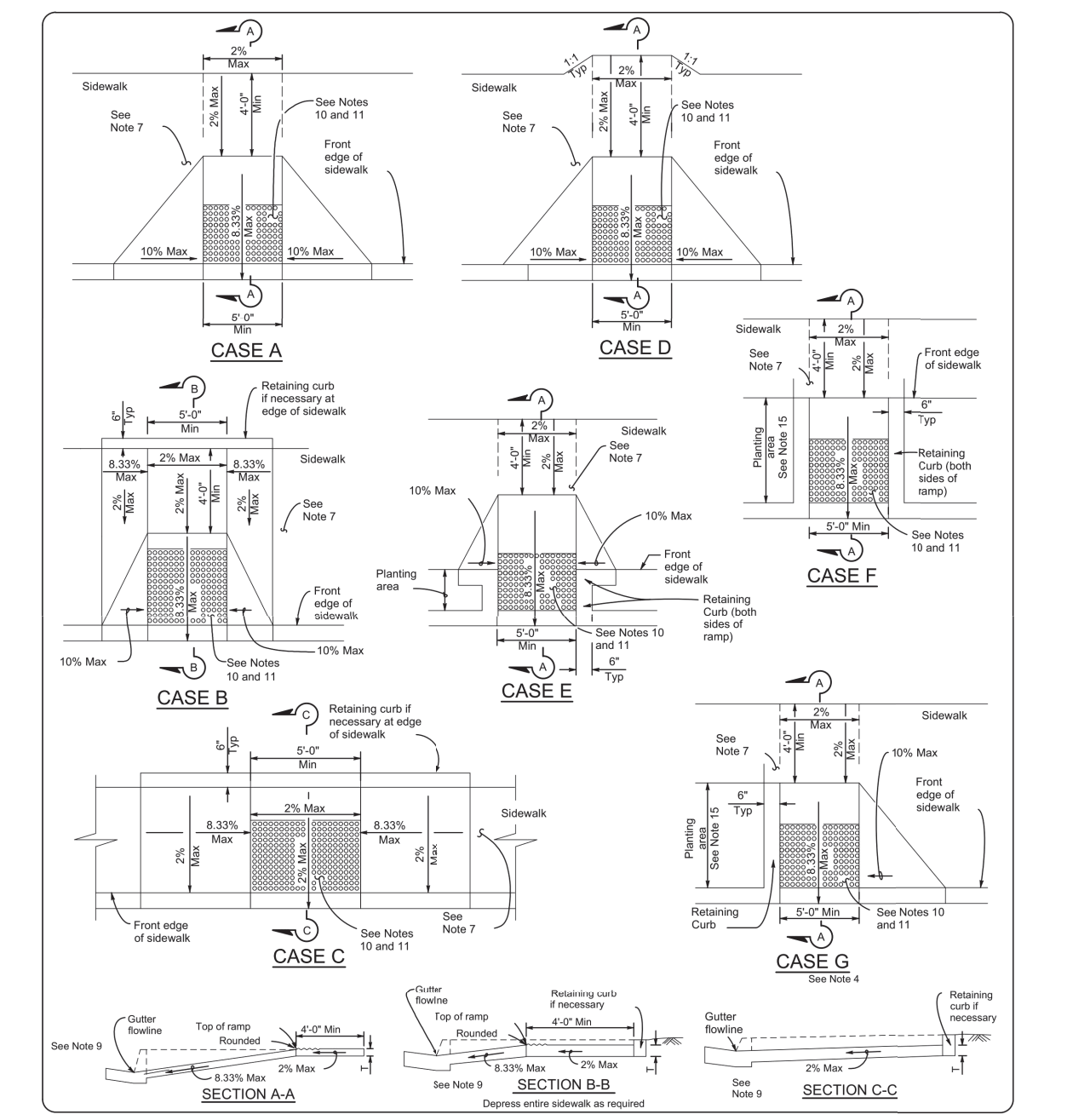
INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE



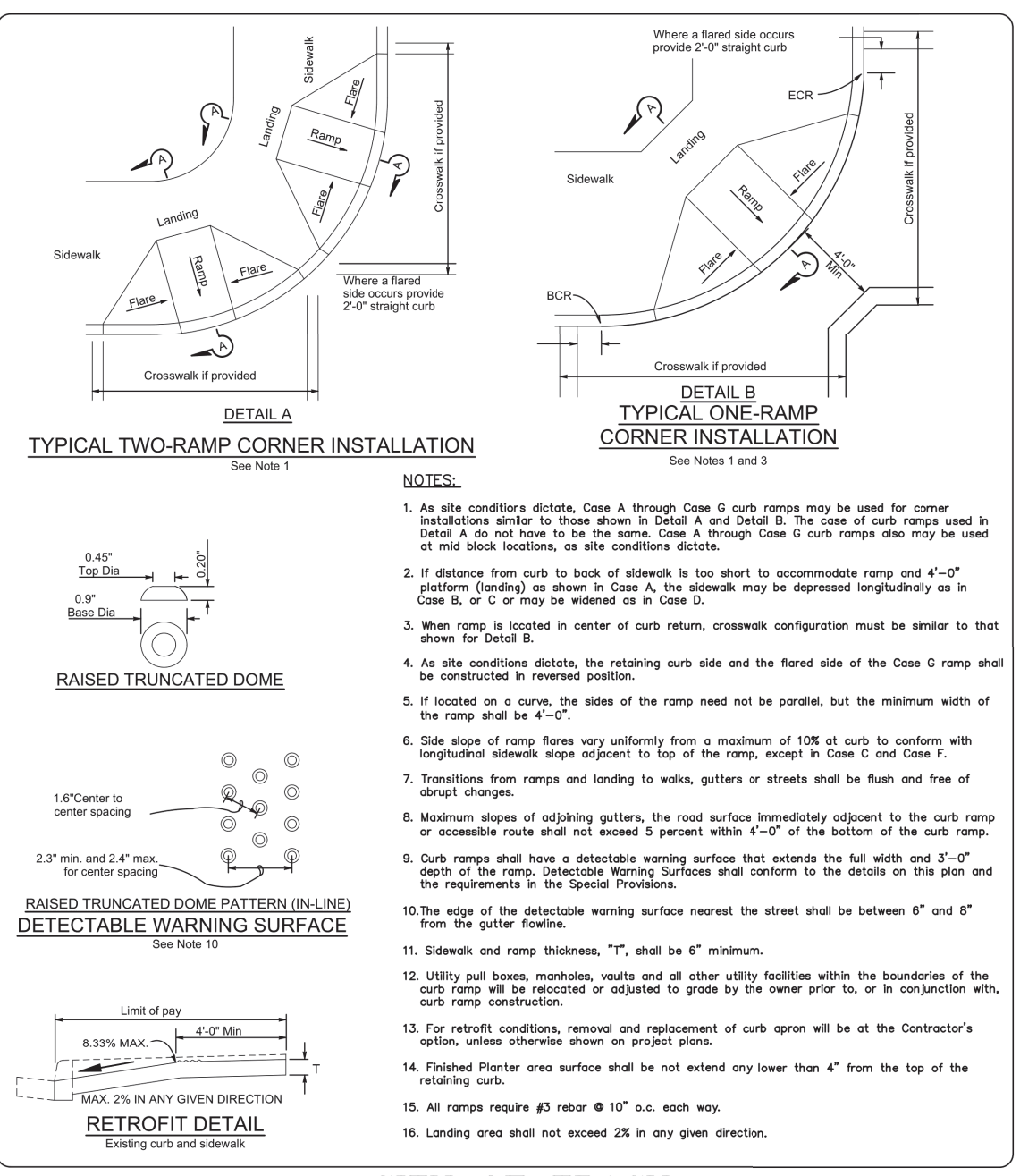
INTERNATIONAL SYMBOL OF ACCESSIBILITY DETAIL



WHEEL STOP 4



CITY OF TRACY
 REVIEWED BY: *Robert Amijis* STANDARD PLAN No. 127 SHEET 1 OF 3
 CITY ENGINEER RCE 63173
 Res No. 2020-031 DATE: February 18, 2020
 Prepared By: Leissner M. Checked By: Thomas W.
 Rev: Rev



CITY OF TRACY
 REVIEWED BY: *Robert Amijis* STANDARD PLAN No. 127 SHEET 2 OF 3
 CITY ENGINEER RCE 63173
 Res No. 2020-031 DATE: February 18, 2020
 Prepared By: Leissner M. Checked By: Thomas W.
 Rev: Rev

- NOTES:
1. ALL PARKING SPACE SIGNS, IN CA, CONSTRUCTED ON OR AFTER JULY 1, 2008, SHALL INCLUDE THE VERBAGE "\$250 MINIMUM FINE". CA VEHICLE CODE SECTION 22511.8 (AB1511), CBC 11B-502.6.2
 2. 70 SQ. INCH MINIMUM ACCESSIBLE SIGN PER CBC 11B-502.6
- UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT THE NAME, ADDRESS AND PHONE NUMBER SHALL BE IMPRINTED ON THE SIGN BY THE SIGN COMPANY.
- NOTES:
1. CONTRACTOR SHALL VERIFY THE ADDRESS AND PHONE NUMBER INDICATED ON SIGN PRIOR TO THE PRINTING OF SIGNS.
 2. THE ADDRESS AND PHONE NUMBER SHALL BE IMPRINTED ON THE SIGN BY THE SIGN COMPANY.
 3. THIS SIGN SHALL BE PLACED AT THE ENTRANCE TO OFF-STREET PARKING FACILITIES.

RIDGELINE ENGINEERING
 2769 BOEING WAY | STOCKTON, CA 95206
 P. 209.955.0110

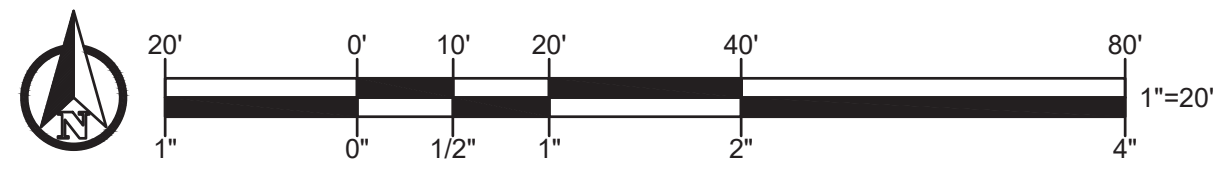
PROFESSIONAL ENGINEER
 JORDAN K. BALDWIN
 No. 71646
 CIVIL
 STATE OF CALIFORNIA

EASTGATE BUSINESS PARK

SITE DETAILS
 1398 MARIANI CT.
 TRACY, CA, 95376

NO.	DATE	DESCRIPTION	CITY COMMENTS
1	08/09/2024		

PROJECT NO.:	23E-028
DRAWN BY:	NH/MA
CHECKED BY:	JB/RW
DATE:	8/13/2024
SHEET NO.:	C1.2
SHEET:	5 OF 11

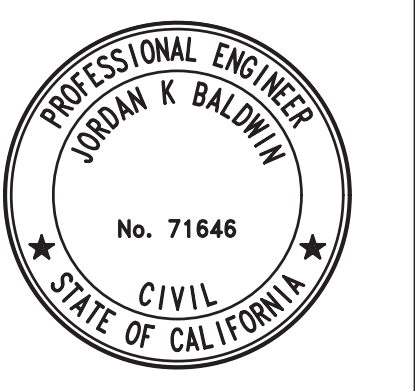
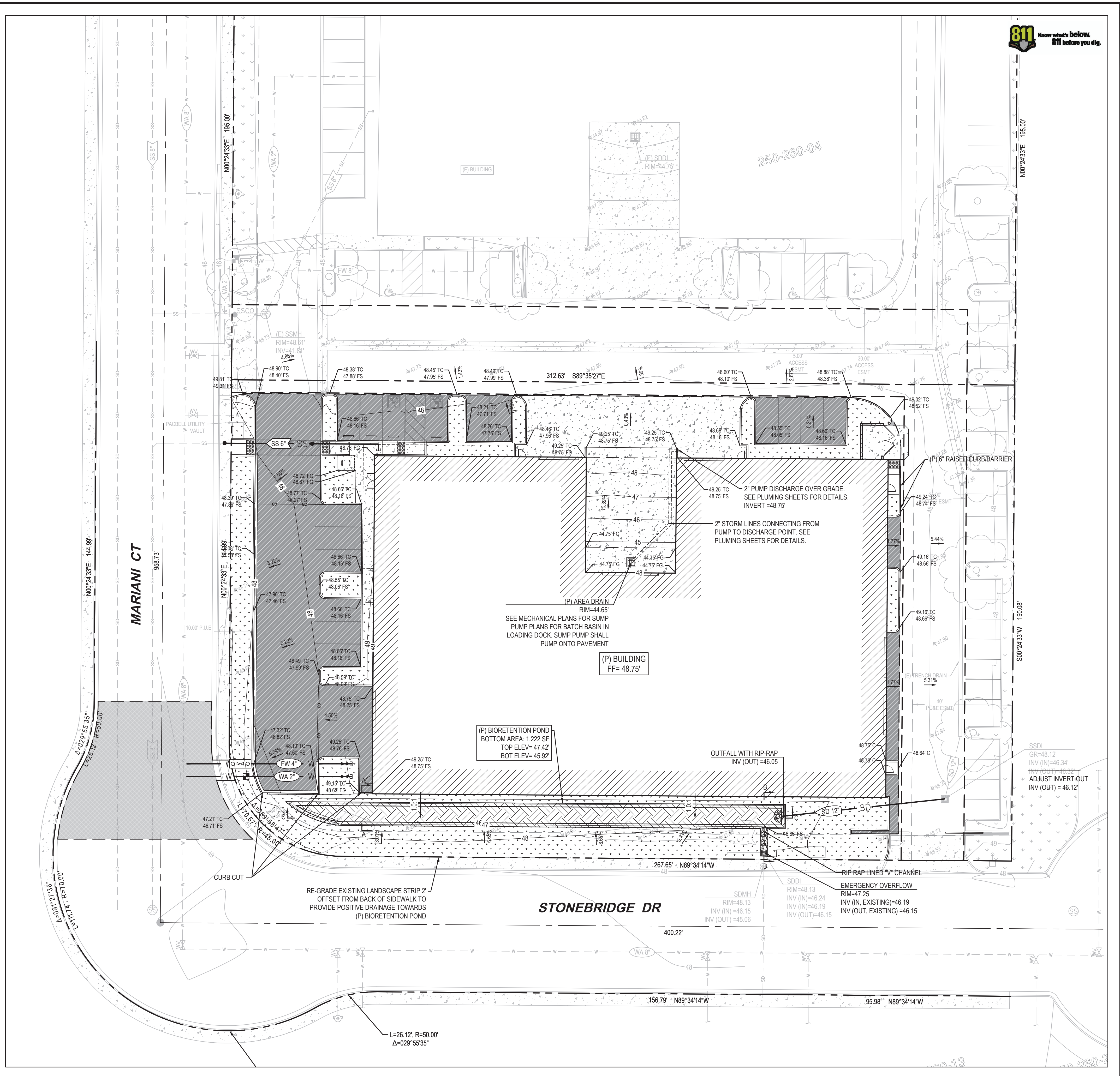


LEGEND

	BUILDING		STUB
	EXISTING ASPHALT		SANITARY SEWER MANHOLE
	NEW ASPHALT		STORM INLET
	CONCRETE		STORM MANHOLE
	LANDSCAPING		OVERFLOW RISER
	BIORETENTION		BACKFLOW PREVENTER
	PROPERTY LINE		DCDA
	EASEMENT		WATER METER
	BUILDING SETBACK LINE		GATE VALVE
	PROPOSED CONTOUR, 10'		FIRE HYDRANT
	PROPOSED CONTOUR, 2'		
	GRADE BREAK		
	FENCE		
	ELECTRICAL		
	STORM, HDPE		
	SEWER, SDR 26		
	WATER, PVC		

NOTES

- CONTRACTOR TO CALL CALL BEFORE YOU DIG @ 811 AT LEAST TWO WORKING DAYS PRIOR TO THE START OF EXCAVATION/CONSTRUCTION TO MARK THE LOCATIONS OF EXISTING UTILITY LINES.
- THE LOCATIONS OF EXISTING UTILITIES AND UNDERGROUND PIPELINES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONS, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CUT SLOPES SHALL BE NO STEEPER THAN 2:1 (HORIZONTAL TO VERTICAL); FILL SLOPES SHALL BE NO STEEPER THAN 2: 1 (HORIZONTAL TO VERTICAL).
- CONTRACTOR SHALL KEEP ADJOINING PUBLIC STREETS FREE OF DIRT, MUD, AND OTHER PROJECT RELATED DEBRIS THROUGHOUT CONSTRUCTION. ANY DAMAGE TO PUBLIC STREETS OR ROADWAYS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- SURVEY MONUMENTS SHALL BE RE-ESTABLISHED BY A LICENSED SURVEYOR IF DISTURBED DURING CONSTRUCTION.
- THIS GRADING PLAN IS TO BE USED IN CONJUNCTION WITH THE FOLLOWING:
 - SOILS REPORT PREPARED BY RIDGELINE ENGINEERING
 - THE SOILS ENGINEER TO TEST AND OBSERVE GRADING FOR THIS PROJECT IS -----
 - CITY OF TRACY STANDARDS AND SPECIFICATIONS
- ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CALCULATED EXCESS AND SHORTAGE ARE TO FINISHED GRADE AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD APPROVED BY THE ENGINEER.
- NO TREES SHALL BE REMOVED UNLESS THEY ARE SHOWN AND NOTED TO BE REMOVED ON THE IMPROVEMENT PLANS. ALL TREES CONFLICTING WITH GRADING, UTILITIES, OR OTHER IMPROVEMENTS, OR OVERHANGING THE SIDEWALK OR PAVEMENT SO AS TO FORM A NUISANCE OR HAZARD, SHALL BE TRIMMED AND PROPERLY GRADED AND SEALED. THE DRIP LINE OF TREES TO BE SAVED WILL BE FENCED, AND NO GRADING SHALL TAKE PLACE WITHIN THIS FENCED AREA.
- ALL EXCESS MATERIAL FROM DEMOLITION, CLEARING & GRUBBING, AND GRADING INCLUDING ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
- ALL EXISTING IMPROVEMENTS THAT ARE REMOVED, DAMAGED, OR UNDERCUT SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY ENGINEER, AT THE CONTRACTOR'S EXPENSE.
- GRADING WORK SHALL BE DONE IN A MANNER TO PREVENT STORM DAMAGE TO PUBLIC OR PRIVATE PROPERTY OF OTHERS BY FLOWING, EROSION, DEPOSITION, DEBRIS, OR ANY OTHER DAMAGE RESULTING FROM THE GRADING WORK.
- CONTRACTOR TO COORDINATE WITH THE INSPECTOR AND DEVELOPER, THE LOCATION OF THE BORROW OR SPOILS PRIOR TO CONSTRUCTION.



