

50-06-SGN

May 17, 2006

City of Tracy Planning Division
 APPROVE
 DENY
 BY [Signature] C DATE 10/11/06
 COMMENTS/CONDITIONS:

Master Sign Program
 Tracy Business Center
 450 W. Larch Rd.

A. Introduction

The intent of the Signage Criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at the above - mentioned project. Performance of the Signage Criteria shall be rigorously enforced. Any non-conforming signs shall be removed by the tenant or their sign contractor at their expense, upon demand by Owner/Developer or City of Tracy. Exceptions to these standards shall be reviewed by the Owner/Developer & the City of Tracy. Owner/Developer will retain full rights of approval of any sign used in the Center prior to submittal to the City of Tracy for required permits.

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 OCT 09 2006
 CITY OF TRACY

The signage and graphics described in this section have been designed to enhance Tracy Business Center. The design of all graphics has been carefully considered in relation to the site architecture and landscaping. On a functional level, signage is provided for the identification of the center and its frontages, as well as to meet the directional and identification needs of shoppers once they have entered the site.

B. General Landlord/Tenant Requirements

1. Each tenant shall submit five (5) copies of detailed shop drawings of the proposed sign to the owner/developer For written review, indicating conformance with the sign criteria herein outlined.
2. Tenant shall submit a signed drawing approved by the Landlord/Developer to the City of Tracy for approval prior to the start of any sign construction or fabrication. All sign types will require written approval of the Landlord/Developer and the City of Tracy California. Sign permits from the City are required prior to installation.
3. Tenant shall pay for all signs, their installation (including final connection, transformers and all other labor and materials) and maintenance.
4. Tenant shall obtain all necessary permits from the City of Tracy
5. Tenant shall be responsible for fulfillment of all requirements of the Signage Criteria.

6. The location of all signs shall be per the accompanying design criteria.
7. Except as permitted herein, any illuminated sign or lighting device shall employ only lights emitting a light of constant intensity, and no sign shall be illuminated by or contain flashing, intermittent, rotating or moving lighting or lights.
8. All illuminated Building Wall and Fascia Signs shall be internally illuminated individual letters.
9. Temporary wall signs, temporary leasing signs, pennants, banners or flags, inflatable display or sandwich boards will be allowed only if consistent with provisions in the City sign ordinance.
10. No window signs except those allowed as door signs & which meet the specifications described in the Master Sign Program
11. Tenant shall verify his sign location and size with Landlord/Developer prior to fabrication.
12. Signs that vary from these signage criteria must first be approved by Landlord/Developer and the City of Tracy
13. Tenant signs shall be designed in a manner that is not only imaginative but also of high graphic quality. In addition, signs should be compatible with and complementing to the scale and color of adjacent facades. Tenant is required to maintain their sign in good working order and replace defective lights, components, etc. as necessary.
14. Tenant signs that incorporate logos, business identities and/or images denoting the type of business shall be encouraged. Logo design and color are to be approved by Landlord/Developer
15. Logo and letter heights, where specified, shall be determined by measuring the normal capital letter of a font inclusive of swashes, ascenders and descenders and shall remain within the sign area designated.
16. Notwithstanding the maximum square footage specified for copy real allowances, sign and typography in all cases shall appear balanced and in scale within the context of the sign space and the buildings as a whole. Thickness, height and color of sign lettering shall be visually balanced and in proportion to other signs on the building.
17. All sign fabrication shall be of excellent quality. All logo images and typestyles shall be accurately reproduced. Lettering That approximates typestyles will not be accepted. The Landlord/Developer reserves the right to reject any fabrication work deemed to be below standard.

C. GENERAL SIGN SPECIFICATIONS

1. No exposed raceways, crossovers, conduits, conductors, transformers, tubing, junction boxes neon, lamps, etc. shall be permitted.
2. All lettering shall be restricted to the "maximum sign letter copy area." See attached design criteria for specific information.
3. No projection above or below the "maximum sign letter copy area" will be permitted (except as otherwise approved in writing by the Landlord/Developer & the City of Tracy).
4. All signs and their installation must comply with all local building and electrical codes and bear a UL label placed in an inconspicuous location. Electrical service to the sign shall be paid for by Tenant.
5. All signs shall be individual channel letters.

D. INTERNALLY ILLUMINATED SIGN SPECIFICATIONS

1. Shop signs shall be mounted to the building wall or fascia in designated areas only and may not exceed eighty percent (80%) of the leaseholder width. The individual letter signs are to be centered horizontally on the lease frontage and vertically on the signband.
2. No more than one row of letters are permitted, unless otherwise approved by Landlord/Developer, provided that in any event the total height does not exceed the height of the maximum sign letter "copy area".
3. The "copy" (letter type), logos and their respective colors shall be submitted to the Landlord/Developer and the City of Tracy for approval prior to fabrication.
4. Unless specified herein, wording of Tenant signage is limited to the Tenant's trade name and logo(s). Each Tenant's customary signature logo, hallmark, insignia or other trademarks will be respected.
5. For Internally illuminated, individual channel letter signs shall be illuminated using plastic faces.
6. The Channel letters shall be constructed of aluminum and fastened to the wall or fascia in an concealed manner (refer to section). All metal shall receive a minimum of two (2) coats of primer and one (1) coat of finish.
7. Internally illuminated signs shall be L.E.D. All signage shall be installed and labeled in accordance with the "National Board of Fire Underwriters Specifications".
8. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and shall be patched to match adjacent finish.
9. Upon removal of any sign, the building or wall surface shall be patched, textured, sealed and painted to match its original condition.

