

NOTE:
 A LOT LINE ADJUSTMENT OR A PARCEL MERGER WILL BE PROCESSED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT

SITE PLAN KEY NOTES

- ① PLANTER
 - ② PICNIC TABLE
 - ③ BBQ
 - ④ ELECTRIC METER
 - ⑤ GAS METER
 - ⑥ AIR CONDITIONING UNIT (ALLOW 12" CLEARANCE AROUND THE UNIT)
 - ⑦ ARCHITECTURAL ROCKS OR STONE CASE PLANTERS
- SECOND FLOOR INDICATION
 - CONCRETE WALK
 - DRIVEWAY PAVERS
 - NEW ASPHALT
 - LANDSCAPE AREA (SEE LANDSCAPE PLAN)
- ← TRAFFIC FLOW ARROWS FOR SITE ENTRY
- TRAFFIC FLOW ARROWS FOR SITE EXIT
- NEW PROJECT BOUNDARY

SITE COVERAGE

DRIVEWAY & RESIDENTIAL PARKING AREA:	2615± SQUARE FEET
BUILDING FOOTPRINT AREA:	
SINGLE FAMILY RESIDENCE:	1056± SQUARE FEET
SINGLE FAMILY RESIDENCE:	1056± SQUARE FEET
MULTI FAMILY RESIDENCE:	1987± SQUARE FEET
TOTAL FOOTPRINT COVERAGE:	4098± SQUARE FEET
PEDESTRIAN PATHS (SIDEWALK):	521± SQUARE FEET
OPEN SPACE:	2265± SQUARE FEET
TOTAL PROJECT LOT SIZE:	9603± SQUARE FEET

SITE PLAN NOTES

1. THIS SITE PLAN IS NOT A SURVEY. IT HAS BEEN PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES AND SUBSTRUCTURE.
2. ANY DISCREPANCIES BETWEEN ACTUAL ON-SITE CONDITIONS AND THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESOLVE WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
3. WATER SHALL BE PREVENTED FROM PONDING ANY WHERE ON-SITE AND PARTICULARLY NEAR THE BUILDING. WATER FROM DOWNSPOUTS AND YARD DRAINS SHALL BE CONNECTED TO TIGHTLINE PIPES THAT CARRY THE WATER TO AN AVAILABLE DISCHARGE FACILITY.
4. SLOPE DOWN 2% AWAY FROM EXTERIOR WALLS FOR A DISTANCE OF 4'-0" FOR SHEET DRAINAGE.
5. FOR ADDITIONAL SITE IMPROVEMENT INFORMATION, REFER TO THE CIVIL AND LANDSCAPE DRAWINGS.
6. CONTRACT UTILITY COMPANIES FOR DESIGN LAYOUT AND SPECIFICATIONS FOR UNDER GROUND UTILITIES.
7. THE SOIL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION PER SOIL REPORT RECOMMENDATIONS. THE INSPECTION AND TESTING REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT.
8. WHERE STREET CUTS ARE MADE FOR THE INSTALLATION OF WET AND DRY UTILITIES, APPLICATION OF A 2" THICK ASPHALT CONCRETE OVERLAY WITH REINFORCING FABRIC WILL BE REQUIRED, 25 FEET ON BOTH SIDES OF THE TRENCH AND FOR THE ENTIRE LENGTH OF THE TRENCH. IF THE TRENCH EXTENDS BEYOND THE CHE CENTER LINE OF THE STREET, THE EXTENT OF ASPHALT CONCRETE OVERLAY SHALL BE THE ENTIRE WIDTH OF THE PAVED STREET. EXISTING WATER SERVICE AND METER THAT WILL NOT BE UTILIZED SHALL BE REMOVED FROM THE GROUND UP TO THE POINT OF CONNECTION WITH THE WATER MAIN.
9. THE DESIGN AND CONSTRUCTION DETAILS OF IMPROVEMENTS SUCH AS CURB, GUTTER, SIDEWALK DRIVEWAY, WATER SERVICE, SEWER LATERAL AND OTHER ASSOCIATED IMPROVEMENTS THAT WILL BE CONSTRUCTED WITHIN THE CITY'S RIGHT-OF-WAY ON 8TH STREET AND GARNER ALLEY SHALL MEET CITY STANDARDS.