EASTGATE BUSINESS PARK

GRADING PLAN

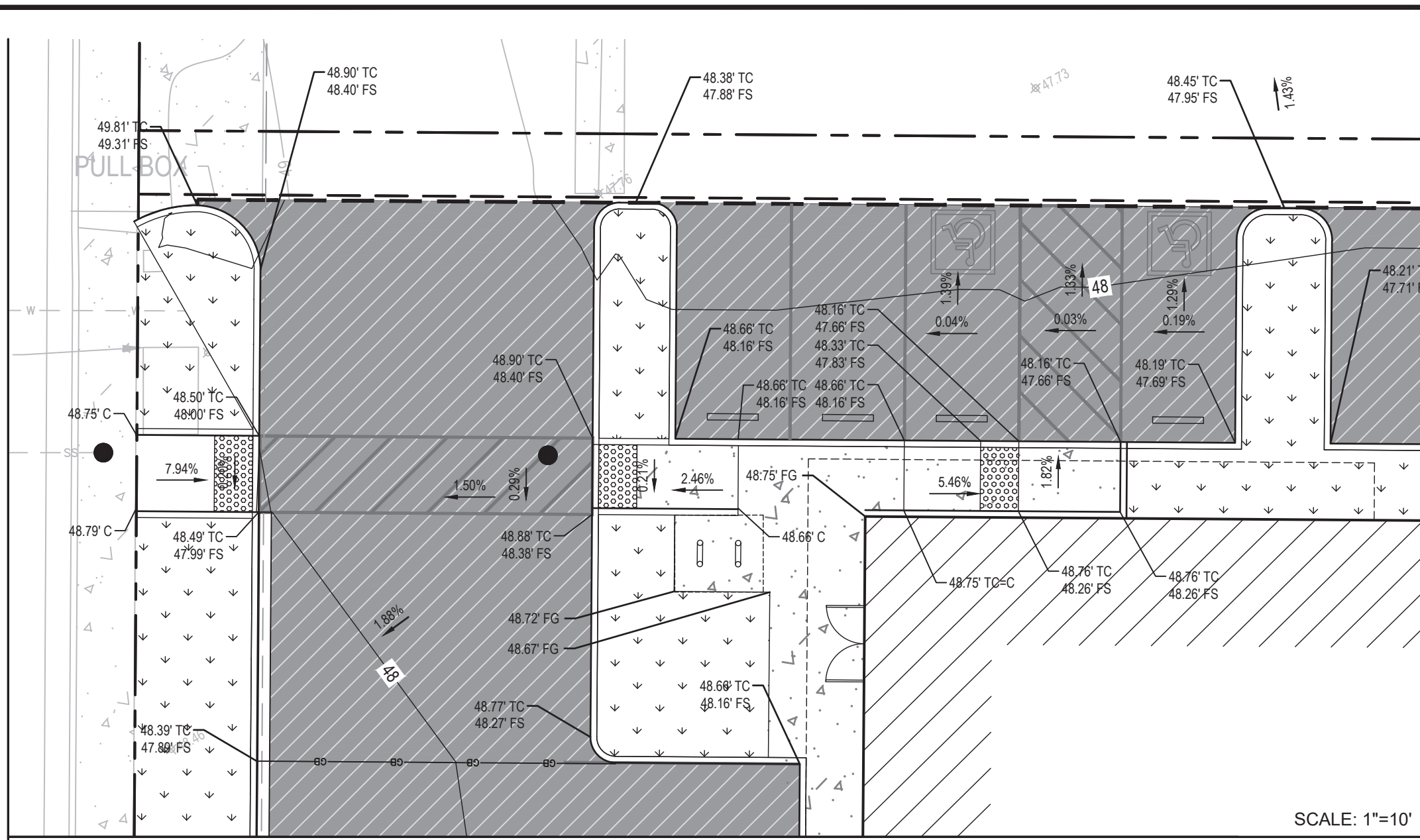
1398 MARIANI CT.
TRACY, CA. 95376

NO.	DATE	DESCRIPTION	CITY COMMENTS
1	08/09/2024		

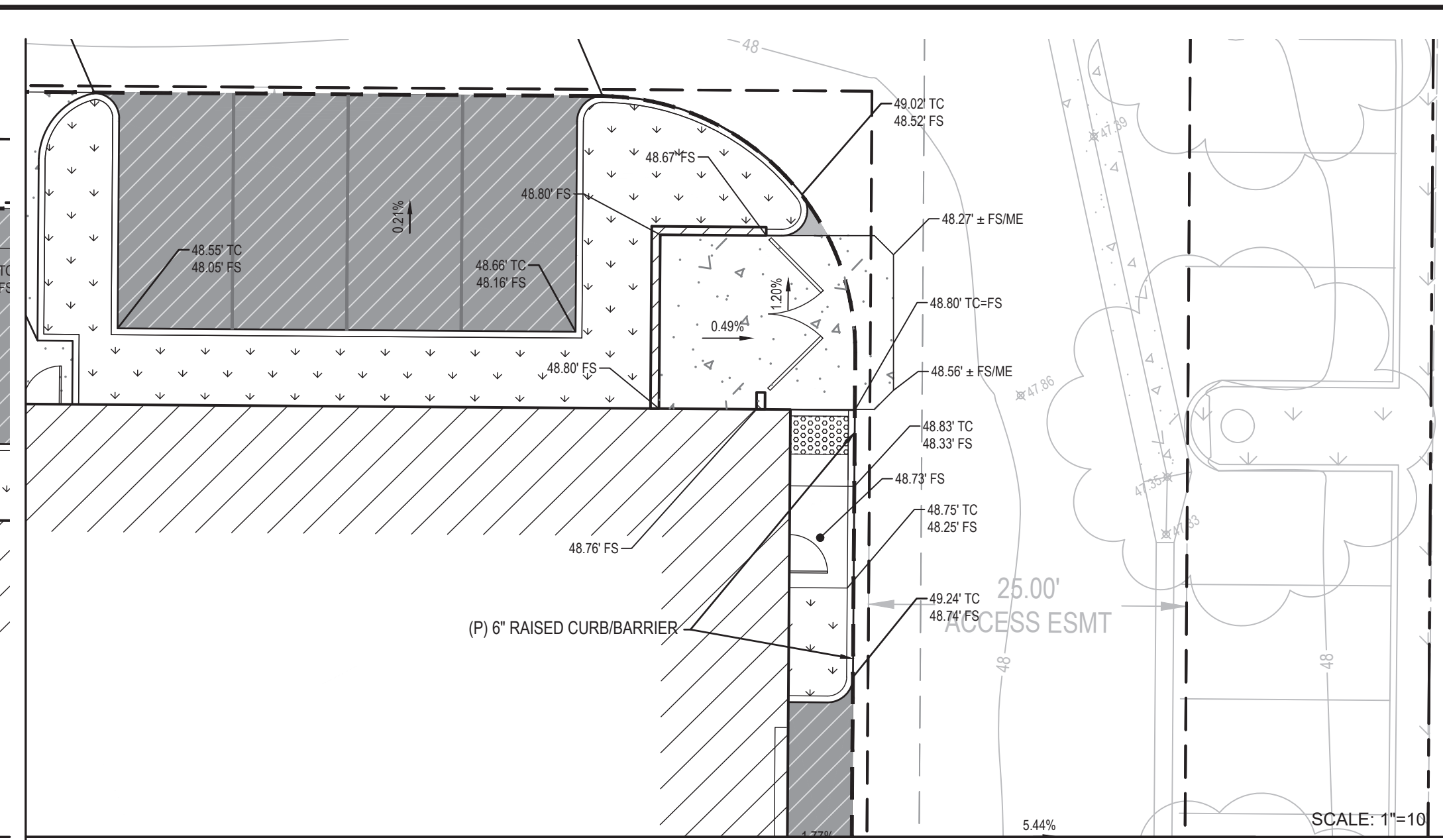
PROJECT NO.: 23E-028
 DRAWN BY: NH/MA
 CHECKED BY: JB/RW
 DATE: 8/13/2024

SHEET NO.: **C2.0**

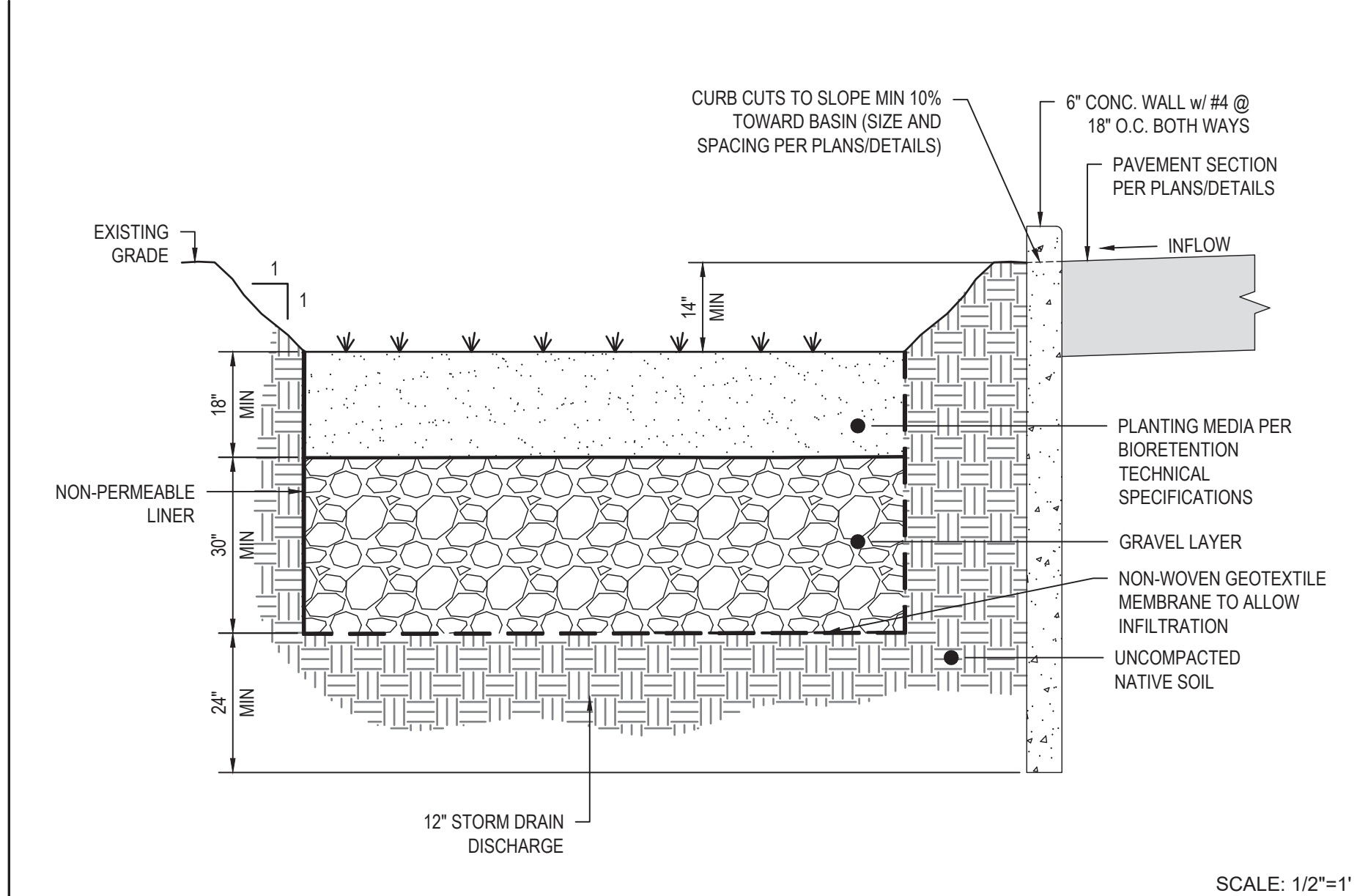
SHEET: 6 OF 11



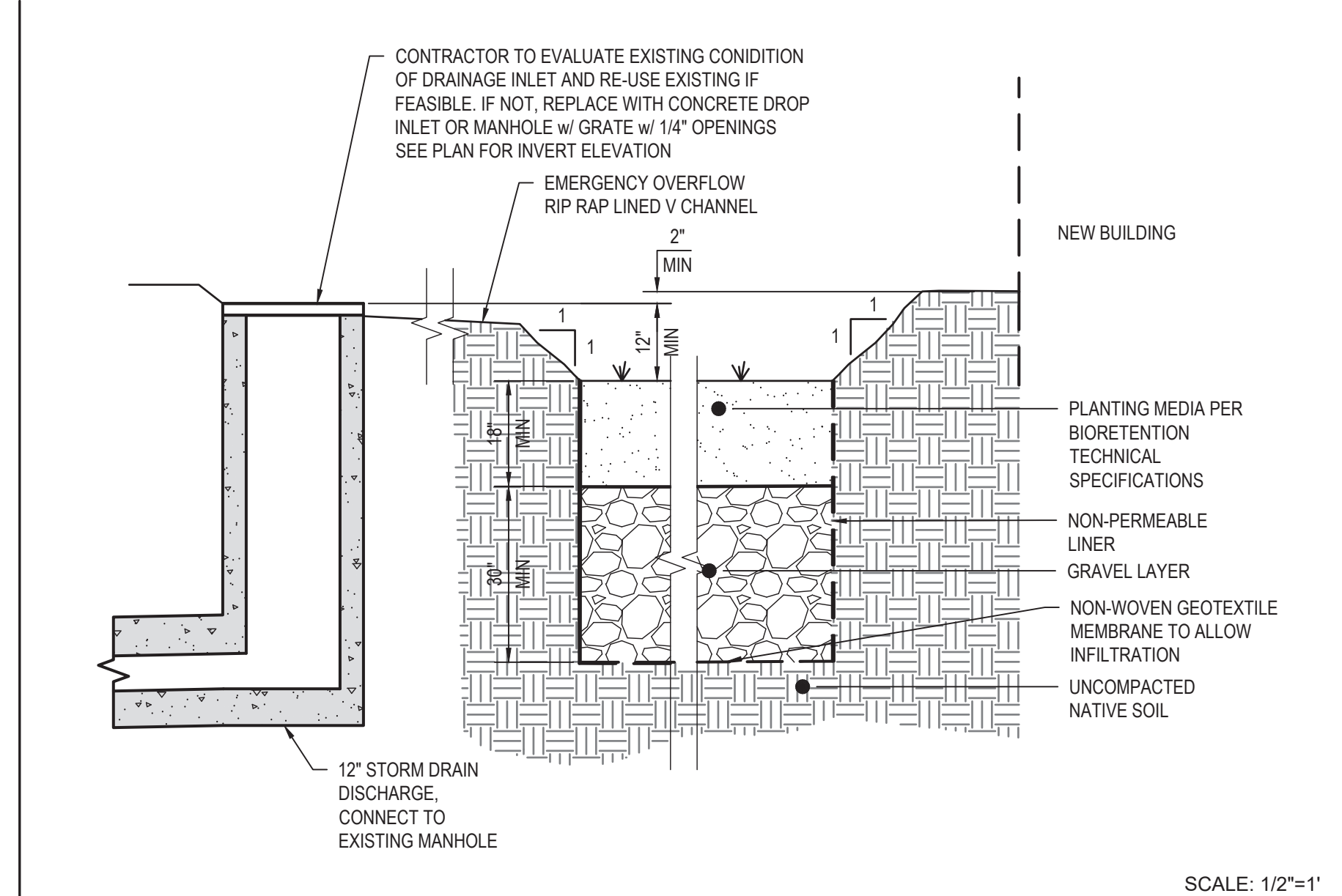
ENLARGED VIEW 1 SCALE: 1"=10'