E. PROHIBITED SIGNAGE AND SIGNAGE COMPONENT RESTRICTIONS

1. **Signs Constituting a Traffic Hazard:**
No person shall install, maintain or cause to be installed or maintained any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or any other symbols or characters in such a manner to interfere with, mislead or confuse traffic.
2. **Immoral or Unlawful Advertising:**
It shall be unlawful for any person to exhibit, post, display, or cause to be exhibited, posted or displayed upon any sign, anything of an obscene, indecent, or immoral nature or unlawful activity.
3. **Signs on Doors or Windows:**
No sign shall be installed, located, or maintained so as to prevent free ingress or egress from any door. No sign shall be placed on the exterior of the premises except as permitted herein. No sign of any kind shall be attached to the standpipe except those signs as required by code or ordinance.
4. **Animated, Audible or Moving Signs:**
Signs consisting of any moving, swinging, rotating, flashing, or otherwise animated light are prohibited, as are any signs designed to emit any type of audible signal, except where specifically permitted in these guidelines.
5. **Off-Premises Signs:**
Off premises signs are not allowed. Any unauthorized off-premises sign may be removed without notice by Owner/Developer or the City of Tracy at Tenant's expense.
6. **Vehicle Signs:**
Signs, parking lot filers on or affixed to trucks, automobiles, trailers, or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of service from such vehicles, are prohibited.
7. Any sign located on the roof or projecting above the roofline of a building is prohibited.
8. Freestanding signs except as provided in this document are prohibited.
9. Permanent advertising devices such as attraction boards, posters, banners and flags, except where specifically approved by the Owner/Developer and the City, are prohibited.
10. Window signs, except where specifically approved by the Owner/Developer and the City, are prohibited.
11. Except where allowed by City permit regulations, signs manufacture's names, stamps, or decals visible from the streets or normal viewing

angles are prohibited

12. Luminous vacuum-formed acrylic signs and letters, including pre-manufactured and franchise signs, with the exception of site and directional signage approved by the Landlord/Developer and the City, are prohibited.
- 13 Styrofoam, cardboard, or paper signs, stickers or deals hung around, on or behind storefronts are prohibited.

F. BUILDING WALL AND FASCIA SIGNS

Building wall and fascia signs are permitted which identify the name and associated corporate logo of a business, subject to the provisions below.

1. ~~Maximum Letter Height and Sign Copy Area: 24"~~
Building A. (units 1-8) & Building C. (units 31-38) = The maximum sign area is 0.64 square foot of sign area per lineal foot of building frontage of the business being advertised, except for logos which are allowed a maximum of 0.50 square foot of sign area per lineal foot of building frontage of business being advertised.
Building B= No signage allowed
2. The maximum sign length for building wall and fascia signs is eighty percent (80%) horizontal length of the building signboard plane or tenant frontage of the wall on which they are on.
3. Except as specifically permitted herein, sign copy is limited to the display of the business name and corporate logo or trademark.
4. Tenant signs shall be located per the attached sign location guideline illustrated.

G. DOOR SIGNAGE:

1. For purpose of store identification, Tenant will be permitted to place upon each entrance door to its premises of white vinyl decal application lettering maximum 18"x 30", indicating tenant's name, house of business, emergency telephone, etc. The number of letters type shall be the tenant choice and owner approved.
2. Window door signs are intended to provide identification to pedestrians near building storefronts. Such signs are required of each shop tenant and shall be located about or adjacent to the primary entrance.
3. No window signage except door signs as specified
4. No electrical messaging ornamentation will be permitted.

5. Lighting may be from a concealed internal or external source.
6. No product signs advertising merchandise carried or services provided by tenant shall be permitted.
7. Neon window signage is not allowed.

H. SIGNAGE SHOP DRAWINGS

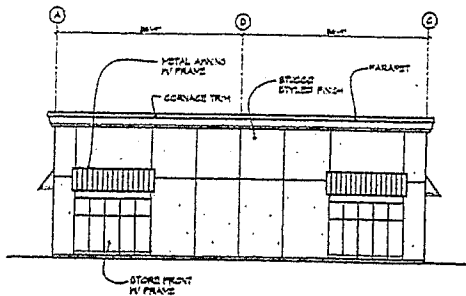
1. Signage shop drawings submitted by the Tenant shall provide complete information for the Landlord/Developer & the City of Tracy to understand the signage design and appearance. Fabrication or installation of the tenant's signage shall not commence before the Landlord/Developer & the City of Tracy approval of the signage shop drawings. These shall be of an appropriate scale to relate to the size, shape, and distinctive characteristics of the signs to the building(s) in question. In addition, the tenant shall provide drawings and written matter to describe such features as letter types, materials, shapes, illumination, and colors of proposed signs.
2. Submitted signage shop drawings shall provide the following information:
 - a. Elevation of the store illustrating sign location, with dimensions.
 - b. Section or sections through the sign, indicating construction and compliance with these standards.
 - c. Identify the materials, size, color scheme, fabrication techniques, illumination, and mounting system.
 - d. Site plan indicating location of tenant space and proposed sign.