REVISIONS	BY
City Comments	
CITY COMMENTS 9/14/2017	
CITY COMMENTS 2/9/2018	

SITE PLAN

EAST 8TH STREET DOWNTOWN PROJECT
 21-29 EAST 8TH STREET
 AN AUF DER MAUR PROJECT

CALIFORNIA (925) 846-7642

TRACY

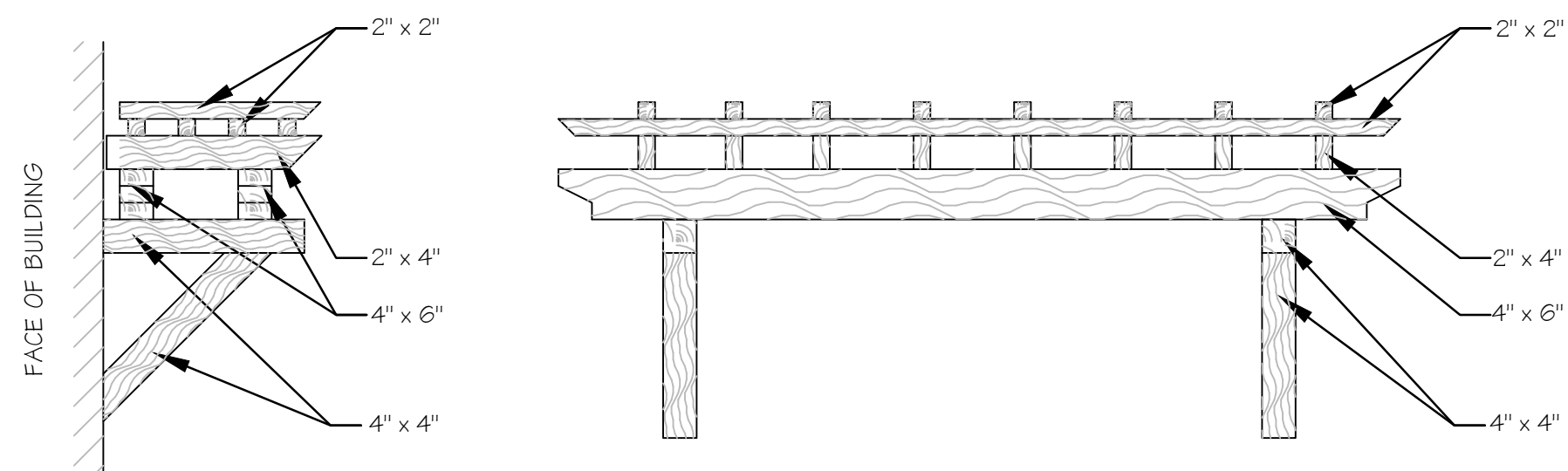
F. AdM ARCHITECT
 Frank Auf der Maur, Jr.
 Architect
 140 Spring Street Pleasanton, California 94566 (925) 846-7642

Date: 3/04/17
 Scale: 1/8"=1'-0"
 Design: F. AdM
 Drawn: MLWH
 Job: 21-29 8th St-SitePlan-A1
 Sheet: **A1**
 Of 2 Sheets 9