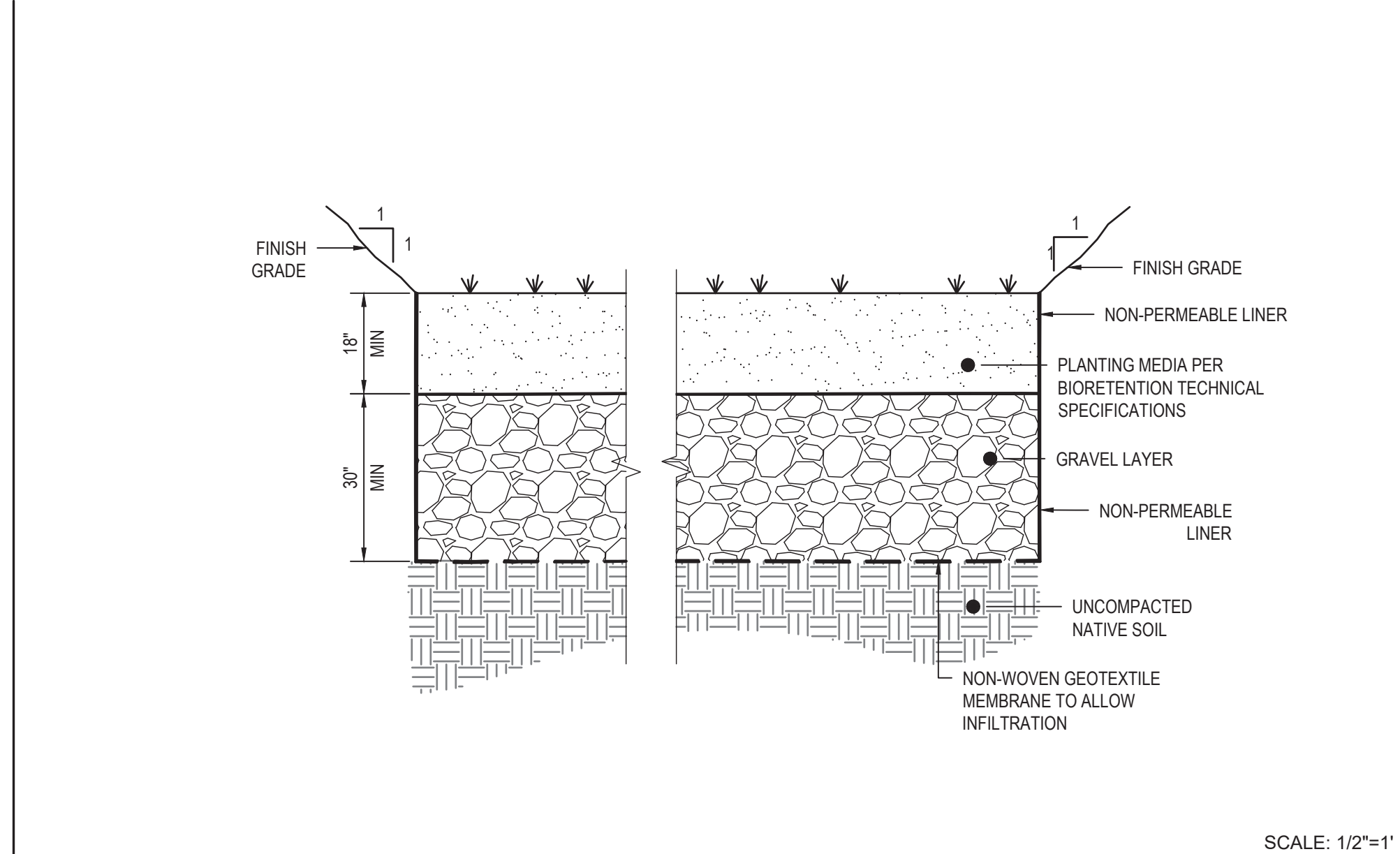
ENLARGED VIEW 2 SCALE: 1"=10'



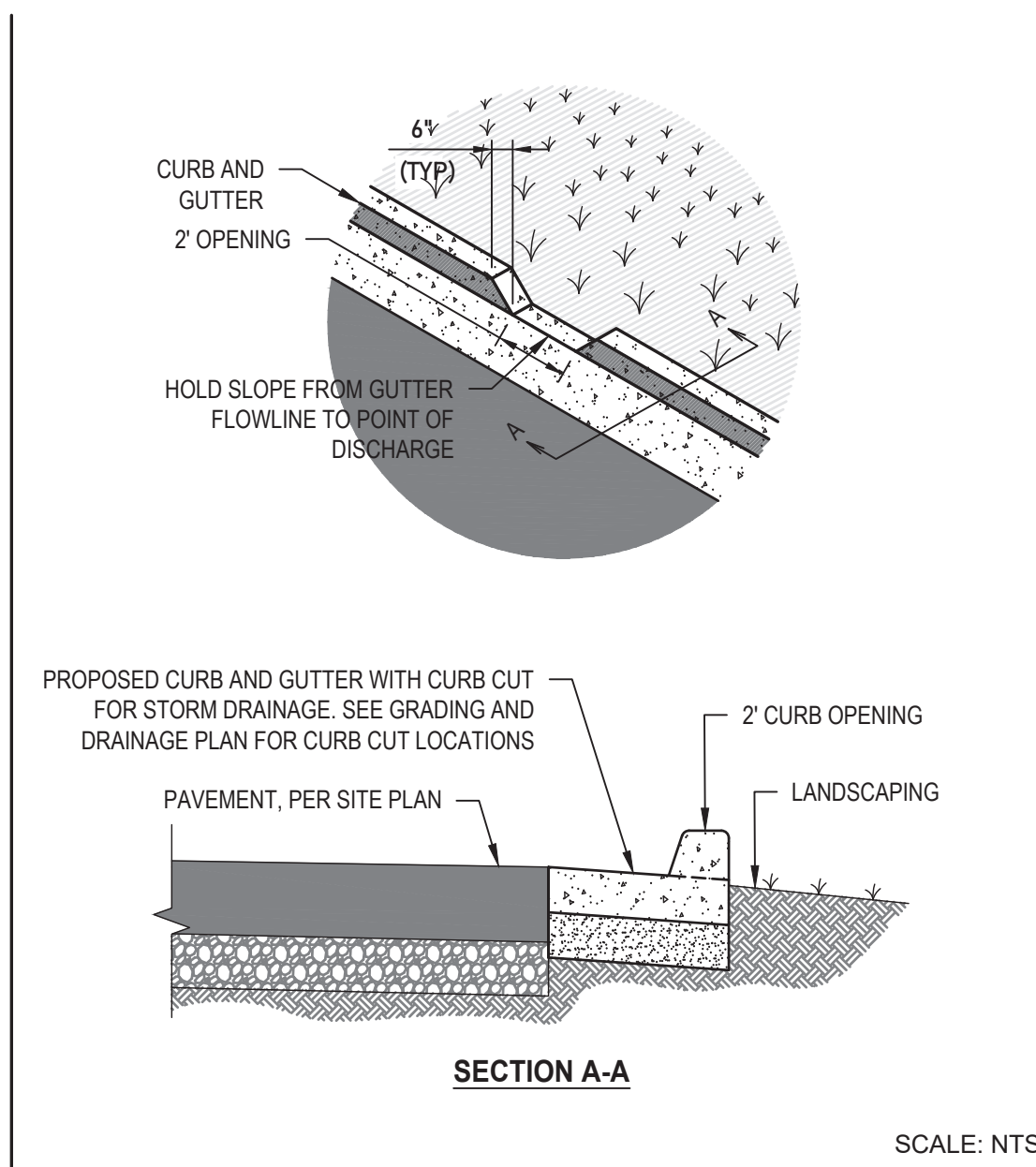
BIORETENTION FACILITY A-A SCALE: 1/2"=1'



BIORETENTION FACILITY B-B SCALE: 1/2"=1'



BIORETENTION FACILITY C-C SCALE: 1/2"=1'



CURB CUT DETAIL 3 SCALE: NTS

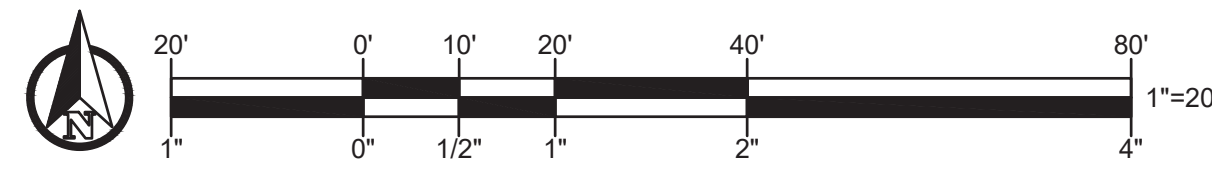


EASTGATE BUSINESS PARK
GRADING AND DRAINAGE DETAILS

1398 MARIANI CT.
TRACY, CA, 95376

NO.	DATE	DESCRIPTION
1	08/09/2024	CITY COMMENTS 01

PROJECT NO.: 23E-028
DRAWN BY: NH/MA
CHECKED BY: JB/RW
DATE: 8/13/2024
SHEET NO.: **C2.1**
SHEET: 7 OF 11

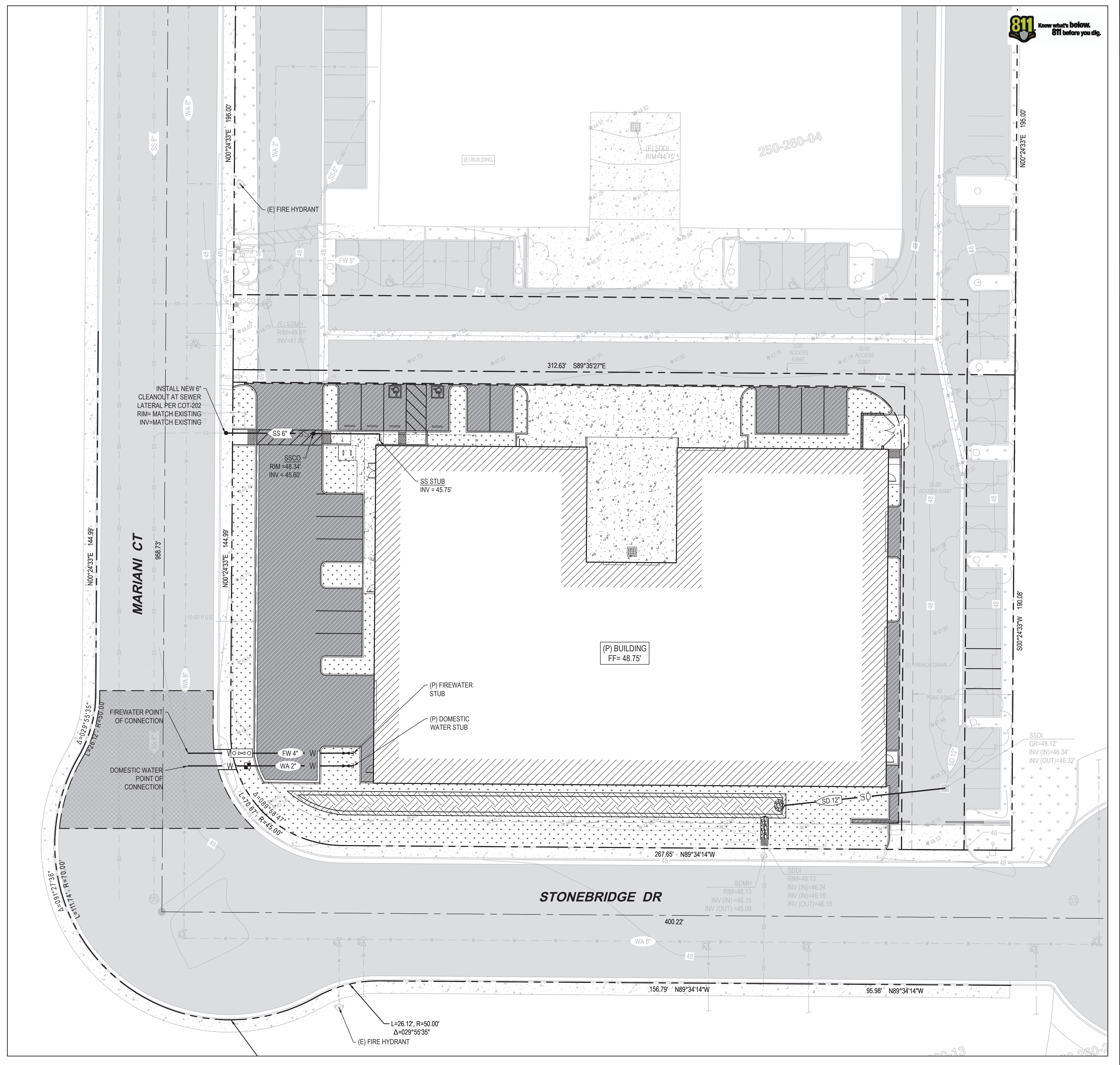


LEGEND

	BUILDING		STUB
	ASPHALT		SANITARY SEWER MANHOLE
	GRIND AND OVERLAY		STORM INLET
	CONCRETE		STORM MANHOLE
	LANDSCAPING		OVERFLOW RISER
	PROPERTY LINE		BACKFLOW PREVENTER
	EASEMENT		DCDA
	BUILDING SETBACK LINE		WATER METER
	FENCE		GATE VALVE
	ELECTRICAL		FIRE HYDRANT
	STORM, HDPE		
	SEWER, SDR 26		
	WATER, PVC		

UTILITY NOTES

- ALL UTILITIES SHALL BE CONSTRUCTED PER CITY OF TRACY STANDARDS AND SHALL BE DONE IN COORDINATION WITH ALL REGULATIONS OF THE FOLLOWING:
 - PG&E (ELECTRICITY)
 - CITY OF TRACY DEPARTMENT OF PUBLIC WORKS (SEWER AND WATER)
 - 2022 CALIFORNIA BUILDING STANDARDS CODE
 - 2022 CALIFORNIA PLUMBING CODE
 - 2022 CALIFORNIA ELECTRICAL CODE
- PRIOR TO ANY DIGGING, CONTRACTORS ARE TO CALL UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA (1-800-642-2444) EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF (E) UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF RIDGELINE ENGINEERING (ENGINEERS) 72 HOURS PRIOR TO STARTING CONSTRUCTION TO PREVENT GREAT ALIGNMENT CONFLICTS.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTED TO SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH.
- CONTRACTOR SHALL ADJUST ALL (E) OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELECTRIC, ETC.) TO CLEAR ANY (E) OR NEW GRAVITY DRAIN UTILITIES IF CONFLICT EXISTS OR OCCURS.
- ALL PRIVATE WATER AND PRESSURE FITTINGS SHALL BE PROPERLY RESTRAINED WITH THRUST BLOCKING OR OTHER APPROVED METHODS.
- WHERE CONNECTING TO AN (E) PIPE, THE CONTRACTOR SHALL EXPOSE THE END OF THE (E) PIPE AND ALLOW THE ENGINEER TO VERIFY EXACT LOCATION AND ELEVATION BEFORE LAYING ANY NEW PIPE ON THAT SYSTEM.
- WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH AN 18 INCH MINIMUM CLEARANCE BETWEEN THE OUTSIDE DIAMETERS OF THE PIPES WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10 FEET.
- ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN PUBLIC WORKS ASSOCIATION'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- WATER MAINS AND SERVICE LINES SHALL BE DISINFECTED AND PRESSURE TESTED FOR A MINIMUM OF ONE HOUR AND PER AWWA STANDARDS PRIOR TO ACCEPTANCE. THE LINES SHALL BE FLUSHED UNTIL AN ACCEPTABLE BACTERIOLOGICAL TEST IS ACHIEVED BY A LICENSED LABORATORY PER AWWA C 601. THE
- CONTRACTOR SHALL FURNISH A REPORT DETAILING TEST LOCATIONS, LINE SECTIONS TESTED, AND READINGS.
- THRUST BLOCKS ARE REQUIRED ALONG WATER LINE FOR ALL CONNECTIONS 3" OR LARGER
- FIRE LINE SHALL BE INSPECTED BY FIRE DEPARTMENT.
- ALL ON-SITE UNDERGROUND FIRE MAINS SHALL BE INSTALLED AND TESTED PER NFPA 24, PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES
- FIRE HYDRANT VALVES SHALL BE INSTALLED WITHIN 20 FEET OF THE HYDRANT
- FIRE MAIN PIPE
 - CPVC PIPE WITH A MINIMUM RATING OF A.W.W.A. C900 CLASS 150
 - DEPTH TO TOP OF ALL FIRE MAINS SHALL BE A MINIMUM OF 36 INCHES IN DRIVEWAYS AND A MINIMUM OF 30 INCHES IN LANDSCAPE AREAS
- THE UNDERGROUND CONTRACTOR SHALL SUBMIT TO THE FIRE INSPECTOR A RECORD-OF-COMPLETION FORM IN ACCORDANCE WITH NFPA 24, AFTER THE ENTIRE FIRE UNDERGROUND SYSTEM HAS BEEN INSPECTED AND TESTED TO MEET THE MINIMUM SITE REQUIREMENTS.
- ALL CONTROL VALVES ON THE FIRE UNDERGROUND SYSTEM (INCLUDING THE BACKFLOW PREVENTERS) SHALL HAVE TAMPER SWITCHES THAT ARE MONITORED BY AN APPROVED FIRE ALARM CENTRAL STATION. PROVIDE THE NECESSARY UNDERGROUND CONDUIT, AND COORDINATE THE INSTALLATION WITH THE LOCATIONS OF THE FIRE ALARM PANEL.