INTERNAL DIRECTORY SIGNS

Buildings A & C = 3'x3' (9 SF) 8 Tenants Each

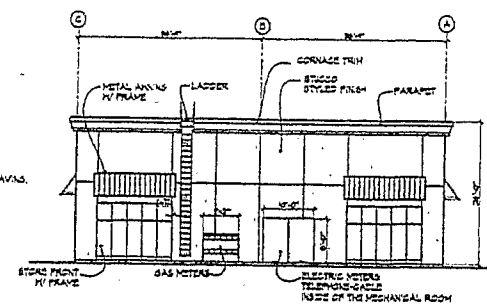
Building B = 4'x4' (16 SF) 22 Tenants

Each tenant is permitted the business name on the directory. Phone numbers, Product advertisement, etc. is not permitted. All verbage to be approved by Landlord/Developer

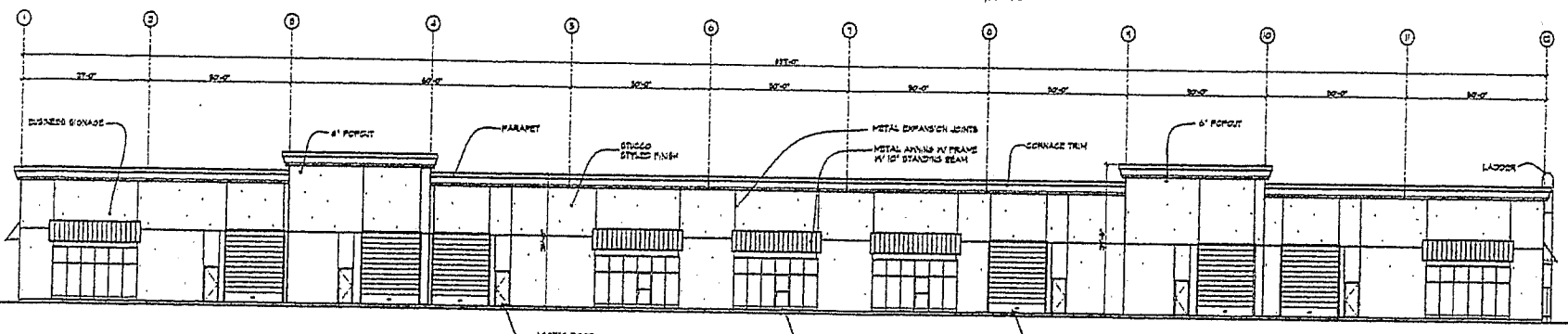


WEST ELEVATION
SCALE: 3/8" = 1'-0"

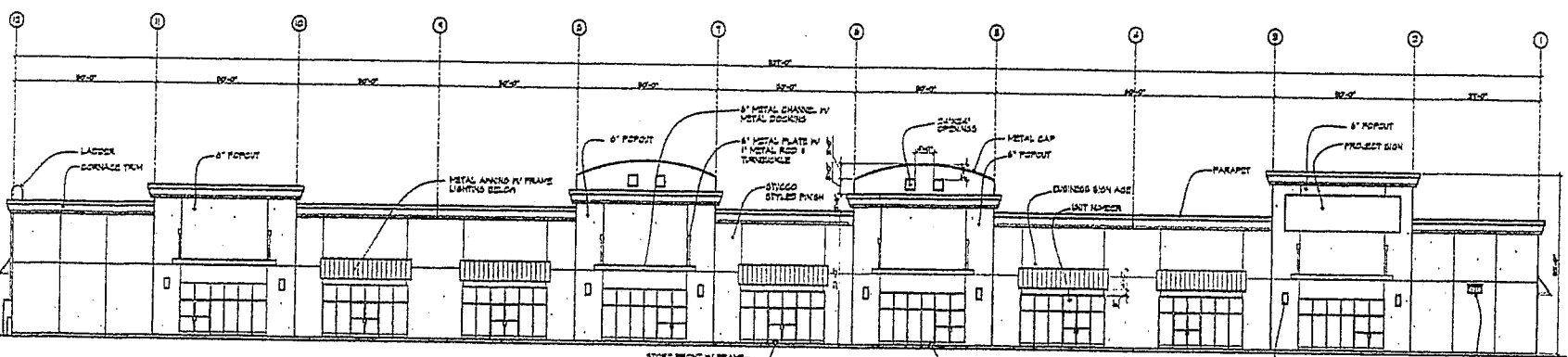
NOTE: STUCCO IS SHEET, 20 RICH MINIMUM THICK, HAS TWO LAYERS OF BRASS 2 PAPER UNDER STUCCO FINISH SECOND OVER FINISHED SHEATHING AND HAS 2x4 GALVANIZED IRON BOLDED AT FOUNDATION PLATE AND AT LEAST 4" ABOVE GRADE FOR 2" ABOVE CONCRETE OR PAVING.