SITE PLAN
 PLAN NORTH

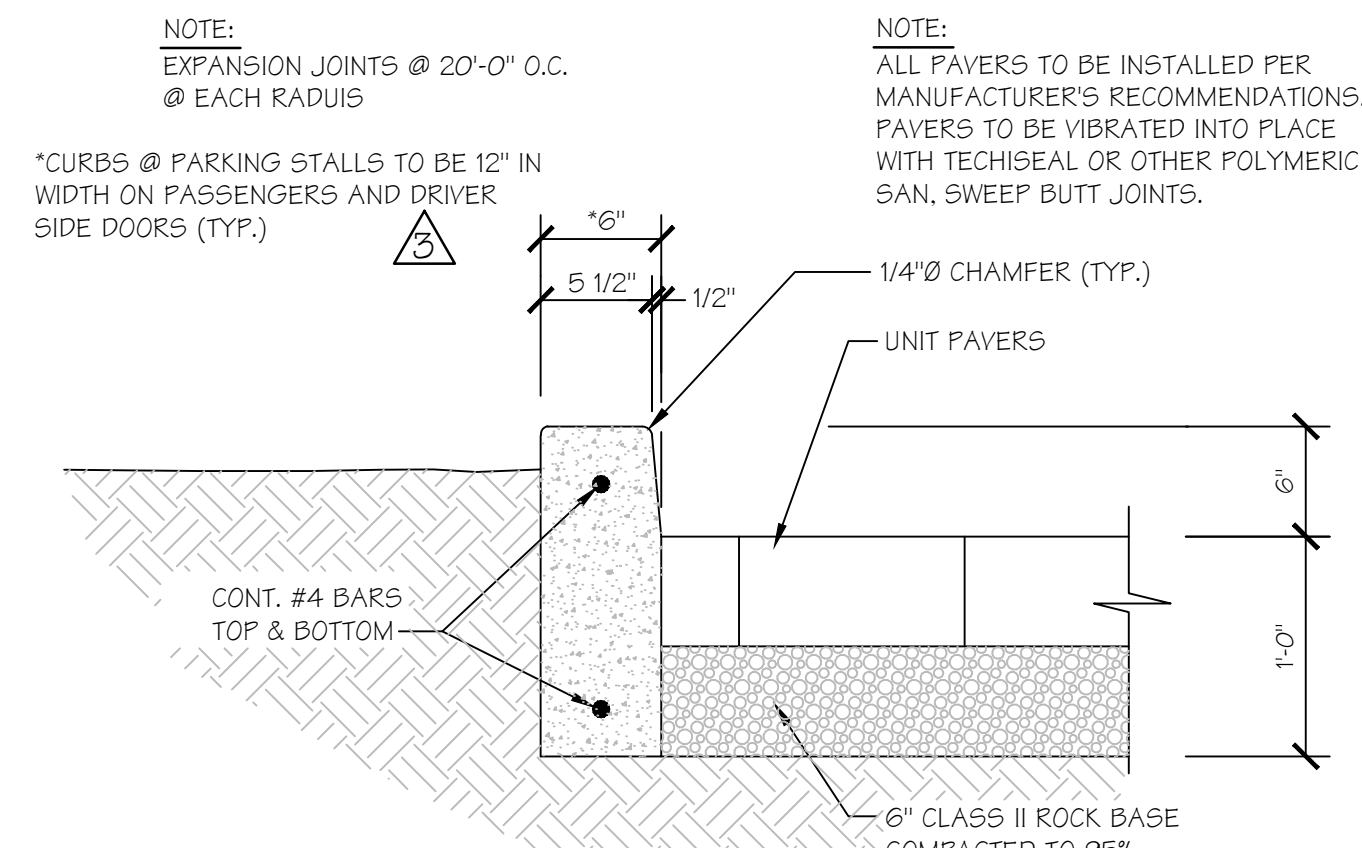
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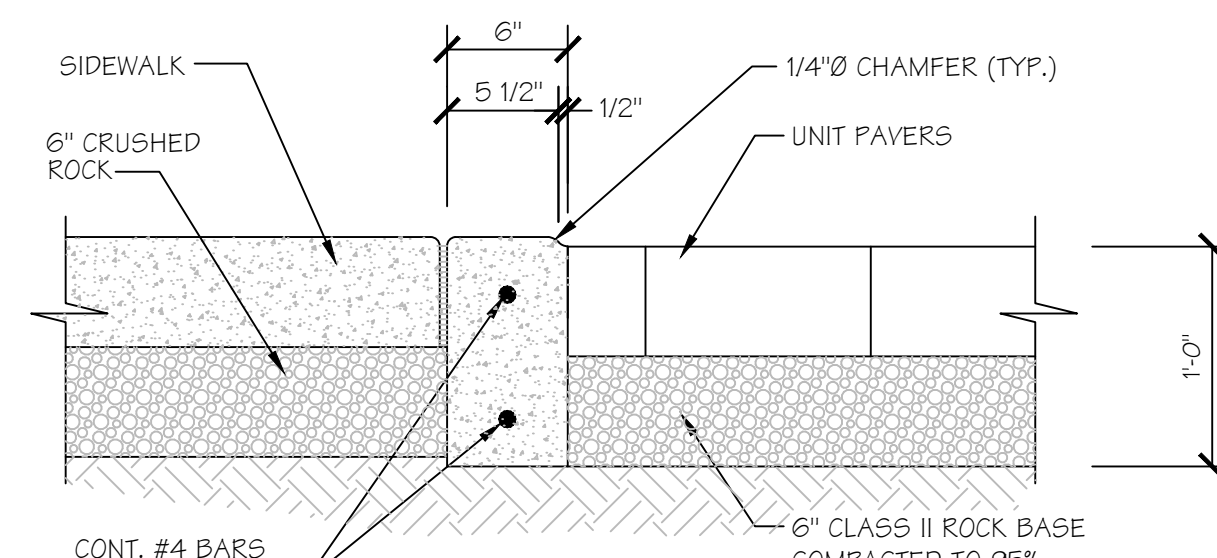
SIDE ELEVATION