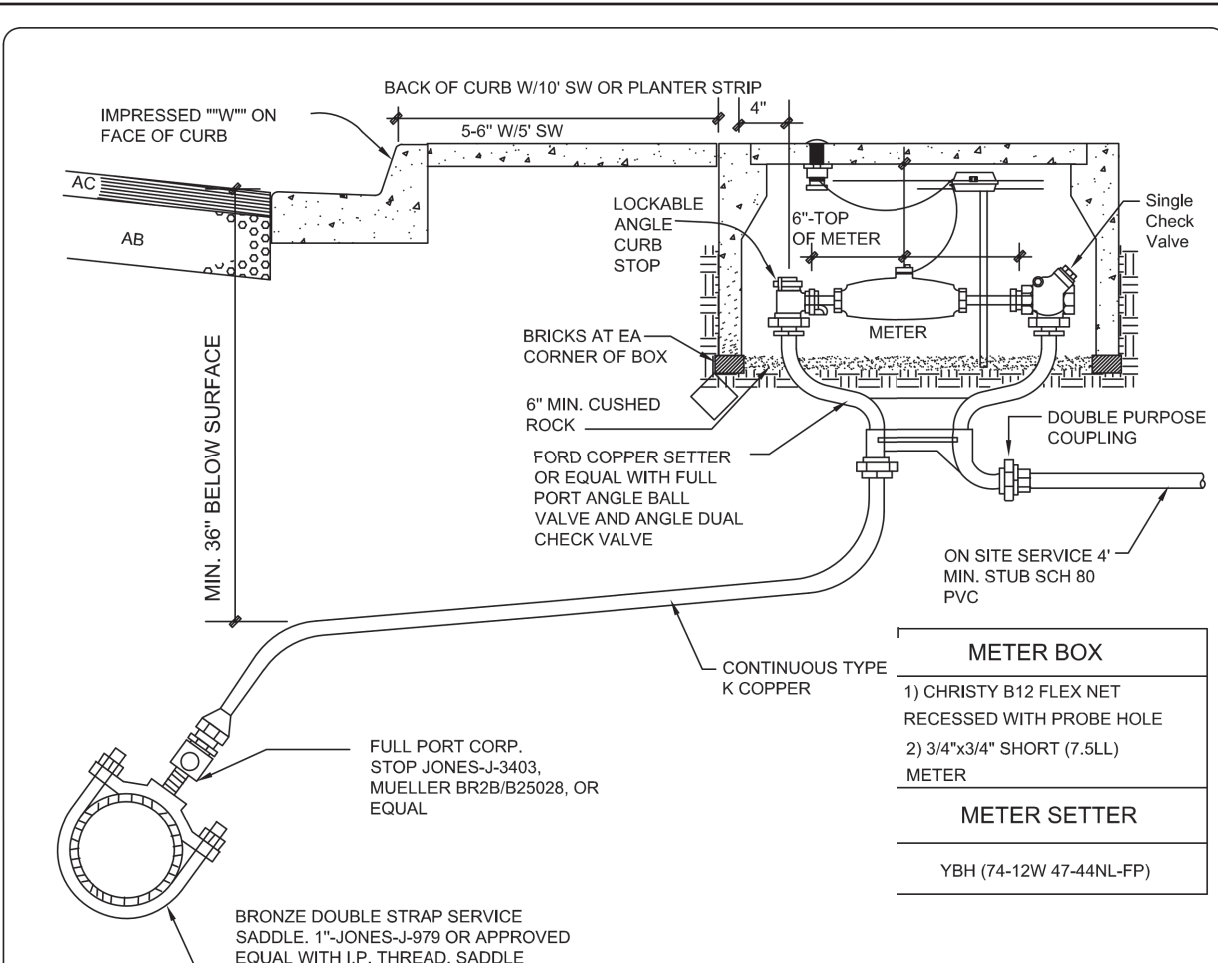
EASTGATE BUSINESS PARK

UTILITY PLAN

1398 MARIANI CT.
TRACY, CA, 95376

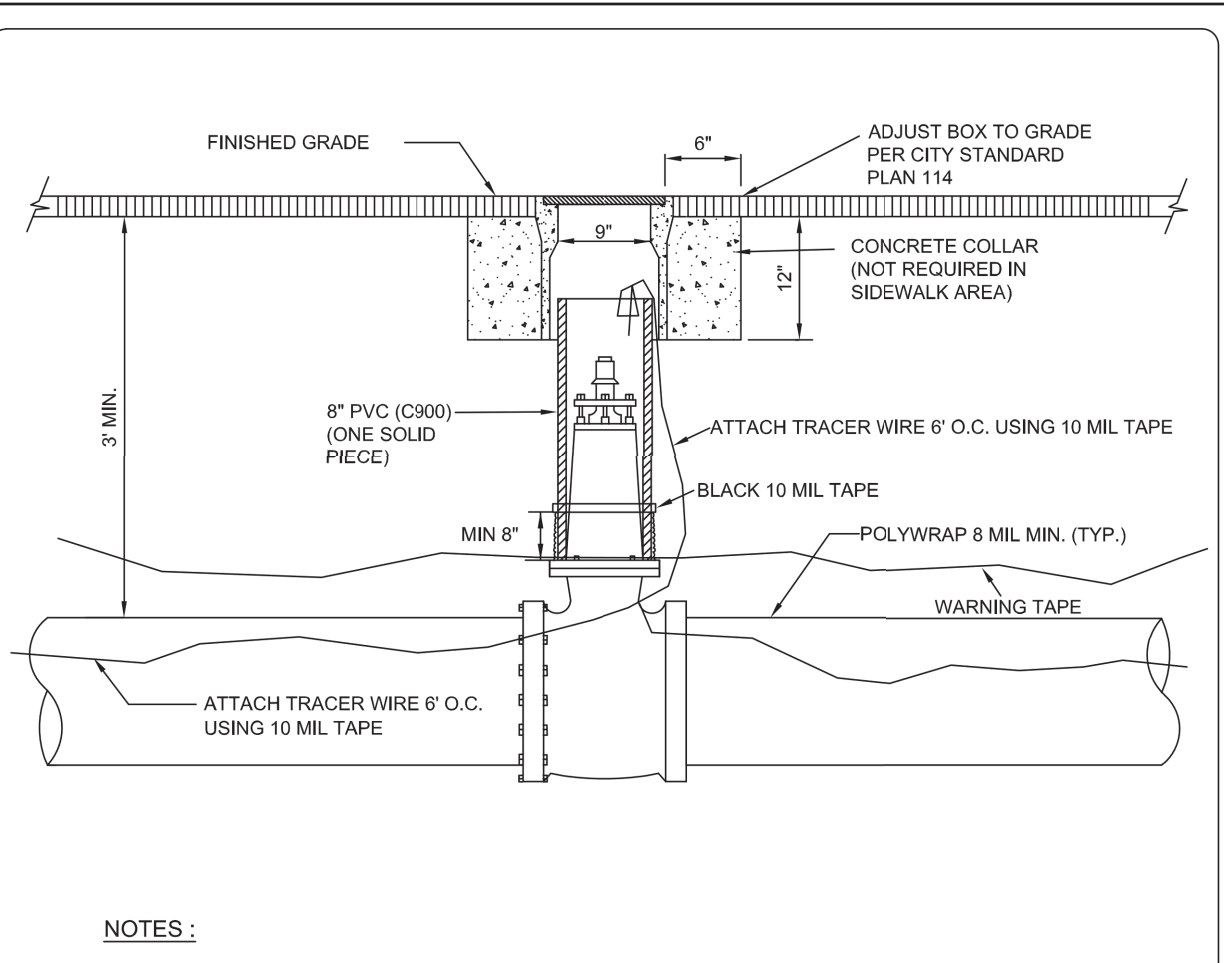
REVISIONS		DESCRIPTION
NO.	DATE	CITY COMMENTS
1	08/09/2024	

PROJECT NO.:	23E-028
DRAWN BY:	NH/MA
CHECKED BY:	JB/RW
DATE:	8/13/2024
SHEET NO.:	C3.0
SHEET:	8 OF 11



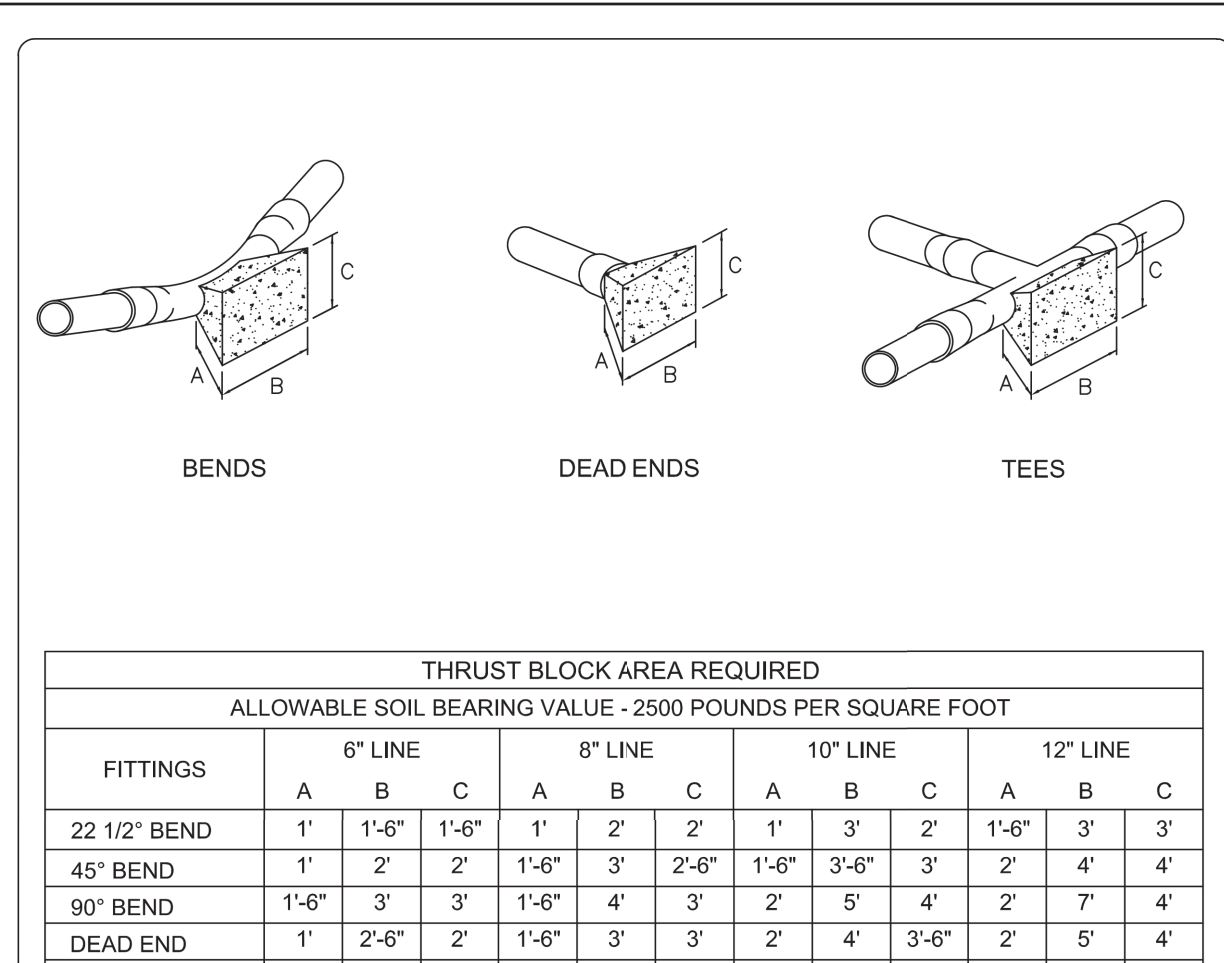
- NOTES:**
- Meter shall be sensus touch read (TR/PL) with touch read pad installed with flex net transceiver unit (M X U model 520M). One transceiver unit shall be with each meter and read in 100 cubic feet. Meter shall be minimum size as specified by the City Engineer and shall be set with rubber gaskets. Meter shall be furnished and set by contractor with the M X U model 520M read unit to be given to the City to be installed by the City at a later date.
 - Meter box shall be designed and set to accommodate sensus flex net recessed box with probe hole lid in addition to sensus radio read meter reading system.
 - No galvanized pipe shall be used.
 - Compact around the meter to 95%. Gravel plumber shall not remove meter box to connect the pipe.
 - All underground copper water lines within the city right-of-way shall be a single continuous piece polywrapped to City of Tracy Standards.
 - No landscape irrigation lines shall be allowed between the meter box & the sidewalk.
 - Unused existing services shall be abandoned by potholing, cutting out and removing the corporation stop and saddle at the main and installing a full circle 316 stainless steel repair clamp with 316 accessories over the hole.
 - FZ sensus meters should be used in locations where domestic and fire services share one service line.
 - Polyethylene type encasement wrap or 10MIL pipe wrap ½ lapped from main to Christy Box.
 - Tracer wire and marker tape from main to Christy Box.

CITY OF TRACY		STANDARD PLAN No. 403	
REVIEWED BY: <i>Robert Amijz</i>	RCE 63173		
CITY ENGINEER			
Res No. 2020-031	DATE: February 18, 2020		
Prepared By: Leissner M.	Checked By: Thomas W.		
Rev:	Rev:		
1" WATER SERVICE			
(1" METER OR 3/4"x3/4" SHORT LAY LENGTH)			



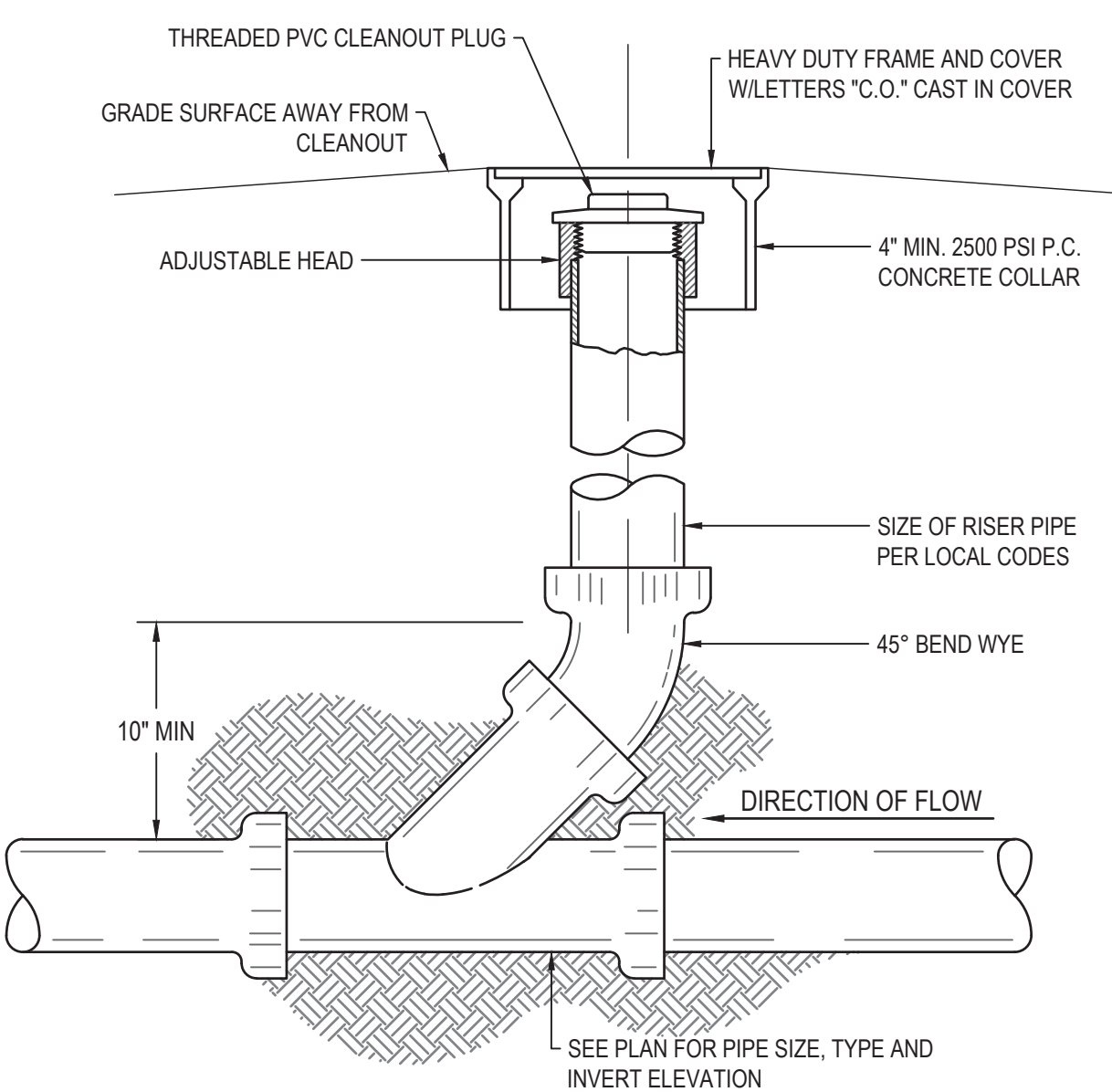
- NOTES:**
- VALVES SHALL BE ONE OF THE FOLLOWING:
A) BUTTERFLY VALVES: 12" AND LARGER AS SHOWN ON APPROVED MATERIALS LIST SHALL BE USED. APPROVED LIST INCLUDES: (GROUNDHOOP), (AMERICAN), MUELLER B.I.F., KENNEDY, DRESSER.
B) GATE VALVES: 10" AND SMALLER AS SHOWN ON LIST OF APPROVED MATERIALS. APPROVED LIST INCLUDES: MUELLER RESILIENT SEAT, CLOW RW, KENNEDY, AMERICAN-80 "CRS".
 - IF OPERATING NUT EXCEEDS 7" DEEP FROM FINISH GRADE EXTENSIONS SHALL BE REQUIRED.
 - DOUBLE POLYWRAP ALL PIPING, VALVES AND FITTINGS.
 - VALVE BOX: BROOKS 3-RT OR CHRISTY G4 WITH G4C LID. RECYCLED WATER LID NEEDS TO BE PURPLE.
 - WARNING TAPE 12" ABOVE PIPE.