EAST ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



NORTH ELEVATION
SCALE: 3/8" = 1'-0"

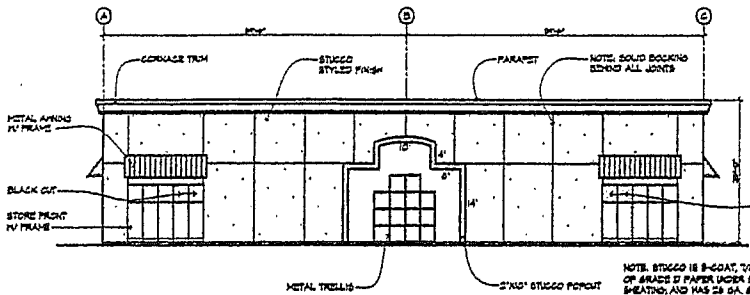
REVISION	BY

CROWELL ARCHITECTS
P.O. BOX 16 ALAMO CA 94501
TEL: 415 961 1111

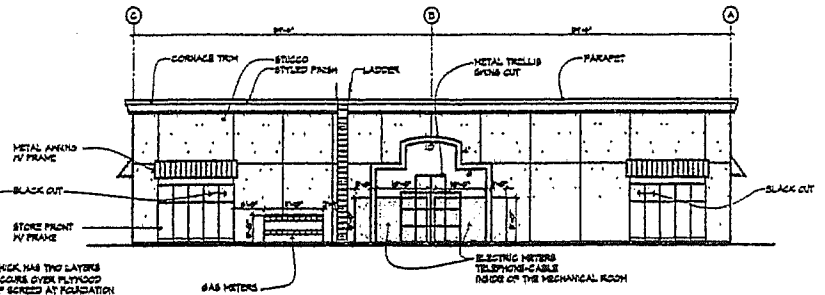
New Building
TRACY BUSINESS CENTER
450 WEST LARCH ROAD, TRACY, CA 95376

BUILDING "A" ELEVATIONS

DATE: 8/12/08
SCALE: AS NOTED
DRAWN: JN
BY: CROWELL
SHEET: **A5**



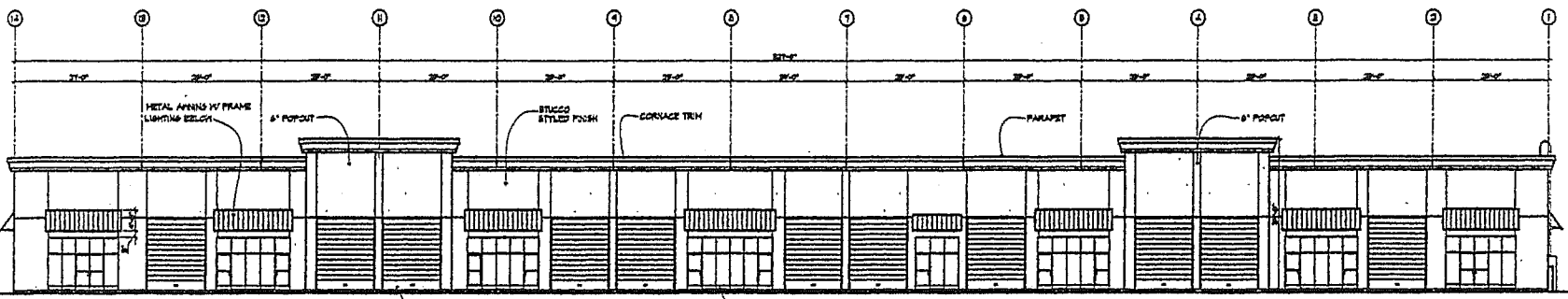
WEST ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"

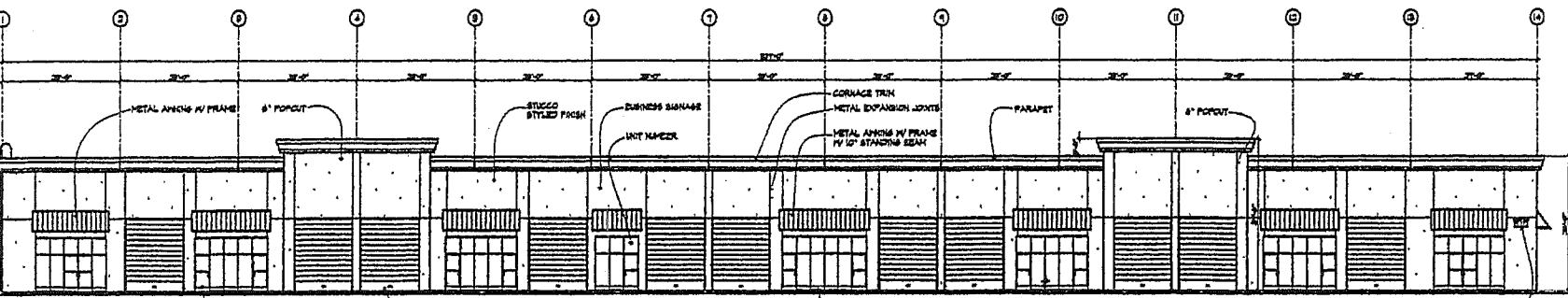
NOTE: STUCCO IS 8-COAT, 1/8" HIGH MODIUM THICK, HAS TWO LAYERS OF GRASSH 2 PAPER UNDER STUCCO WHERE JOINTS OVER PLINTHOOD BREAKING, AND HAS 25 GA. GALVANIZED MESH SCREEN AT FOUNDATION PLATE LINE AT LEAST 2" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAYMANT).