FRONT ELEVATION

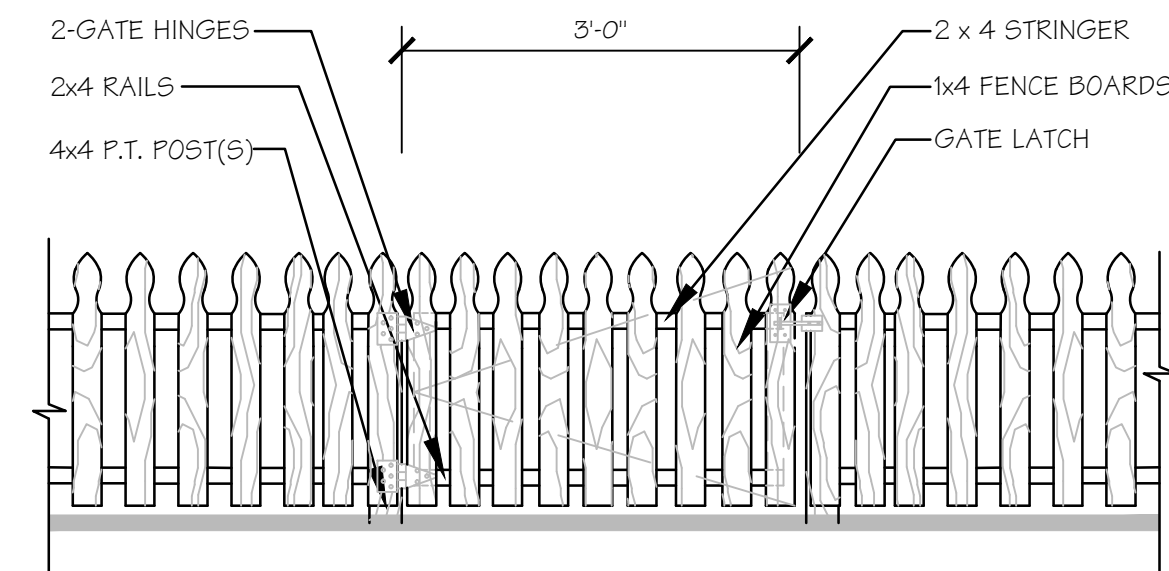
TRELLIS DETAIL 1
NOT TO SCALE



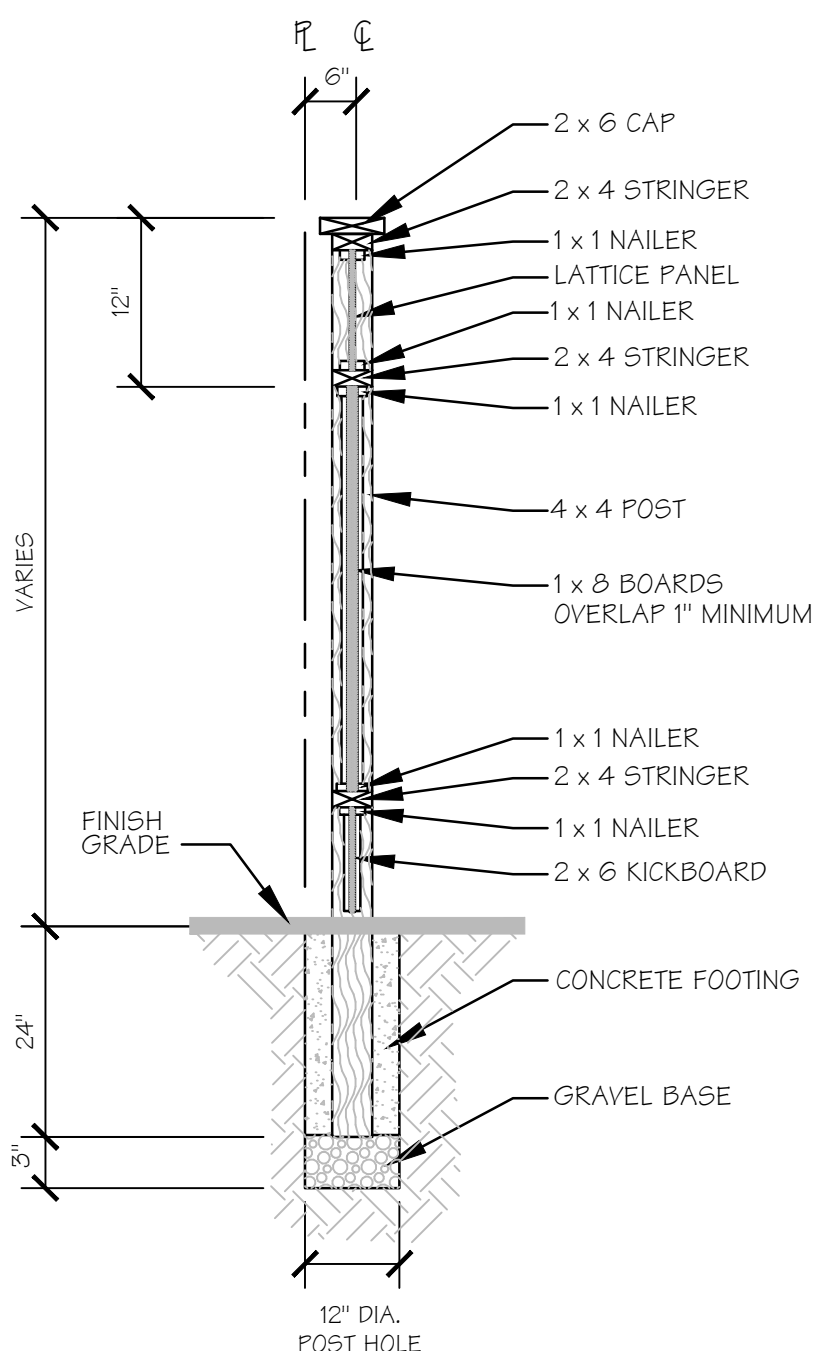
CURB & PAVING DETAIL 2