CITY OF TRACY		STANDARD PLAN No. 402	
REVIEWED BY: <i>Robert Amijz</i>	RCE 63173		
CITY ENGINEER			
Res No. 2020-031	DATE: February 18, 2020		
Prepared By: Leissner M.	Checked By: Thomas W.		
Rev:	Rev:		
VALVE, BOX & RISER			



THRUST BLOCK AREA REQUIRED												
ALLOWABLE SOIL BEARING VALUE - 2500 POUNDS PER SQUARE FOOT												
FITTINGS	6" LINE			8" LINE			10" LINE			12" LINE		
	A	B	C	A	B	C	A	B	C	A	B	C
22 1/2" BEND	1'	1'-6"	1'-6"	1'	2'	2'	1'	3'	2'	1'-6"	3'	3'
45" BEND	1'	2'	2'	1'-6"	3'	2'-6"	1'-6"	3'-6"	3'	2'	4'	4'
90" BEND	1'-6"	3'	3'	1'-6"	4'	3'	2'	5'	4'	2'	7'	4'
DEAD END	1'	2'-6"	2'	1'-6"	3'	3'	2'	4'	3'-6"	2'	5'	4'
TEE	1'	2'-6"	2'	1'-6"	3'	3'	2'	4'	3'-6"	2'	5'	4'

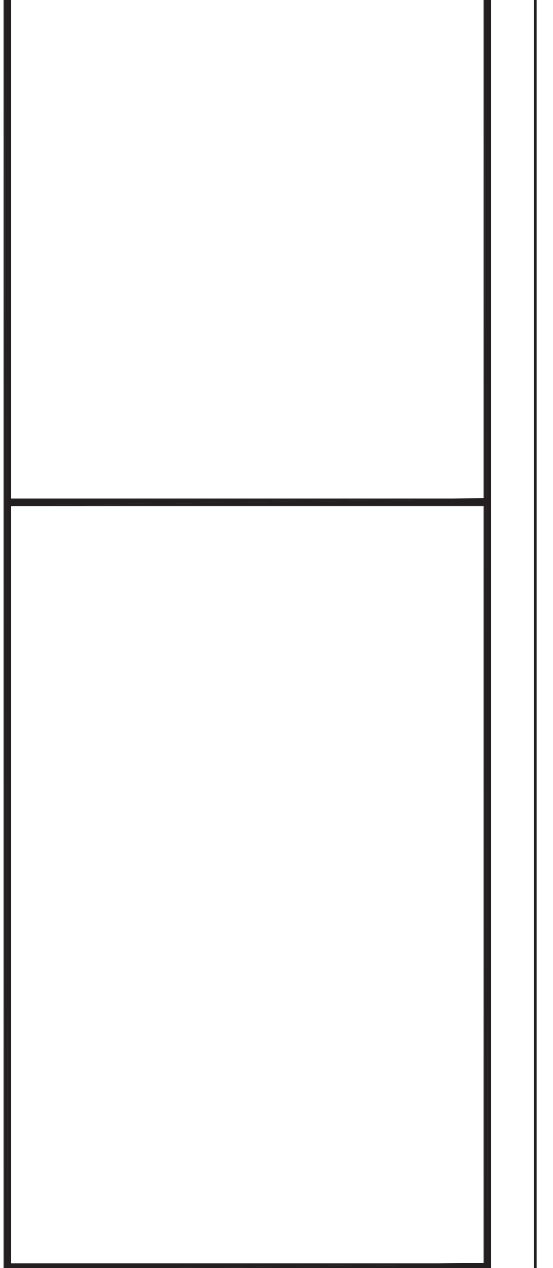
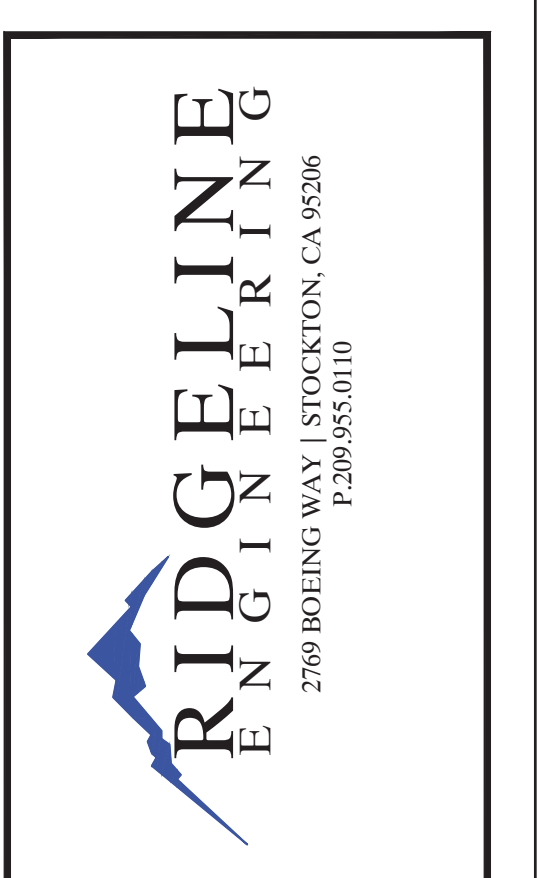
CITY OF TRACY		STANDARD PLAN No. 414	
REVIEWED BY: <i>Robert Amijz</i>	RCE 63173		
CITY ENGINEER			
Res No. 2020-031	DATE: February 18, 2020		
Prepared By: Leissner M.	Checked By: Thomas W.		
Rev:	Rev:		
THRUST BLOCK			



- NOTES:**
- CLEANOUT TO CONFIRM TO THE UNIVERSAL BUILDING CODE AND CITY OF BRENTWOOD REQUIREMENTS.

SCALE: NTS **1**

CLEANOUT DETAIL



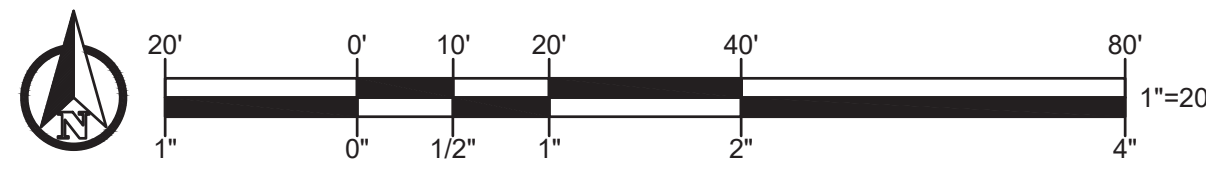
EASTGATE BUSINESS PARK

UTILITY DETAILS

1398 MARIANI CT.
TRACY, CA, 95376

NO.	DATE	DESCRIPTION	CITY COMMENTS
1	08/09/2024		

PROJECT NO.: 23E-028
 DRAWN BY: NH/MA
 CHECKED BY: JB/RW
 DATE: 8/13/2024
 SHEET NO.: **C3.1**
 SHEET: 9 OF 11

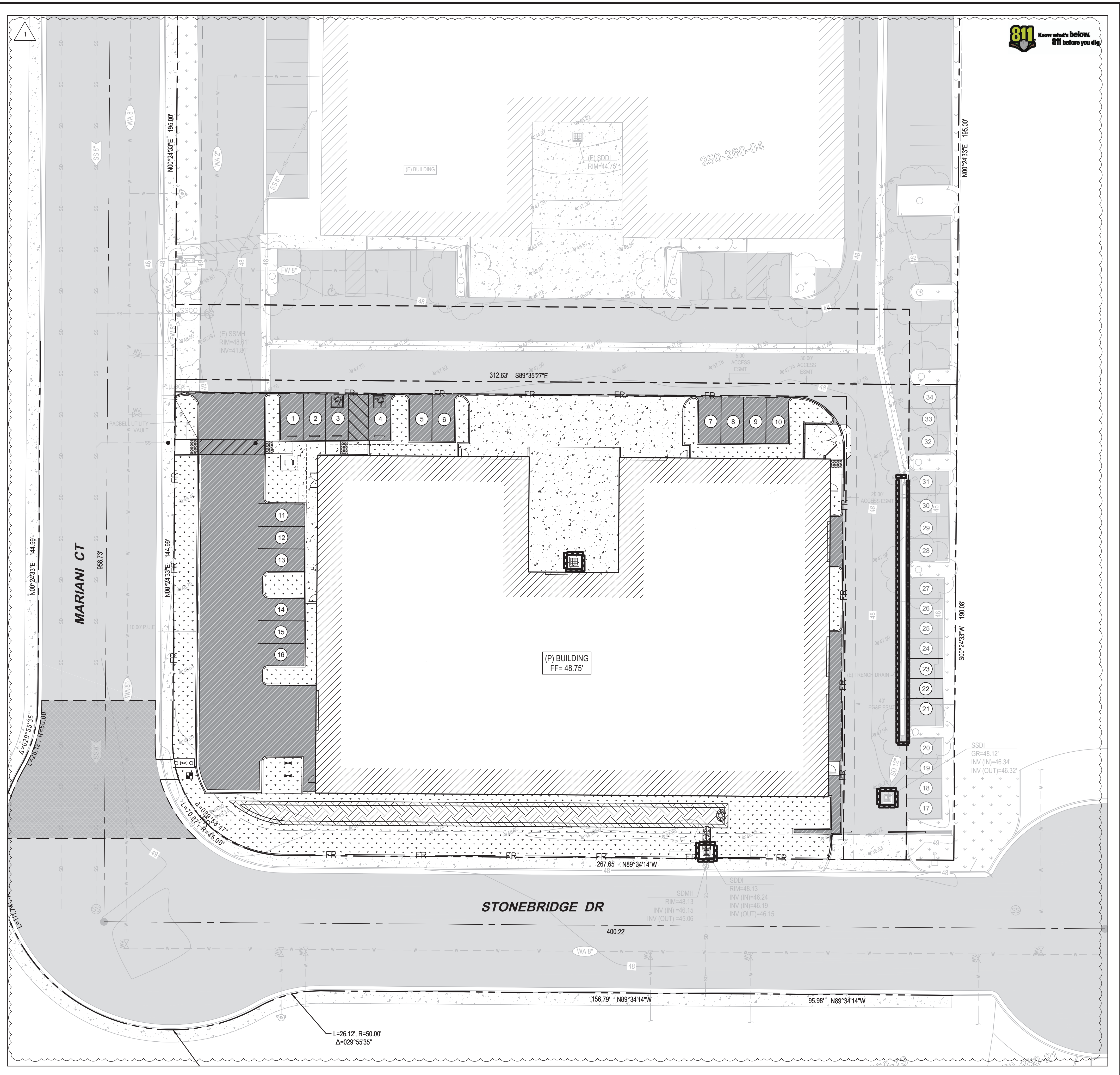


LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- FR FIBER ROLL FENCING
- SAND BAG

CONSTRUCTION SITE MAINTENANCE NOTES

1. GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE THEM IN A DUMPSTER OR OTHER CONTAINER WHICH IS EMPTIED OR REMOVED ON A WEEKLY BASIS. WHEN APPROPRIATE, USE TARPS ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER POLLUTION.
2. REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE AND GREEN WASTE FROM THE STREET PAVEMENT, AND STORM DRAINS ADJOINING THE PROJECT SITE DURING WET WEATHER. AVOID DRIVING VEHICLES OFF PAVED AREAS.
3. BROOM SWEEP THE PUBLIC STREET PAVEMENT ADJOINING THE PROJECT ON A DAILY BASIS. CAKED-ON MUD OR DIRT SHALL BE SCRAPPED FROM THESE AREAS BEFORE SWEEPING.
4. CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE PESTICIDES, OR ANY OTHER MATERIALS USED ON THE PROJECT SITE STORAGE OF BAGS, CEMENT, PAINTS, FLAMMABLE OILS, FERTILIZERS, THAT HAVE THE POTENTIAL FOR BEING DISCHARGED TO THE STORM DRAIN SYSTEM THROUGH BEING WINDBLOWN OR IN THE EVENT OF A MATERIAL SPILL.
5. NEVER CLEAN MACHINERY, TOOLS, BRUSHES, ETC. OR RINSE CONTAINERS INTO A STREET, GUTTER OR STORM DRAIN. REFUEL ALL CONSTRUCTION VEHICLES IN ONE LOCATION AND CLEAN UP LEAKS, DRIPS AND SPILLS IMMEDIATELY.
6. ENSURE THAT CONCRETE/GUNITE SUPPLY TRUCKS OR CONCRETE/PLASTERERS OPERATIONS DO NOT DISCHARGE WASH WATER INTO STREET GUTTERS OR DRAINS.
7. THE CONTRACTOR SHALL MEET AND FOLLOW ALL NPDES REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
8. THE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL PREVENT THE FORMATION OF ANY AIRBORNE DUST NUISANCE AT ALL TIMES. THEY SHALL DO SO BY WATERING AND/OR TREATING THE SITE OF WORK, AND SHALL MAINTAIN DUST CONTROL EQUIPMENT ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION. THEY WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM THEIR CONSTRUCTION ACTIVITIES IN PERFORMING THE WORK UNDER THIS CONTRACT. THE PRICES FOR THE VARIOUS ITEMS OF WORK SHALL INCLUDE PROVIDED ADEQUATE DUST CONTROL, AS REQUIRED BY THE LOCAL AGENCY.
9. SAND BAGS OR EQUAL ARE TO BE PLACED ON THE DOWNSTREAM SIDE OF THE CURB, GUTTER AND SIDEWALK.



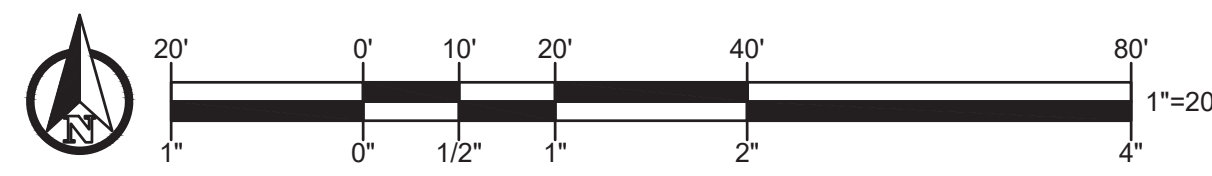
EASTGATE BUSINESS PARK
EROSION CONTROL PLAN
1398 MARIANI CT.
TRACY, CA, 95376

NO.	DATE	DESCRIPTION	CITY COMMENTS
1	08/09/2024		

PROJECT NO.: 23E-028
DRAWN BY: NH/MA
CHECKED BY: JB/RW
DATE: 8/13/2024
SHEET NO.:

C4.0

SHEET: 10 OF 11



LEGEND

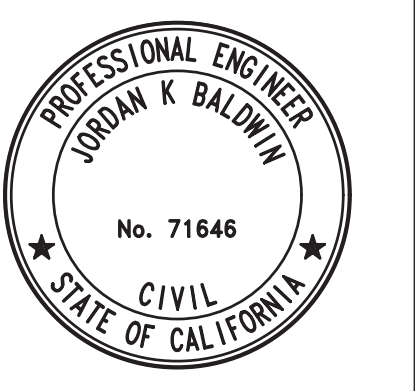
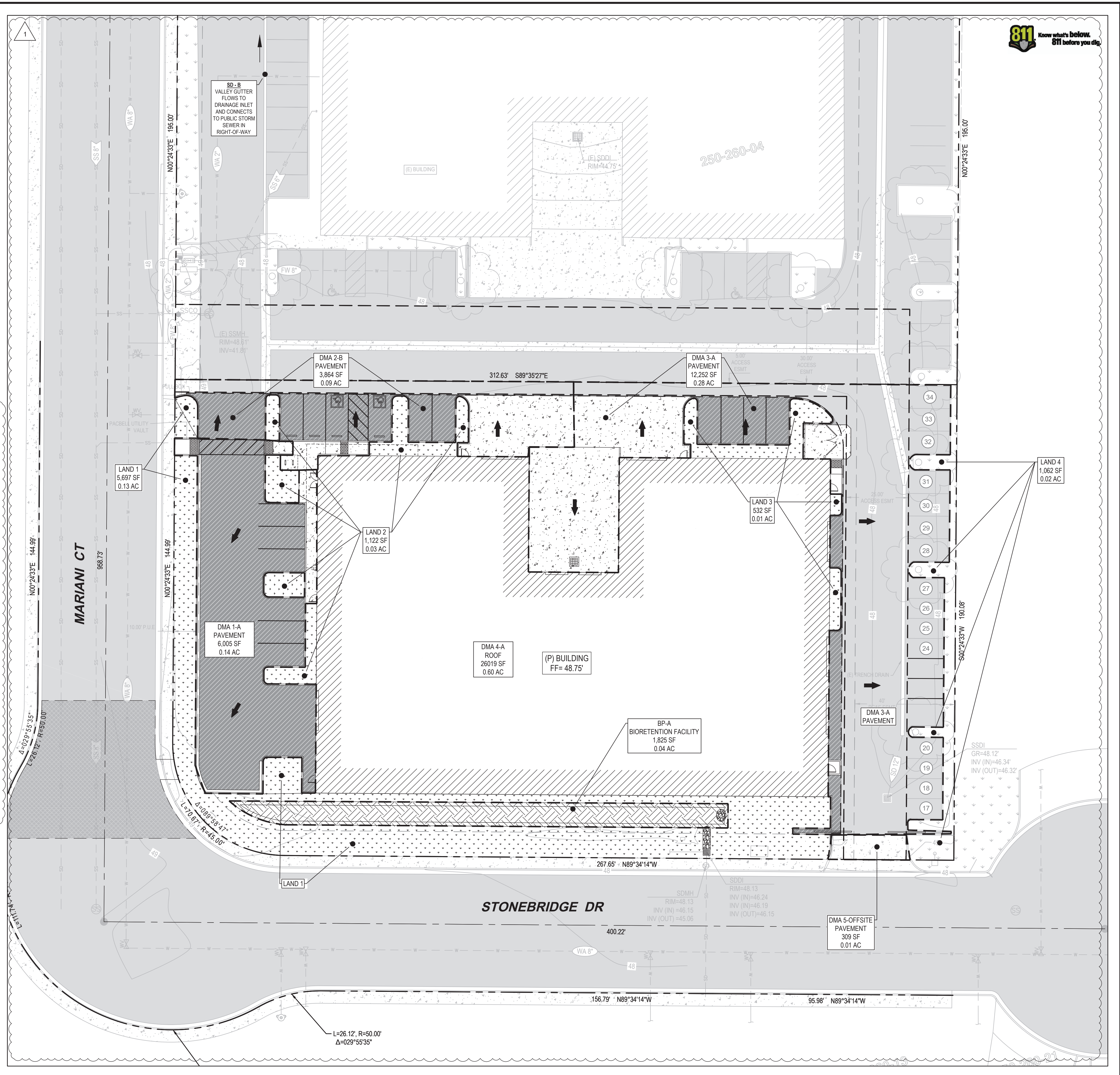
- BUILDING
- ASPHALT
- CONCRETE
- LANDSCAPING
- BIORETENTION
- PROPERTY LINE
- EASEMENT
- BUILDING SETBACK LINE
- PROPOSED CONTOUR, 10'
- PROPOSED CONTOUR, 2'
- FENCE
- ELECTRICAL
- STORM, 2% MIN SLOPE
- SEWER, 2% MIN SLOPE
- WATER
- STORMWATER FLOW ARROW
- SANITARY SEWER MANHOLE
- DRAIN INLET
- STORM MANHOLE
- OVERFLOW RISER
- BACKFLOW PREVENTER
- DCDA
- WATER METER
- GATE VALVE
- FIRE HYDRANT

AREA SUMMARY TABLE

DESCRIPTION	AREA (SF)
PARCEL	58975
DISTURBED AREA	49245
PRE-CONSTRUCTION AREAS	
PAVEMENT	9586
LANDSCAPING/UNPAVED	46522
POST-CONSTRUCTION AREAS	
PAVEMENT	22430
LANDSCAPING/UNPAVED	8701
BIORETENTION FACILITY	1825
BUILDING FOOTPRINT	26019
TOTAL	58975

DRAINAGE MANAGEMENT AREAS TABLE

AREA #	STORM OUTLET	AREA (SF)
DMA 1-A	BP-A	6005
DMA 2-B	SD-B	3864
DMA 3-A	BP-A	12252
DMA 4-A	BP-A	26019
DMA 5-OFFSITE	OFFSITE (EXISTING)	309
LAND 1	N/A	5848
LAND 2	N/A	1122
LAND 3	N/A	669
LAND 4	N/A	1062
BP-A	EMERGENCY OVERFLOW TO OFFSITE	1825
TOTAL		58975



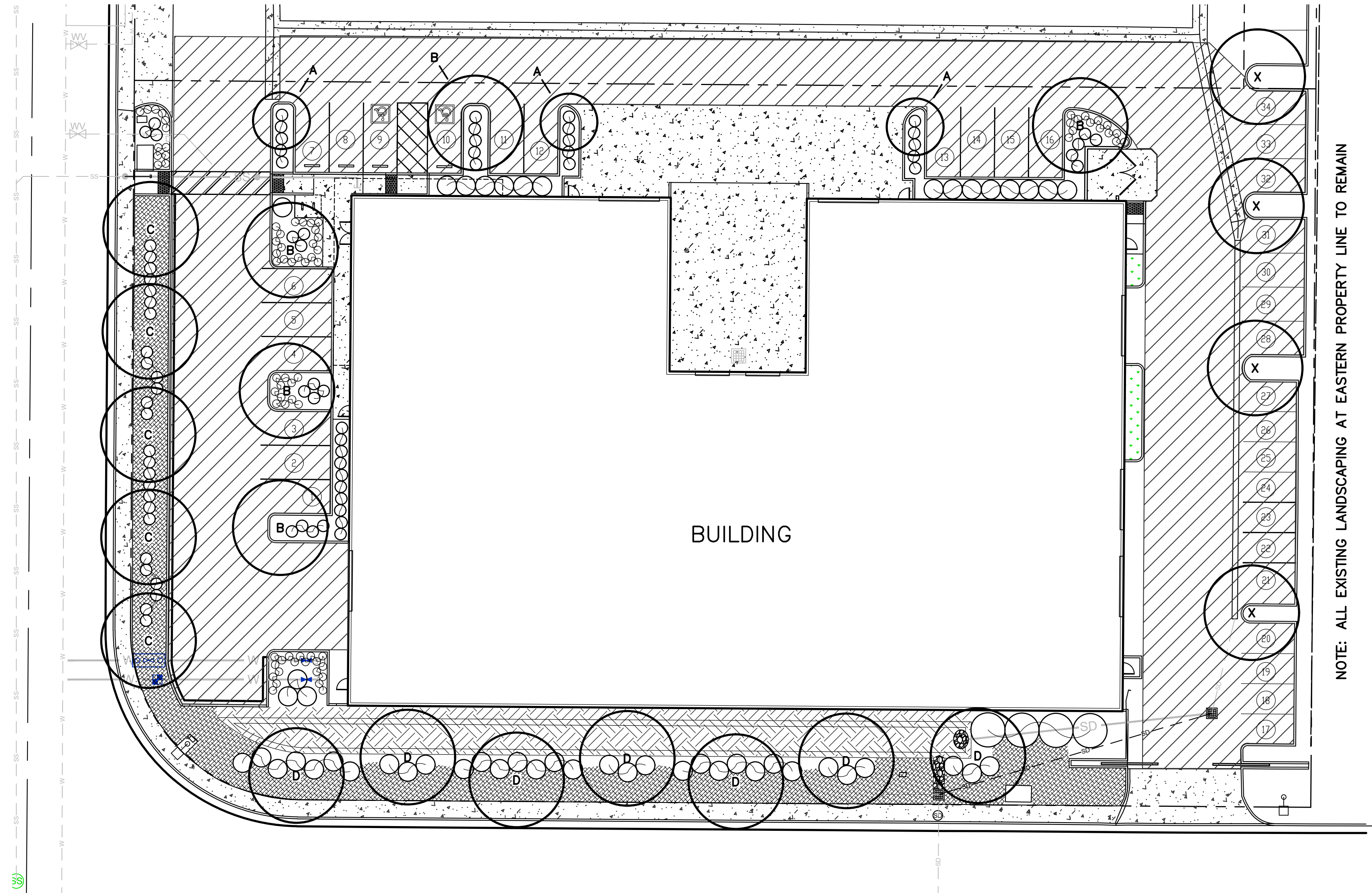
**EASTGATE BUSINESS PARK
DRAINAGE MANAGEMENT PLAN**

1398 MARIANI CT.
TRACY, CA, 95376

NO.	DATE	DESCRIPTION	CITY COMMENTS
1	08/09/2024		

PROJECT NO.: 23E-028
 DRAWN BY: NH/MA
 CHECKED BY: JB/RW
 DATE: 8/13/2024
 SHEET NO.: **C4.1**
 SHEET: 11 OF 11

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SUGGESTED PLANT LIST

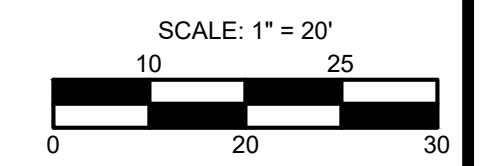
Symbol	Size	Quantity	Botanical Name	Common Name	MUCOLS Water Factor	Size @ Maturity
TREES						
A	24" Box	4	Lagerstroemia l. 'Tuscarora'	Grape Myrtle	Central Valley	20' Tall x 20' Wide
B	24" Box	4	Pistacia Chinensis 'Keith Dovey'	Frutless Chinese Pistache	L	30' Tall x 35' Wide
C	24" Box	5	Quercus Agrifolia	Coast Live Oak	L	30' Tall x 35' Wide
D	24" Box	7	Schinus Molle	California Pepper Tree	L	30' Tall x 35' Wide
X Existing tree to remain						
SHRUBS						
ALY HUE	5 gal.		Alyogyne Huegii	Blue Hibiscus	L	
CIS PUR	5 gal.		Cistus Purpureus	Orchid Rockrose	L	
DIE BIC	5 gal.		Dietes Grandiflora	Fortnight Lily	L	
GRE NOE	5 gal.		Grevillea Noellii	Grevillea	L	
LEU COM	5 gal.		Leucophyllum f. Compacta	Compact Texas Ranger	L	
MM AUR	5 gal.		Mimulus Aurantiacus	Sticky Monkey Flower	L	
MIR COM	5 gal.		Myrtus c. 'Compacta'	Dwarf Myrtle	L	
NAN COM	5 gal.		Nandina d. 'Compacta'	Compact Heavenly Bamboo	L	
RHA CAL	5 gal.		Rhamnus Californica	Coffee Berry	L	
SAL LEU	5 gal.		Salvia Leucantha	Mexican Bush Sage	L	
SAN VR	5 gal.		Santolina Virens	Santolina	L	
XYL COM	5 gal.		Xylostea c. 'Compacta'	Compact Shiny Xylostea	L	
BER ORA	1 gal.		Lavandula Angustifolia	Spanish Lavender	L	
LAV ANG	1 gal.		Bergenia crassifolia	Winter Blooming Bergenia	L	
PHO JAC	1 gal.		Phormium t. 'Jack Spratt'	Dwarf New Zealand Flax	L	
SAL GRE	1 gal.		Salvia Greggii	Autumn Sage	L	
TUL VO	1 gal.		Tuboghia Volocosa	Society Garlic	L	
TUL SIL	1 gal.		Tuboghia v. 'Silver Lace'	Variiegated Society Garlic	L	
GROUNDCOVER						
	1 gal @		Ceanothus m. 'Frosty Dawn'	Maritime Ceanothus	L	
	48" O.C.					
BIO-RETENTION GROUNDCOVER						
	1 gal @		Juncus p. 'Elk Blue'	Elk Blue California Gray Rush	M	
	12" O.C.					

SHADE CALCULATION

TREE TYPE	SYMBOL	FULL (100%)	THREE QUARTERS (75%)	HALF (50%)	ONE QUARTER (25%)
PISTACIA CHINENSIS	B	5 @ 706 S.F. = 3,530	0	0	0
QUERCUS AGRIFOLIA	C	0	0	5 @ 481 S.F. = 2,405	0
EXISTING PEAR TREE	X	3 @ 491 S.F. = 1,473	1 @ 368 S.F. = 368	0	0
TOTALS:		5,003 S.F.	368 S.F.	2,405 S.F.	0 S.F.

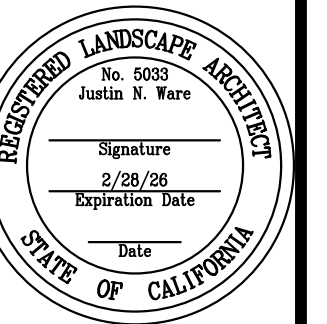
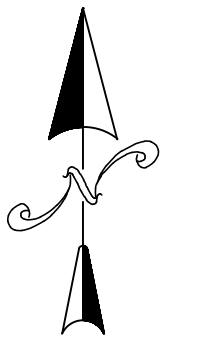
TOTAL SHADED AREA:
 CALCULATED IN CHART: 7,776 S.F.
 TOTAL PARKING LOT AREA (HATCHED AREA): 19,118 S.F.
 REQUIRED SHADED AREA (40%): 7,647.2 S.F.
 PERCENT SHADED: 40.7%

NOTE: ALL EXISTING LANDSCAPING AT EASTERN PROPERTY LINE TO REMAIN



REVISIONS	BY
11/2/23	JW
4/18/24	JW
7/2/24	JW

2029 Paloma Avenue
 Stockton, CA 95209
 (209) 954-9065 Office
 www.utopianlandscapes.net
UTOPIAN
 LANDSCAPES
 LANDSCAPE ARCHITECTURE AND DESIGN SERVICES



RIDGELINE
 ENGINEERING
 STOCKTON, CA

CLIENT
 CONCEPTUAL
 LANDSCAPE
 PLAN

SHEET TITLE

PROJECT
 1398 MARIANI CT
 TRACY, CA

DATE	10/9/23
SCALE	1"=20'
DRAWN	JW
SHEET	L1
OF 1 SHEETS	

**CITY OF TRACY
DETERMINATION OF
THE COMMUNITY AND ECONOMIC DEVELOPMENT DIRECTOR**

Application Number D24-0001

A determination of the Community and Economic Development Director (1) approving the Development Review Permit, Application Number D24-0001, for the construction of a 26,019 square foot building and related site improvements on a 1.35 acre site located at the southeast corner of Mariani Court and Stonebridge Drive, 1396 Mariani Court, APN 250-260-03; and (2) determining that this project is categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15332. The applicant and owner is Ron Robertson of Horizon Tracy LLC.

Staff has reviewed the application and determined that the following City regulations apply:

1. Light Industrial (M-1) Zone
2. Off-Street Parking Requirements (TMC Sec 10.08.3440, Article 26)
3. Development Review (TMC Sec 10.08.3920, Article 30)
4. City Design, Goals and Standards

The Community and Economic Development Department has determined that the project is categorically exempt from the California Environmental Act pursuant to CEQA Guidelines Section 15332 as an infill project that is consistent with the General Plan and zoning code and is served by existing infrastructure. No further environmental assessment is required.

THE COMMUNITY AND ECONOMIC DEVELOPMENT DIRECTOR, AFTER CONSIDERING ALL OF THE EVIDENCE PRESENTED, HEREBY APPROVES DEVELOPMENT REVIEW PERMIT APPLICATION NUMBER D24-0001, SUBJECT TO THE CONDITIONS OF APPROVAL CONTAINED IN EXHIBIT 1 AND BASED ON THE FOLLOWING FINDINGS:

1. The proposal increases the quality of the project site and enhances the property in a manner that improves the property, the surrounding area and the citizens of Tracy because the project as proposed is consistent with the intent of Light Industrial Zone district. The project meets the setback, lot coverage and design standards of the zoning district. The proposed parking and layout meet the requirements of the municipal code along with the landscaping coverage and screening for the site. Additionally, the project is utilizing high quality building materials and is consistent with the surrounding neighborhood.
2. The proposed project conforms to Chapter 10.08, Zoning Regulations, of the Tracy Municipal Code, the City of Tracy General Plan, the Citywide Design Goals and Standards, applicable Infrastructure Master Plans, and other City regulations.

Forrest Ebbs
Community and Economic Development Director

Date of Action

City of Tracy
Conditional Use Permit and Development Review Permit
Conditions of Approval
Eastgate Business Park Phase 2
Application Number D24-0001
October 16, 2024

A. General Provisions and Definitions.

A.1. General. These Conditions of Approval apply to:

The Project: Development Review Permit, Application Number D24-0001, for construction of an approximately 26,019 square foot industrial building (known as Eastgate Business Park 2) and related site improvements on an approximately 1.35-acre site located at the southeast corner of Mariani Court and Stonebridge Drive.

The Property: 1396 Mariani Court, Assessor's Parcel Number 250-260-03

A.2. Definitions.