ELECTRIC METERS TELEPHONE-CABLE RIDGE OF THE MECHANICAL ROOM



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

12' X 14' METAL ROLL-UP DOOR 2" PANELS, RECESSED DOORS
STORE FRONT IV FRAME BRUNCE ADORNED METAL IV GREY GLASS



NORTH ELEVATION
SCALE: 3/8" = 1'-0"

BUSINESS ENTRY DOOR
12' X 14' METAL ROLL-UP DOOR
STORE FRONT IV FRAME BRUNCE ADORNED METAL IV GREY GLASS

NOTE: BUILDING ADDRESS 15' LETTERS

REVISIONS	BY

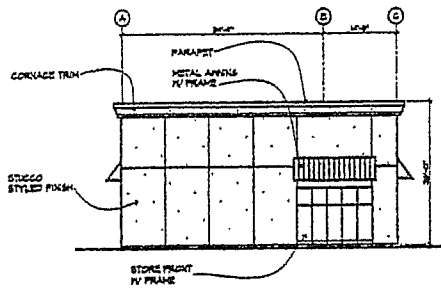
CROWELL ARCHITECTS
P.O. BOX 141, ALAMOGA, N.M. 87001
PHONE (505) 224-1100
FAX (505) 224-1101

New Building
TRACY BUSINESS CENTER
450 WEST LAND ROAD, TRACY, CA. 95378

BUILDING ELEVATIONS

DATE	01/17/2008
SCALE	AS NOTED
DESIGNER	JH
DRAWN	CROWELL
CHECKED	
DATE	

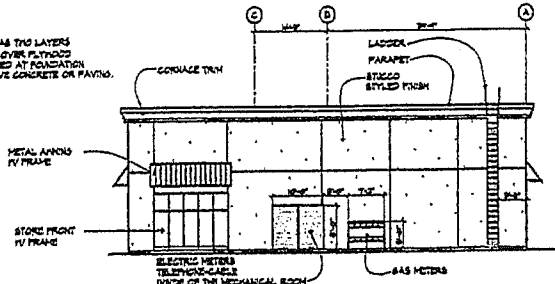
A6



WEST ELEVATION

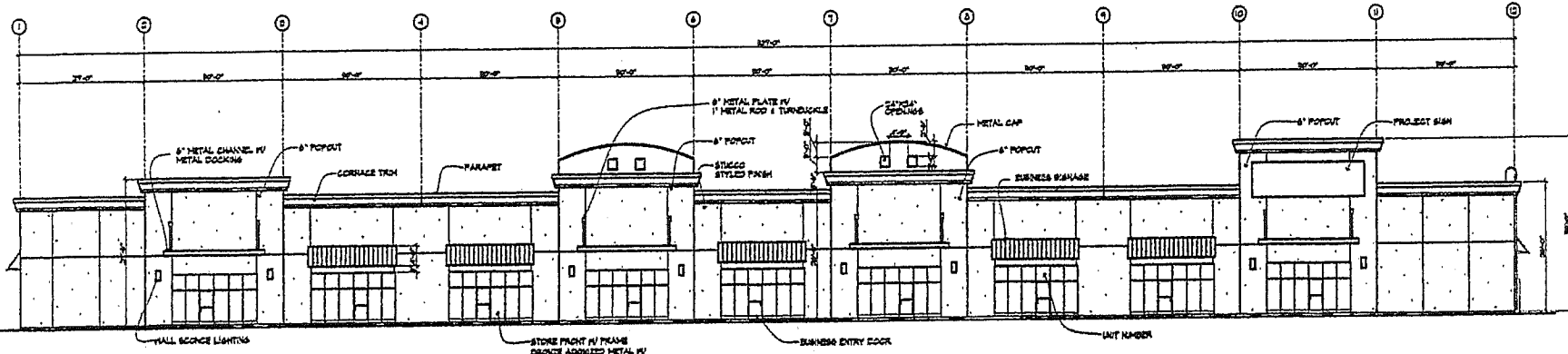
SCALE: 3/8" = 1'-0"

NOTE: STUCCO IS 8-COAT, 1/2" THICK MESH THICK HAS TWO LAYERS OF GRADE 2 PAPER UNDER STUCCO HERE DOORS OVER PLYWOOD SHEATHING AND HAS 2" GA. GALVANIZED IRON SCREWS AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE ON PAVING).