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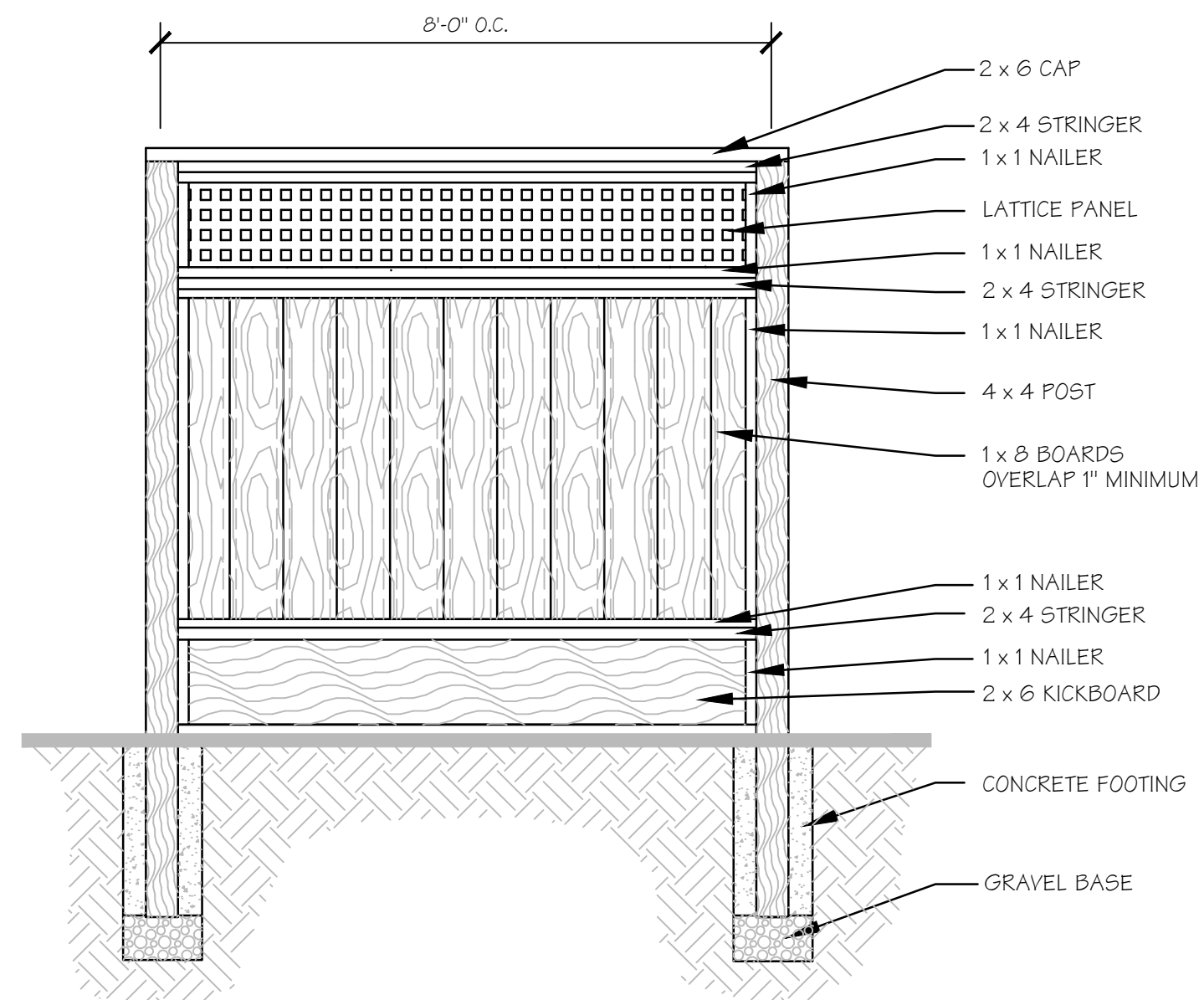
DEPRESSED CURB @ SIDEWALK DETAIL 3
NOT TO SCALE