- a. "Applicant" means any person, or other legal entity, defined as a "Developer."
- b. "City Engineer" means the City Engineer of the City of Tracy, or any other duly licensed Engineer designated by the City Manager, or the Community and Economic Development Director, or the City Engineer to perform the duties set forth herein.
- c. "City Regulations" means all written laws, rules, and policies established by the City, including those set forth in the City of Tracy General Plan, the Tracy Municipal Code, ordinances, resolutions, policies, procedures, and the City's Design Documents (including the Standard Plans, Standard Specifications, Design Standards, and relevant Public Facility Master Plans).
- d. "Community and Economic Development Director" means the Community and Economic Development Director of the City of Tracy, or any other person designated by the City Manager or the Community and Economic Development Director to perform the duties set forth herein.
- e. "Conditions of Approval" shall mean the conditions of approval applicable to the Project located at the Property. The Conditions of Approval shall specifically include all conditions set forth herein.
- f. "Developer" means any person, or other legal entity, who applies to the City to divide or cause to be divided real property within the Project boundaries, or who applies to the City to develop or improve any portion of the real property within the Project boundaries. The term "Developer" shall include all successors in interest.

A.3. Compliance with submitted plans. Except as otherwise modified herein, the project shall be constructed in substantial compliance with the plans received by the Community and Economic Development Department on July 2, 2024 (pages 12-22

revised August 16, 2024). This includes the site plan, civil plans, landscape plans, and building elevations, colors, and materials.

- A.4. Payment of applicable fees. The applicant shall pay all applicable fees for the project, including, but not limited to, development impact fees, building permit fees, plan check fees, grading permit fees, encroachment permit fees, inspection fees, school fees, or any other City or other agency fees or deposits that may be applicable to the project.
- A.5. Compliance with laws. The Developer shall comply with all laws (federal, state, and local) related to the development of real property within the Project, including, but not limited to:
- the Planning and Zoning Law (Government Code sections 65000, et seq.)
 - the California Environmental Quality Act (Public Resources Code sections 21000, et seq., "CEQA"), and
 - the Guidelines for California Environmental Quality Act (California Administrative Code, title 14, sections 1500, et seq., "CEQA Guidelines").

B. Community and Economic Development Planning Division Conditions

- B.1. Parking Area.
- B.1.1. Before the approval of a building permit, the applicant shall provide site plans and construction details that demonstrate minimum 12-inch-wide concrete curbs along the perimeter of landscape planters where such planters are parallel and adjacent to vehicular parking spaces to provide access to vehicles without stepping into the landscape planters.
- B.1.2. Before the approval of a building permit, the applicant shall provide detailed plans that demonstrate a minimum of one-foot candle illumination throughout the parking and circulation area.
- B.1.3. Before final inspection or certificate of occupancy, all exterior and parking area lighting shall be directed downward or shielded, to prevent glare or spray of light off of glass and metal surfaces, into the public rights-of-way, and onto any adjacent private property to the satisfaction of the Community and Economic Development Director.
- B.2. Landscaping & irrigation. Before the issuance of a building permit, the applicant shall provide detailed landscape and irrigation plans consistent with the Tracy Municipal Code Section 10.08.3560 for new parking area landscaping and the following, to the satisfaction of the Community and Economic Development Director.
- B.2.1. Trees shall be a minimum of 24" box size, shrubs shall be a minimum size of 5 gallon, and groundcover shall be a minimum size of 1 gallon.
- B.2.2. Where trees are planted ten feet or less from a sidewalk or curb, root barriers dimensioned 8 feet long by 24 inches deep shall be provided adjacent to such sidewalk and curb, centered on the tree.
- B.2.3. Each planter shall contain a combination of trees, shrubs, and groundcover. No planter area shall be comprised of solely of mulch or rock.
- B.2.4. All existing street trees, except for any that are needed to be removed and replaced for the construction of required frontage improvements as determined by the City, shall remain and be protected during construction.

- B.2.5. Landscape & Irrigation Maintenance. Prior to the issuance of a building permit, the Developer shall execute a two-year landscape and irrigation maintenance agreement and submit financial security, such as a performance bond, to ensure the success of all on-site landscaping for the term of the agreement. The security amount shall be equal to \$2.50 per square foot of the landscaped area or equal to the actual labor and material installation cost of all on-site landscaping and irrigation.
- B.3. Screening utilities and equipment.
- B.3.1. Before final inspection or certificate of occupancy, no roof mounted equipment, including, but not limited to, HVAC units, vents, fans, antennas, sky lights and dishes, whether proposed as part of this application, potential future equipment, or any portion thereof, shall be visible from any public right-of-way to the satisfaction of the Community and Economic Development Director. Detailed plans documenting compliance with this condition shall be submitted to the City prior to the issuance of a building permit.
- B.3.2. Before final inspection or certificate of occupancy, all PG&E transformers, phone company boxes, Fire Department connections, backflow preventers, irrigation controllers, and other on-site utilities, shall be vaulted or screened from view from any public right-of-way, behind structures or landscaping, to the satisfaction of the Community and Economic Development Director.
- B.3.3. Before final inspection or certificate of occupancy, all vents, gutters, downspouts, flashing, electrical conduits, bollards, and other wall-mounted or building-attached utilities shall be internal to the structures where feasible or otherwise painted to match the color of the adjacent surfaces or otherwise designed in harmony with the building exterior to the satisfaction of the Community and Economic Development Director.
- B.3.4. A trash enclosure shall be designed and appropriately sized for this project, including allowance for recycling collection. The trash and recycling collection enclosure shall include a solid roof structure, solid metal doors, and solid walls sufficiently sized to fully screen the dumpsters (no less than six feet in height). The enclosure, including the roof, shall be architecturally compatible with the buildings, which includes but is not limited to, design, materials, and colors. A six-inch concrete curb and/or bollards may be installed on the interior of the enclosure for the protection and durability of the enclosure walls. A building permit is required prior to construction of such enclosures for the evaluation of design and location to the satisfaction of the Community and Economic Development Director.
- B.4. Habitat conservation. Prior to issuance of any permits for ground disturbance, including a building permit or grading permit, the developer shall demonstrate compliance with any required San Joaquin County Multi-Species Habitat Conservation and Open Space Plan (SJMSCP) and the Incidental Take Minimization Measures prepared by San Joaquin Council of Government (SJCOG) Habitat Division, to the satisfaction of the Community and Economic Development Director. A signed copy of the Incidental Take Minimization Measures shall be submitted to the City as verification of compliance.

- B.5. Signage. No business identification signs are approved with this permit. All business identification signs shall obtain a sign permit in accordance with the Tracy Municipal Code.

C. Engineering Division Conditions

C.1. Technical Analysis incorporated into these Conditions

Developer shall comply with the applicable recommendations of the technical analyses/reports prepared for the Project listed as follows:

NONE

C.2. Grading Permit

Prior to Grading Permit release, Developer shall provide all documents related to said Grading Permit required by City requirements and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

- C.2.1 All grading work (on-site and off-site) shall require a grading plan and a grading permit. The Developer will complete all requirements set forth in this section.
- C.2.2 Prior to grading permit release, Developer shall prepare grading and drainage plans for all required earthmoving and drainage to serve the Project (on-site and off-site) including grading details, grading quantities, and retaining walls (Grading Plans). Said Grading Plans shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code (TMC) Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, and these Conditions of Approval.
- C.2.3 Prior to grading permit release, Developer shall prepare Grading Plans that are stamped and prepared under the supervision of a California registered Civil Engineer (CA-CE). Grading Plans shall be prepared on a 24-inch x 36-inch size 20-pound bond white paper and shall use the City's Title Block.
- C.2.4 Prior to grading permit release, Developer shall prepare Grading Plans in substantial conformance all site building, parking, utility, grading, and other site improvements identified on submitted site improvements drawing package for D24-0001 (Eastgate Business Park Phase 2), located at the northeast corner of the Mariani Court and Stonebridge Drive intersection, APN# 250-260-03, Tracy CA 95206 submitted August 16, 2024.
- C.2.5 Prior to grading permit release, Developer shall provide a PDF copy of the Project's Geotechnical Report prepared and stamped by the Project's California registered Geotechnical Engineer (CA-GE). The technical report must include relevant information related to soil types and characteristics, soil bearing capacity, compaction recommendations, slope recommendations, retaining wall recommendations, paving recommendations, and elevation of the highest

observed groundwater level. All Grading Plans and grading work shall be performed and completed in accordance with the recommendation(s) of the Project's CA-GE.

- C.2.6 Prior to grading permit release, Developer shall depict in the Grading Plans to use reinforced or engineered masonry blocks for retaining soil when the grade differential exceeds twelve (12) vertical inches. Developer will include construction details of these minor retaining walls with the Grading Plans. Developer may use slopes among the lots to address the grade differential but said slope shall not exceed a slope gradient of three (3) horizontal feet to one (1) vertical foot unless approved by a CA-GE. Slope easements may be required and will be subject to approval by the City Engineer and if adjacent and affected property(s) owner(s) grants said easements.
- C.2.7 Slopes are an acceptable option as a substitute to engineered retaining walls, where cuts or fills do not match existing ground or final grade with the adjacent property or public right of way, up to a maximum grade differential of two (2) vertical feet, subject to approval by the City Engineer.
- C.2.8 Prior to grading permit release, Developer shall depict proposed retaining walls and masonry walls on the Grading Plans. The Developer is required to include construction details, and structural calculations for retaining walls and masonry walls to Building Safety. Retaining wall and masonry wall design parameters will be included in the geotechnical report.
- C.2.9 Prior to grading permit release, Developer shall provide a copy of the approved building permit from Building Safety for any retaining wall depicted on the Grading Plans.
- C.2.10 Prior to grading permit release, Developer shall obtain all applicable signatures by Project's CA-GE, City departments, and outside agencies (where applicable) on the Grading Plans including signatures by the Fire Marshal prior to submitting the Grading Plans to Engineering for City Engineer's signature.
- C.2.11 Prior to grading permit release, Developer shall depict on the Grading Plans erosion control measures and shall be implemented in accordance with the Grading Plans. All grading work not completed before October 15 may be subject to additional requirements as applicable. Grading Plans shall specify all proposed erosion control methods and construction details to be employed and specify materials to be used during and after the construction and shall be included in the grading permit.
- C.2.12 Prior to grading permit release, Developer shall pay Grading Permit fees which include grading, plan checking, and inspection fees, and other applicable fees per the fee schedule.
- C.2.13 Prior to grading permit release, Developer shall obtain written approval (i.e., recorded easements for slopes, drainage, utilities, access, parking, etc.) of all other public agencies and/or private entities with jurisdiction over the required

public and/or private facilities and/or property. A copy of the recorded easement document(s) shall be provided to the City upon request.

- C.2.14 Prior to grading permit release, Developer shall obtain a demolition permit to remove all existing structures, utilities or other improvements located within the project's limits. The Developer shall conduct an asbestos survey of the existing buildings in accordance with City requirements and identify all hazardous materials that must be removed prior to demolition and removal of the existing buildings. The contractor shall then remove all asbestos and all hazardous materials in accordance with state and city requirements prior to new construction to the satisfaction of the City Engineer. Demolition of the existing site utilities disturb, water, sewer, drainage, electrical, phone or internet service to the existing houses of this facility the Developer shall install temporary services until permanent services to these existing houses can be restored. If demolition of parking, sidewalks and access to existing residential buildings takes place, the Developer shall provide adequate notice to the existing residents of the demolition of the site. Prior to any demolition of the site, the contractor shall a temporary fence of the entire construction of area of new project. At all times, the Developer shall maintain safe and clean working conditions for the general public and those residents that will be living in close proximity to the construction of the project. At all times, the Developer shall provide adequate warning devices, barricades, metal plating of open trenches and other safety measures installed during construction.
- C.2.15 Prior to grading permit release, Developer shall have obtained the necessary permits to abandon or remove all existing on-site water well(s), septic system(s), leech field(s), and title drain(s), if any, in accordance with City and San Joaquin County requirements. The Developer shall be responsible for all costs associated with the abandonment or removal of the aforementioned items including the cost of permit(s) and inspection. A copy of the permits shall be provided to the City upon request.
- C.2.16 Prior to grading permit release, Developer shall provide a copy of the approved Incidental Take Minimization Measures (ITMM) habitat survey [San Joaquin County Multi-Species Habitat Conservation & Open Space Plan (SJMSCP)] from San Joaquin Council of Governments (SJCOG) prior to grading permit.
- C.2.17 Prior to grading permit release, Developer shall provide a copy of the approved Air Impact Assessment (AIA) with an Indirect Source Review (ISR) and Dust Control from San Joaquin Valley Air Pollution Control District (SJVAPCD) prior to grading permit.
- C.2.18 Prior to grading permit release, Developer shall provide to the City's it's written plan to address archeological, historical, or other paleontological findings. If at any point during grading that Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall 1) inform the City Engineer; 2) shall address the findings as required per the General Plan Cultural Resource Policy

and General Plan EIR; and 3) subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.2.19 Seven calendar days after the release of the grading permit, Developer shall request a pre-construction (grading) meeting with the City's Construction Management team. At this meeting, Developer shall provide three (3) paper copies of the Grading Plans. Developer shall provide additional copies as requested.

C.2.20 The Developer shall provide a Stormwater Quality Control Plan (SWQCP) detailing the methods in which the development will address compliance with the applicable City's Multi-Agency Post-Construction Stormwater Standards Manual (Manual). Prior to the issuance of the grading permit for the project, the SWQCP shall be approved by the City Engineer.

Grading Permit Special Condition(s)

NONE

C.3.0 Construction Permit [Encroachment Permit and Improvement Agreement(s)]

Prior to construction permit release, if applicable, Developer shall provide all documents as required by City requirements and these Conditions of Approval, to the satisfaction of the City Engineer, including, but not limited to, the following:

C.3.1 All construction activity involving public improvements (on-site and off-site) will require approved improvement plans and an encroachment permit. Any construction activity involving public improvements without both items is prohibited. The Developer will complete all requirements set forth in this section prior to any construction.

C.3.2 Prior to construction permit release, Developer shall prepare public infrastructure improvement plans for all required improvements required to serve the Project (on-site and off-site) including construction details, paving sections, joint-trench, traffic signals, etc. (Improvement Plans).

C.3.3 Prior to construction permit release, Developer shall prepare Improvement Plans that are stamped and prepared under the supervision of a California registered Civil Engineer (CA-CE). Other disciplines' work shall also be stamped and prepared under the supervision for each disciplines' registered design professional.

C.3.4 Prior to construction permit release, Developer shall prepare Improvement Plans on a 24-inch x 36-inch size 20-pound bond white paper and shall use the City's Title Block. Said Improvement Plans and the improvements and details depicted on said Improvement Plans shall be prepared in accordance with the City's Subdivision Ordinance (Tracy Municipal Code (TMC) Chapter 12.36), City Design Documents as defined in Title 12 of the TMC, City's Facilities Master Plan for storm drainage, roadways, wastewater, and water as adopted, amended, and

updated by the City, or as otherwise specifically approved by the City, and all requirements described in the documents described hereon, and these Conditions of Approval.

- C.3.5 Prior to construction permit release, Developer shall prepare Improvement Plans in substantial conformance all site building, parking, utility, grading, and other on-site and off-site improvements identified on submitted site improvements drawing package for D24-0001 (Eastgate Business Park Phase 2), located at the northeast corner of the Mariani Court and Stonebridge Drive intersection, APN# 250-260-03, Tracy CA 95206 submitted August 16, 2024.
- C.3.6 Prior to construction permit release, Developer shall provide a PDF copy of the Project's Geotechnical/Soils Report prepared and stamped by the Project's CA-GE. The technical report must include relevant information related to street pavement thickness (asphalt concrete and aggregate base), compaction recommendation, building pad compaction recommendation, soil bearing capacity, retaining wall footing design parameters, slope recommendations, percolation rates, ground water depth, and other pertinent information for grading the site and building the building foundations.
- C.3.7 Prior to construction permit release, Developer shall submit an encroachment permit application with prepared Improvement Plans to specifically include, but not be limited to all existing and proposed utilities such as domestic water line, irrigation service, water fire service, domestic water services, storm drain, sanitary sewer, all existing surface improvements such as PCC, curb, gutter, sidewalk, ADA ramps, fire hydrants, streetlights, landscaping, irrigation, irrigation controllers, striping, etc. including the size and location of all pipes.
- C.3.8 Prior to construction permit release, Developer shall prepare Improvement Plans to specifically include, but not be limited to dimensions of existing and proposed utilities and surface improvements.
- C.3.9 Prior to construction permit release, Developer shall identify and depict on the Improvement Plans any frontage improvements of pavement, curb and gutter, sidewalk, ADA ramps, fire hydrants, streetlights, landscaping, and irrigation in need of repair (cracked, settled, and/or damaged) along the Project's frontage. Developer shall than note on the Improvement that said improvement in need of repair shall be repaired accordance with City requirements and to the Satisfaction of the City Engineer. Any repair, removal, and replacement shall be in a similar manner to the current improvement, i.e., similar width, color, finish, meander, etc.
- C.3.10 Prior to construction permit release, Developer shall provide all supporting engineering calculations, materials information or technical specifications, cost estimate, and technical reports shall be submitted at the time of grading, site improvement and building permit reviews. All improvement plans shall contain a note stating that the Developer will be responsible for preserving and protecting all existing survey monuments and other survey markers such as benchmarks prior to building permit.