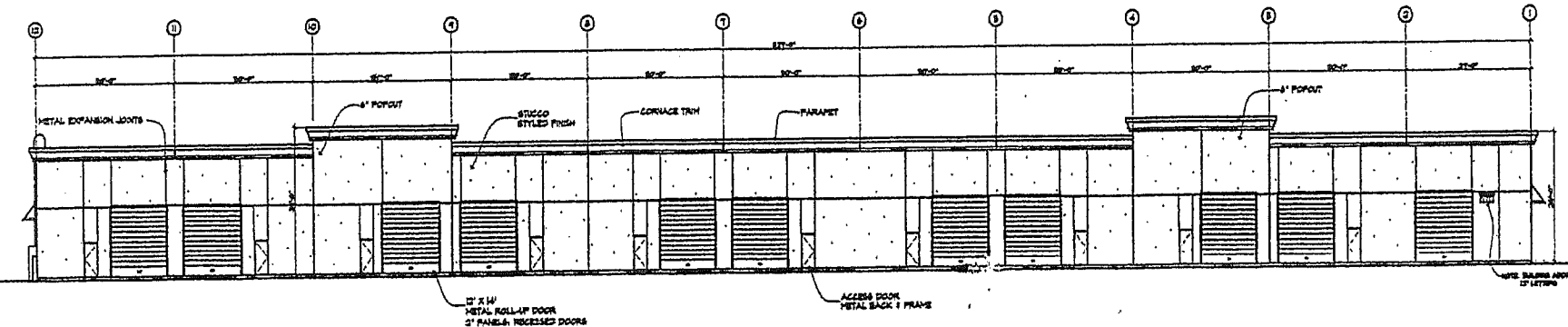
EAST ELEVATION

SCALE: 3/8" = 1'-0"



SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



NORTH ELEVATION

SCALE: 3/8" = 1'-0"

REVISION	BY

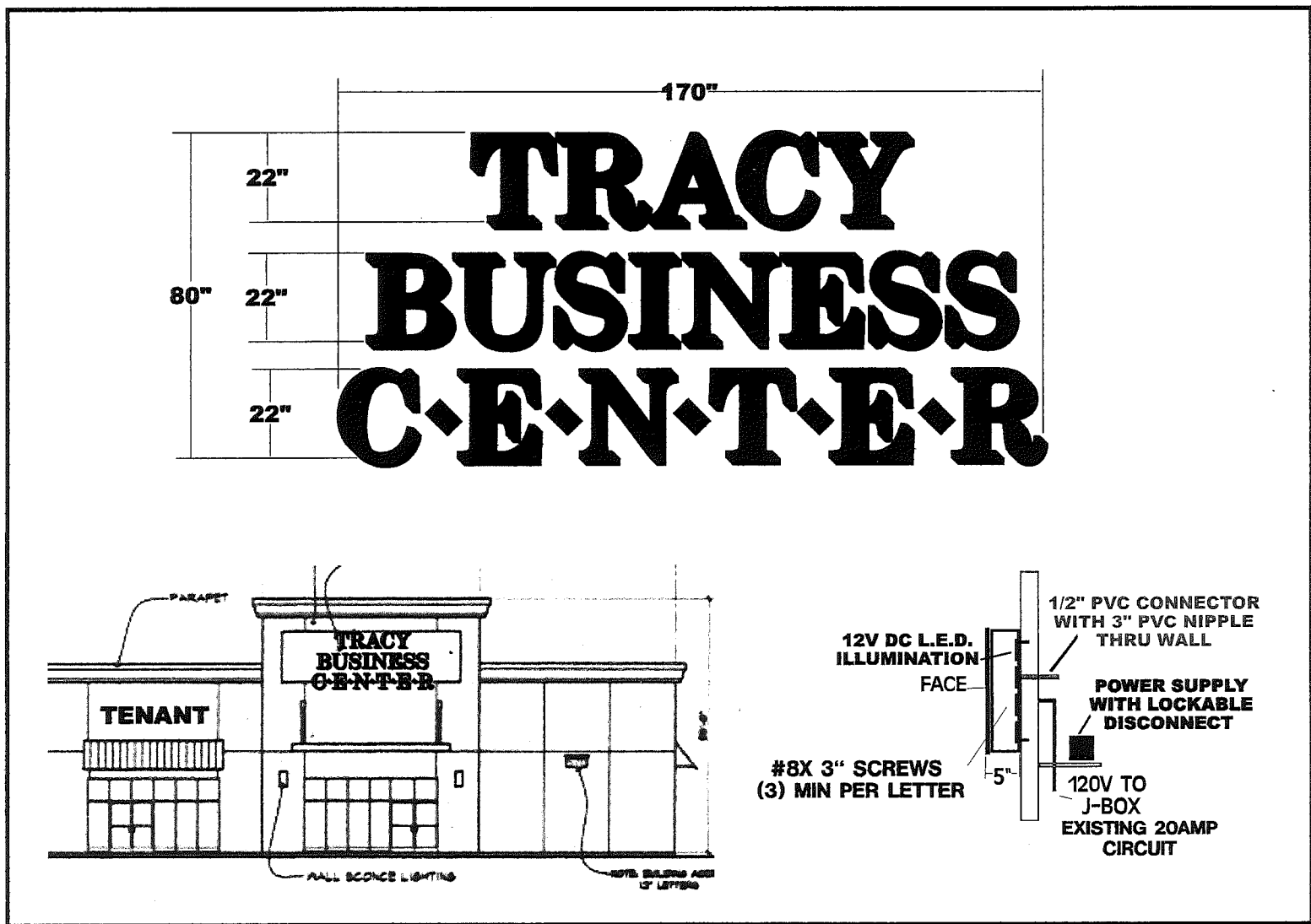
CROWELL ARCHITECTS
 712 10th St. Alameda CA 94501
 415 761-1111