TYPICAL PICKET GATE DETAIL 4
NOT TO SCALE

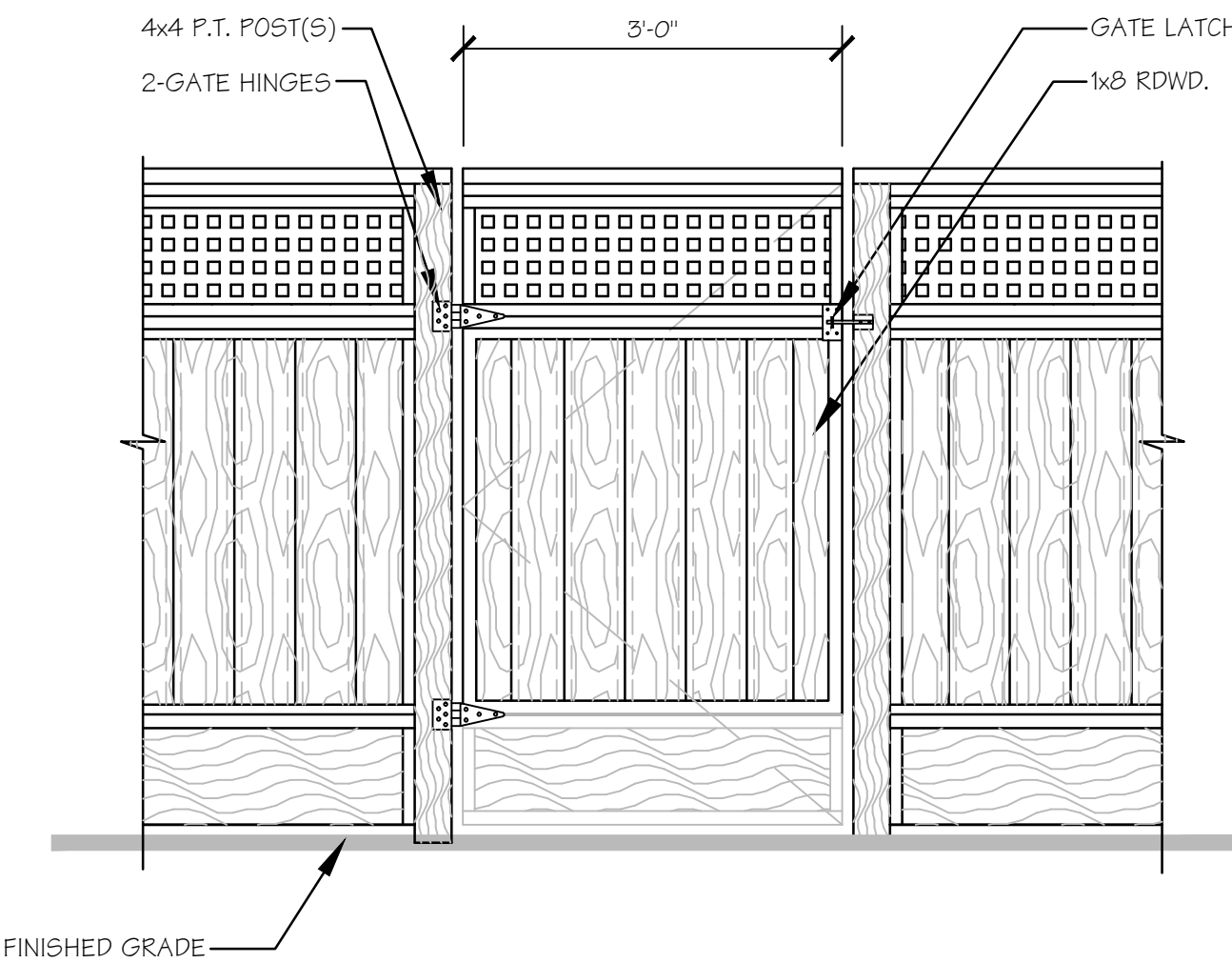


SIDE ELEVATION