C.3.11 Public Right-of-Way Landscaping and Irrigation – Prior to construction permit release, Developer shall prepare landscape and irrigation plans that depict the following:

The Developer shall landscape and irrigate the existing area along the project frontage, from the back of curb to the new building. Landscape and irrigation plans shall be in substantial conformance with the approved preliminary plans submitted with the approved site development review permit for this Project. All landscape drawings shall be prepared on a 24-inch x 36-inch size 20-pound bond white paper that incorporates all requirements described in these Conditions of Approval, and the City's Design Documents as defined in Title 12 of the Tracy Municipal Code. Developer shall use the latest title block. Said landscape and irrigation plan shall be prepared by a California licensed landscape architect. The Developer shall also reinstall all existing street trees in the landscaped area between the sidewalk and curb line along the project frontage, if applicable. The Developer shall also install additional street trees, shrubs, ground cover, and other landscaping and other corresponding irrigation systems as required. The landscaping and irrigation shall conform to MWELo standards. If recommended, Developer shall use structural soil if the street trees' well is narrower than five (5) feet wide. The Developer shall construct new proposed monument signs and their appurtenances, and any other existing items such as mailboxes, etc. out of this clear site visibility zones of all driveway entrances to the site.

C.3.12 Storm Water

Prior to construction permit release, Developer shall depict on the Improvement Plans the proposed storm drain for the Project's storm drain connection. The Project's storm water drain connection to the City's storm water system shall be in accordance with City requirements and to the satisfaction of the City Engineer.

Developer shall provide the calculations for the sizing of the storm drain(s) and shall be submitted with the hydrology and storm water report during plan-review. Developer shall comply with the applicable requirements of the City's storm water masterplan adopted by the City Council in 2012 and any subsequent amendments.

C.3.13 As required by Item No. 16, Section V on page 103 of the 2020 Design Standards, storm drain run-off will not cross lot lines. Generally, storm drainage release point is a location at the boundary of the Project adjacent public right-of-way where storm water leaves the Property, in a storm event and that the Property's on-site storm drainage system fails to function or it is clogged. Site grading shall be designed such that the project's storm drainage overland release point will be directly to an adjacent public right-of way with a functional storm drainage system and the existing storm drainage line has adequate capacity to drain storm water from the property. The storm drainage release point is recommended to be at least 0.70-feet lower than the new building's finish floor

elevation and shall be designed and improved to the satisfaction of the City Engineer.

C.3.14 Per the 2012 Storm Drainage Master Plan, this parcel is master planned to drain into an underground pipe. The on-site storm drains should be sized for the ten (10) year discharge, using the one hundred (100) year water surface elevation for the point of discharge as the starting water surface elevation (tailwater elevation) for capacity or HGL analyses. This drainage scheme requires constructing a storm drain system on private property.

Prior to construction permit release, if applicable, Developer shall depict on the Improvement Plans bioretention basins with bio-treatment soils to the satisfaction of the City C-3 requirements and to the satisfaction of the City Engineer. On-site runoff from the site landscaping, pavement and roofs will discharge directly into these bioretention basins which will then filter the water that will drain into the city storm drain system. Use of underground runoff pretreatment and storage chambers as an alternate to bioretention basins by the Developer shall be considered on a case-by-case basis.

C.3.15 Sanitary Sewer

Prior to construction permit release, Developer shall depict on the Improvement Plans the Project's permanent sanitary sewer line laterals from each proposed building to the Project's sewer connection in Mariani Court, in accordance with the City's Design Documents and to the satisfaction of the City Engineer. Developer shall depict a six (6) inch minimum sewer lateral in Mariani Court. If applicable, the pavement restoration shall be per City Standards and subject to Condition C.8.1.

C.3.16 Water Distribution

Prior to construction permit release, Developer shall depict on the Improvement Plans the Project's permanent potable domestic, irrigation, and fire water services. Fire sprinkler and irrigation water services to every building in the project that complies with the City Design Documents. Water line sizing, layout and looping requirements for this Project shall comply with City requirements. During the construction of the Project, the Developer is responsible for providing water infrastructure (temporary or permanent) capable of delivering adequate fire flows and pressure appropriate to the various stages of construction and as approved by the Fire Marshal.

The Developer shall use existing water line in Mariani Court for water line connections to the site looping water line into the site to every new building fire system. The pavement restoration shall be per City Standards and subject to Condition C.8.1.

Interruption to the water supply to the existing businesses and other users will not be allowed to facilitate construction of improvements related to the Project. Developer shall be responsible for notifying business owner(s) and users,

regarding construction work. The written notice, as approved by the City Engineer, shall be delivered to the affected residents or business owner(s) at least seventy-two (72) hours before the start of work. Prior to starting the work described in this section, the Developer shall submit a Work Plan acceptable to the City that demonstrates no interruptions to the water supply, and Traffic Control Plan to be used during the installation of the off-site water mains and connections.

The Project's water service connections shall use a remote-read (radio-read) master water meter (the water meter to be located within City's right-of-way) and a Reduced Pressure Type back-flow protection device in accordance with City requirements. The City Engineer shall approve the location of the meters.

After improvement, acceptance, repair, and maintenance of the water service from the water meter to the point of connection with the water distribution main in the street shall be the responsibility of the City. Water service repairs after the water meter is the responsibility of the Developer or individual lot owner(s).

Prior to improvement, acceptance, repair and maintenance of all on-site water lines, laterals, sub-water meters, valves, fittings, fire hydrant and appurtenances shall be the responsibility of the Developer or the individual lot owner(s).

All costs associated with the installation of the Project's water connection(s) including the cost of removing and replacing asphalt concrete pavement, pavement marking and striping such as crosswalk lines and lane line markings on existing street or parking area(s) that may be disturbed with the installation of the permanent water connection(s), or domestic water service, and other improvements shall be paid by the Developer.

Fire Service Line(s) and Hydrants – Location and construction details of fire service line including fire hydrant(s) that are to serve the Project shall be protected with 4 concrete bollards and layout approved by the City Fire Marshal prior to the approval of the Improvement Plans by the City Engineer. The Developer shall submit a layout of the fire hydrants and obtain written approval of the location of fire hydrants and fire connections to the building from the Fire Marshal, prior completion of the of the water line design.

C.3.17 Prior to construction permit release, Developer shall prepare Joint Trench Plans and Composite Utility Plans, prepared on a 24-inch x 36-inch size 4-millimeter thick mylar for the installation of dry utilities such as electric, gas, TV cable, telephone, and others that will be located within the ten (10) feet wide P.U.E. to be installed to serve the Project. All private utility services to serve Project must be installed underground or relocated to be underground, and to be installed at the location approved by the respective owner(s) of the utilities from the street or an existing or proposed utility easement to the building(s).

C.3.18 Prior to construction permit release, Developer shall provide signed and stamped Engineer's Estimate that summarizes the cost of constructing all the public

improvements shown on the Improvement Plans. Said Estimate shall be prepared in accordance with City Regulations to be used for calculating engineering review fees and for bonding purposes. In determining the total construction cost, add ten percent (10%) for construction contingencies.

C.3.19 Prior to construction permit release, Developer shall provide Payment of fees required by the City requirements including but not limited to plan checking, grading, construction inspection, agreement processing, encroachment permits, and other fees. The engineering review fees will be calculated based on the fee rate adopted and updated by the City Council.

C.3.20 Traffic Control Plan - Prior to starting the work for any work within City's right-of way, the Developer shall submit a Traffic Control Plan (TCP). TCP can be split among the different construction phases. TCP will show the method and type of construction signs to be used for regulating traffic at the work areas within these streets. TCP shall conform to the Manual on Uniform Traffic Control Devices as amended by the State of California, latest edition (MUTCD-CA). TCP shall be prepared under the supervision of, signed and stamped by a Registered Civil Engineer or Registered Traffic Engineer.

Access and Traffic Circulation to Existing Businesses/Residents - Developer shall take all steps necessary to plan and construct site improvements such that construction operations do not impact safety and access (including emergency vehicles) to the existing businesses and residents throughout the duration of construction. The Developer shall coordinate with the owners and cooperate to minimize impacts on existing businesses. All costs of measures needed to provide safe and functional access shall be borne by the Developer.

C.3.21 No street trench shall be left open, uncovered, and/or unprotected during night hours and when the Developer's contractor is not performing construction activities. Appropriate signs and barricades shall be installed on the street and on all trenches during such times. If the Developer or its contractor elects to use steel plates to cover street trenches, said steel plates will be skid-resistant, and shall be ramped on all sides. Ramps will be a minimum two-foot wide and will run the entire length of each side.

C.3.22 If at any point during utility installation or construction the Developer, its contractor, its engineers, and their respective officials, employees, subcontractor, and/or subconsultant exposes/encounters/uncovers any archeological, historical, or other paleontological findings, the Developer shall 1) inform the City Engineer; 2) shall address the findings as required per the General Plan Cultural Resource Policy and General Plan EIR; and 3) subsequent Cultural Resource Policy or mitigation in any applicable environmental document.

C.3.23 Improvement Security - Developer shall provide improvement security for all public facilities, as required by the TMC. The form of the improvement of security may be a bond, or other form in accordance with the Government Code, and the TMC. The amount of the improvement security shall be in accordance with Title 12 of the TMC.

Insurance – Developer shall provide written evidence of insurance coverage that meets the TMC.

Construction Permit Special Condition(s)

C.3.24 Prior to construction permit release, Developer shall obtain all applicable signatures by City departments and outside agencies (where applicable) on the Improvement Plans including the Fire Marshal prior to submitting said plans to Engineering for City Engineer's signature.

C.4. Building Permit

Prior to building permit release, Developer shall demonstrate, to the satisfaction of the City Engineer, compliance with all required Conditions of Approval, including, but not limited to, the following:

C.4.1 Developer has satisfied all the requirements set forth in Condition C.1 through C.2, above.

C.4.2 Prior to building permit release, Developer shall pay all applicable City and County development impact fees to the satisfaction of the City Engineer.

C.4.3 Prior to building permit release, Developer shall have obtained a Grading Permit.

Building Permit Special Condition(s)

NONE

C.5. Acceptance of Public Improvements and Occupancy

Prior to acceptance of public improvements, if applicable, Developer shall demonstrate to the satisfaction of the City Engineer completion of the following:

C.5.1 Developer has satisfied all the requirements set forth in these Conditions of Approval.

C.5.2 Prior to any form of occupancy, Developer shall demonstrate satisfactory completion of all required/conditioned improvements. Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).

C.5.3 Prior to any form of occupancy, Developer shall provide Certified "As-Built" Improvement Plans (or Record Drawings) from the Project's CA-CE. Upon completion of the construction by the Developer, the City, at its sole discretion,

temporarily release the original mylars of the Improvement Plans to the Developer so that the Developer will be able to document revisions to show the "As-Built" configuration of all improvements.

- C.5.4 Prior to any form of occupancy, Developer shall provide both AutoCAD files (including all X-references files), and GIS Shape files (both in formats approved by the City) for the public improvements.
- C.5.5 Prior to any form of occupancy, Developer shall complete potable domestic and irrigation water service connection(s). Developer shall also complete all fire water lines to fire sprinkler system and on-site fire hydrants. These items are to be installed per City requirements.
- C.5.6 Prior to any form of occupancy, Developer shall complete all sewer improvements. Developer shall also complete but not limited to reconstructing PCC curb, gutter, and sidewalk, replacing asphalt concrete pavement, restoring pavement marking and striping, and other improvements that are disturbed because of installing the Project's permanent sewer connection.
- C.5.7 Developer shall repair or reconstruct street pavement, curb, gutter and sidewalk and other public improvements for this Project, if determined by the City Engineer to be in poor condition or damaged by construction activities related to the Project.
- C.5.8 Prior to acceptance of public improvements, Developer has completed the ninety (90) day public landscaping maintenance period.
- C.5.9 Prior to improvement acceptance Per Section 21107.5 of the California Vehicle Code, Developer shall install signs at all entrance(s) of the Project stating that the streets are privately owned and maintained and are not subject to the public traffic regulations or control. Said signs must be conspicuously placed, plainly visible, and legible during daylight hours from a distance of one hundred (100) feet, if applicable.
- C.5.10 Prior to improvement acceptance, Developer shall submit warranty bonds.
- C.5.11 Prior to acceptance of public improvements, Developer shall have constructed all public improvements in accordance City requirements, the recommendation(s) of the Project's (CA-CE), and to the satisfaction of the City Engineer.
- C.5.12 Release of Improvement Security – Release of improvement security shall be in accordance with the requirements of Title 12 of the TMC. Monumentation Bond will be released to the Developer after the City Council's acceptance of the public improvements and if the Developer meets the terms set in Section 66497(c) of the Subdivision Map Act. All survey monuments shown on the Final Map, if applicable, must be installed. Any altered, damaged, or destroyed survey monuments and/or benchmarks shall be re-established. The Developer shall submit centerline tie sheets or a record of survey for the following: new public streets; re-established survey monuments, and/or benchmarks. If the Developer

destroyed, altered, and/or reconstructed any existing curb returns, Developer shall also submit corner records. Any survey document will be submitted the City and to the San Joaquin County Surveyor to comply with California Business and Professions Code Section 8771(c). Said work shall be executed by a California licensed Land Surveyor at the Developer's sole expense.

Acceptance or Occupancy Special Condition(s)

C.5.13 Prior to issuance of temporary/final certificate of occupancy of the first building, the Developer shall demonstrate to the satisfaction of the Fire Marshal that all applicable fire flow parameters are met.

C.5.14 The Developer has completed construction of all required public facilities for the building for which a certificate of occupancy is requested and all the improvements required in these Conditions of Approval. Unless specifically provided in these Conditions of Approval, or some other applicable City Regulations, the Developer shall use diligent and good faith efforts in taking all actions necessary to construct all public facilities required to serve the Project, and the Developer shall bear all costs related to construction of the public facilities (including all costs of design, construction, construction management, plan check, inspection, land acquisition, program implementation, and contingency).

C.6. Special Conditions

C.6.1 When Street cuts are made for the installation of utilities in the paved street, the Developer shall conform to Section 3.13 of the 2020 Design Standards and is required install a 2-inch-thick asphalt concrete (AC) overlay with reinforcing fabric at least 25-feet from all sides of each utility trench. A 2-inch-deep grind on the existing AC pavement will be required where the AC overlay will be applied and shall be uniform thickness in order to maintain current pavement grades, cross and longitudinal slopes. This pavement repair requirement is when cuts/trenches are perpendicular and parallel to the street's direction.

C.6.2 Nothing contained herein shall be construed to permit any violation of relevant ordinances and regulations of the City of Tracy, or other public agency having jurisdiction. This Condition of Approval does not preclude the City from requiring pertinent revisions and additional requirements to the improvement plans, prior to the City Engineer's signature on the improvement plans, and prior to issuance of Grading Permit, Encroachment Permit, Building Permit, if the City Engineer finds it necessary due to public health and safety reasons, and it is in the best interest of the City. The Developer shall bear all the cost for the inclusion, design, and implementation of such additions and requirements, without reimbursement or any payment from the City.

C.6.3 If water is required for the project, the Developer shall obtain an account for the water service and register for a temporary water meter with the City Finance Department and Public Works Departments. The Developer shall pay all fees

associated with obtaining the account number and temporary water meter for the water service.

- C.6.4 Developer shall obtain an account for the water service to the Project and register the water meter with the Finance Department and Public Works department. The Developer shall prepare and submit a map depicting the location of the water meter on an 8.5-inch X 11-inch sheet to the Finance Department.

D. Building Division Conditions

E.1. Prior to the construction of the project, applicant shall submit construction documents, plans, specifications and/or calculations to the Building Safety Division, which meet all requirements of Title 24 California Code of Regulations and City of Tracy Municipal Codes, as applicable.

E. South San Joaquin County Fire Authority (SSJCFA) Conditions

1. Prior to construction, applicant shall submit construction documents to the South San Joaquin County Fire Authority for review and approval.
 - a. Construction documents shall be designed to the current edition of the California Code of Regulations, Title 24, as amended by the City of Tracy Municipal Code.
 - b. Deferred submittals for fire sprinkler system, fire protection water supply, and fire alarm system shall be listed on the coversheet. Each deferred submittal shall be submitted, reviewed and approved by SSJCFA prior to installation.
 - c. Fire protection water supply application must be submitted separately from construction permit. All piping and installation shall be in accordance with CFC §507 & NFPA standards. Approval of grading and/or on-site improvements does not grant installation of underground fire service.
 - d. Fire sprinklers shall be designed by a licensed fire protection contractor or engineer. Hydraulic calculations, specifications and plans shall be submitted prior to issuance of building permit.
 - e. A request for fire flow shall be submitted to the South San Joaquin County Fire Authority and results shall be approved by the Fire Marshal prior to construction. Fire flow requirements shall be in accordance with CFC Appendix B.
 - f. Fire department connections shall be installed in accordance with CFC §912 and NFPA standards. A hydrant shall be placed within 100' of the FDC, in accordance with 2022 California Fire Code §912.2.1 as amended by the Tracy Municipal Code §9.06.070 Section 912.2.1. FDC locations shall be approved by the fire code official prior to issuance of construction permit.
 - g. Fire control room locations shall be approved the fire code official prior to the issuance of construction permit.
 - h. Provide a truck turning template which clearly shows the truck turning radius of 30' inside and 50' outside. Truck turning template shall show all ingress and egress paths available.
2. Engineering and building permit applications received by our offices are subject to the current fee schedule for South San Joaquin County Fire Authority. Contact our offices for additional information.