New Building
TRACY BUSINESS CENTER
 400 WEST LARCH ROAD, TRACY, CA 95376

BUILDING "C" ELEVATIONS

DATE: 8.11.2008
 DRAWN: AS NOTED
 CHECKED: JN
 PROJECT: CROWELL

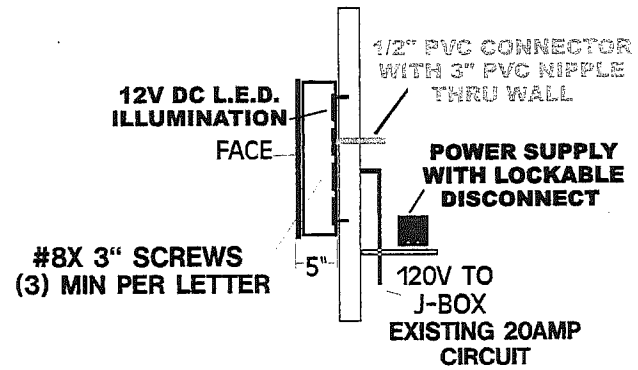
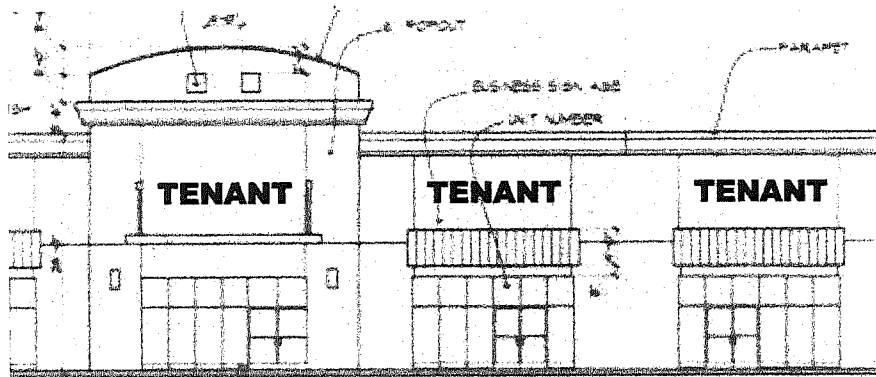
A7



REVISIONS	BY
CROWELL ARCHITECTS	
FLOOR PLAN, ELEVATION, SECTION, EXTERIOR SIGNAGE, INTERIOR SIGNAGE	
TRACY BUSINESS CENTER	
New Building TRACY BUSINESS CENTER 600 WEST LARCH ROAD, TRACY, CA 95378	
BUILDINGS A & C	
DATE	10/4/2006
BY	AS NOTED
CHKD	CROWELL
A5	

24"

TENANT



CROWELL
ARCHITECTS

TRACY BUSINESS CENTER

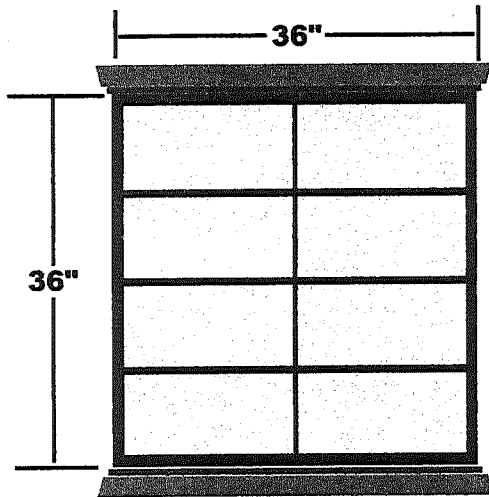
BUILDING ELEVATIONS

DATE: 5/1/2008
DRAWN BY: AS NOTED
CHECKED BY: J. CROWELL
SCALE: 1/8" = 1'-0"

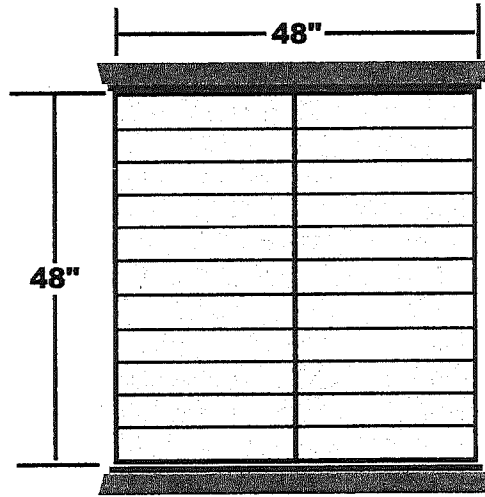
A5

ALUM DIRECTORY FRAME

BLDG A & C



BLDG B



**(8) #10 X 3"
TAPCON
SCREWS
INTO BUILDING**

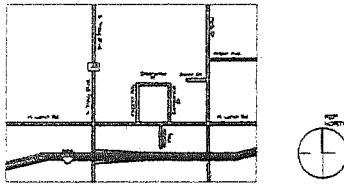


<p>DATE: _____</p> <p>CROWELL ARCHITECTS</p> <p>PROJECT: _____</p> <p>NO. _____</p>
<p>New Building TRACY BUSINESS CENTER 1000 W. GARDENWAY, TRACY, CA 95376</p>
<p>BUILDING ELEVATIONS</p>
<p>DATE: 3/13/2009</p> <p>BY: AS NOTED</p> <p>BY: CROWELL</p>
<p>A5</p>

TRACY BUSINESS CENTER

CROWELL DEVELOPEMENT, INC.