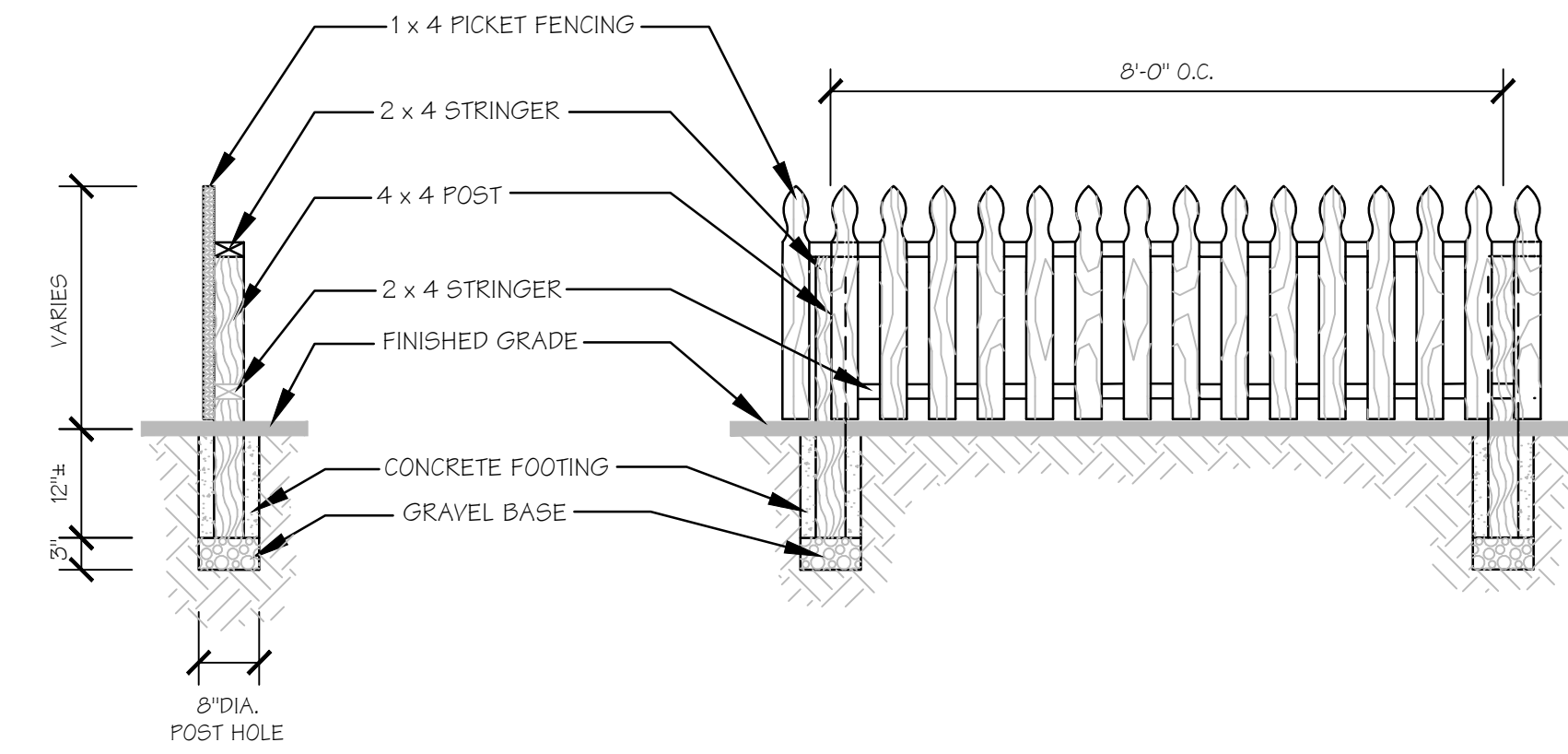
FRONT ELEVATION

FENCE DETAIL 5
NOT TO SCALE



FINISHED GRADE