VICINITY MAP



PROJECT INFORMATION

ACREAGE - TOTAL SITE	5.04	221,910	SQ. FT.
BUILDING COVERAGE	33%	54,227	SQ. FT.
DRIVEWAY & PARKING (24 SPACES)	24%	107,227	SQ. FT.
CONCRETE PADS & PAVEMENTS	13%	13,926	SQ. FT.
LANDSCAPE COVERAGE	15%	14,267	SQ. FT.

SHADING CALCULATION

TOTAL SHADED AREA	43,018	SQ. FT.
TOTAL PARKING LOT AREA	107,227	SQ. FT.
REQUIRED SHADED AREA (40%)	42,931	SQ. FT.
PERCENT SHADED	42%	

PARKING REQUIREMENTS

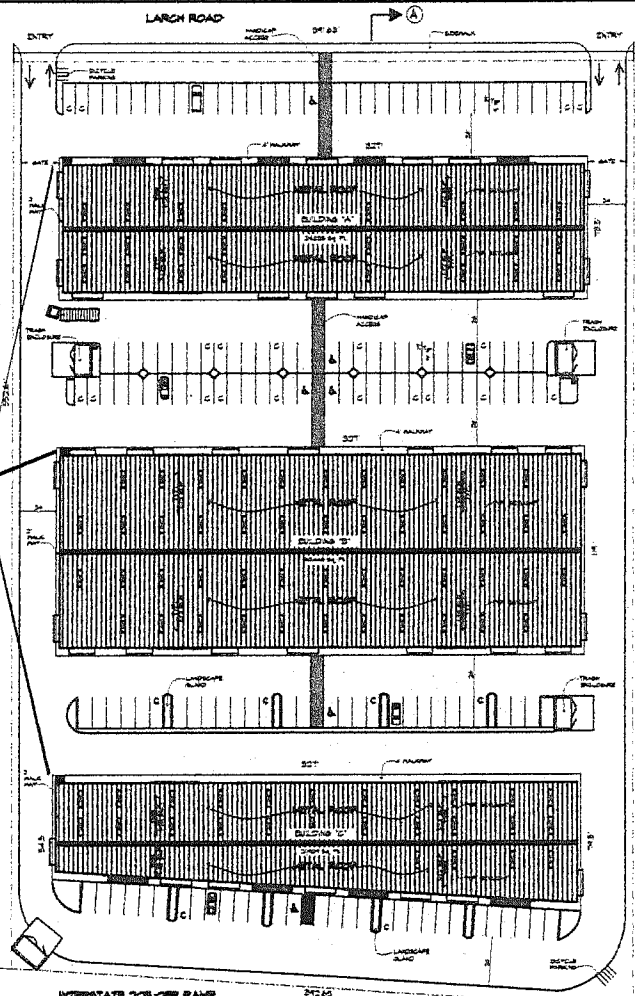
REGULAR SPACES	18
COMPACT SPACES	26
TOTAL SPACES	54

NOTE: SITE PLAN IS FOR GENERAL LAYOUT ONLY

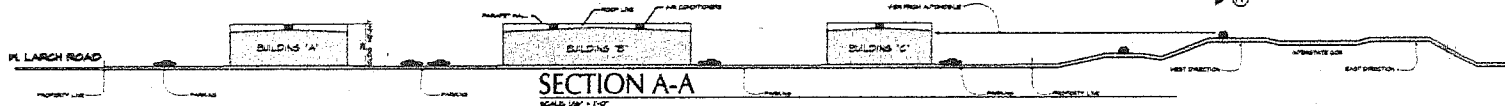
NOTE: FOR ALL DIMENSIONS, ROADS, PARKING, ETC. AND HANDICAPPED REQUIREMENTS SEE SHEET C-5 CIVIL

NOTE: ROOF PLAN, SEE STRUCTURAL DRAWINGS FOR DETAIL

DIRECTORY SIGNS



SITE / ROOF PLAN
SCALE: 1/8" = 1'-0"



SECTION A-A
SCALE: 1/8" = 1'-0"

REVISION	BY
CROWELL ARCHITECTS	
100 SOUTH LARCH ROAD, TRACY, CA 95376	
New Building TRACY BUSINESS CENTER 100 WEST LARCH ROAD, TRACY, CA 95376	
VICINITY MAP, PROJECT INFORMATION, SHADING CALCULATION, PARKING REQUIREMENTS, SITE/ROOF PLAN, SECTION A-A	
DATE	5/17/2008
SCALE	AS NOTED
BY	
CHKD	CROWELL
APP	
A1	