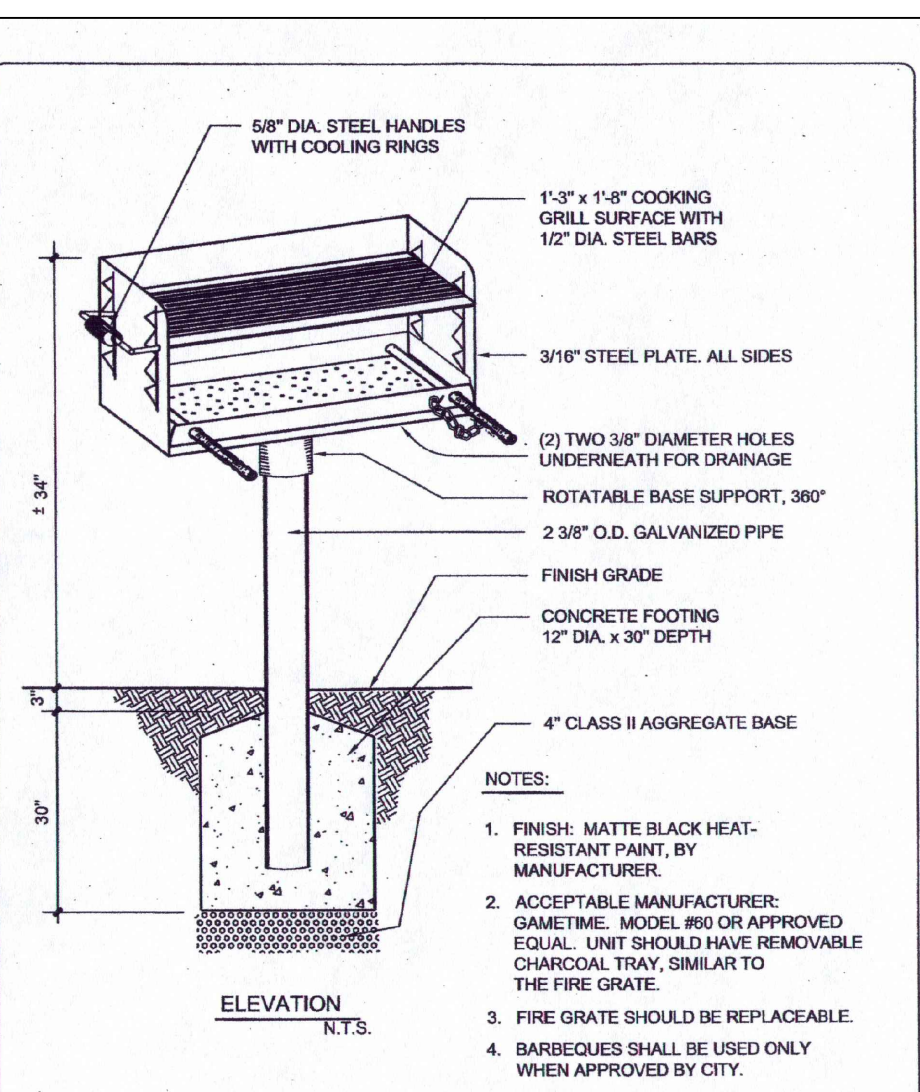
TYPICAL REDWOOD GATE DETAIL 6
NOT TO SCALE



SIDE ELEVATION

FRONT ELEVATION

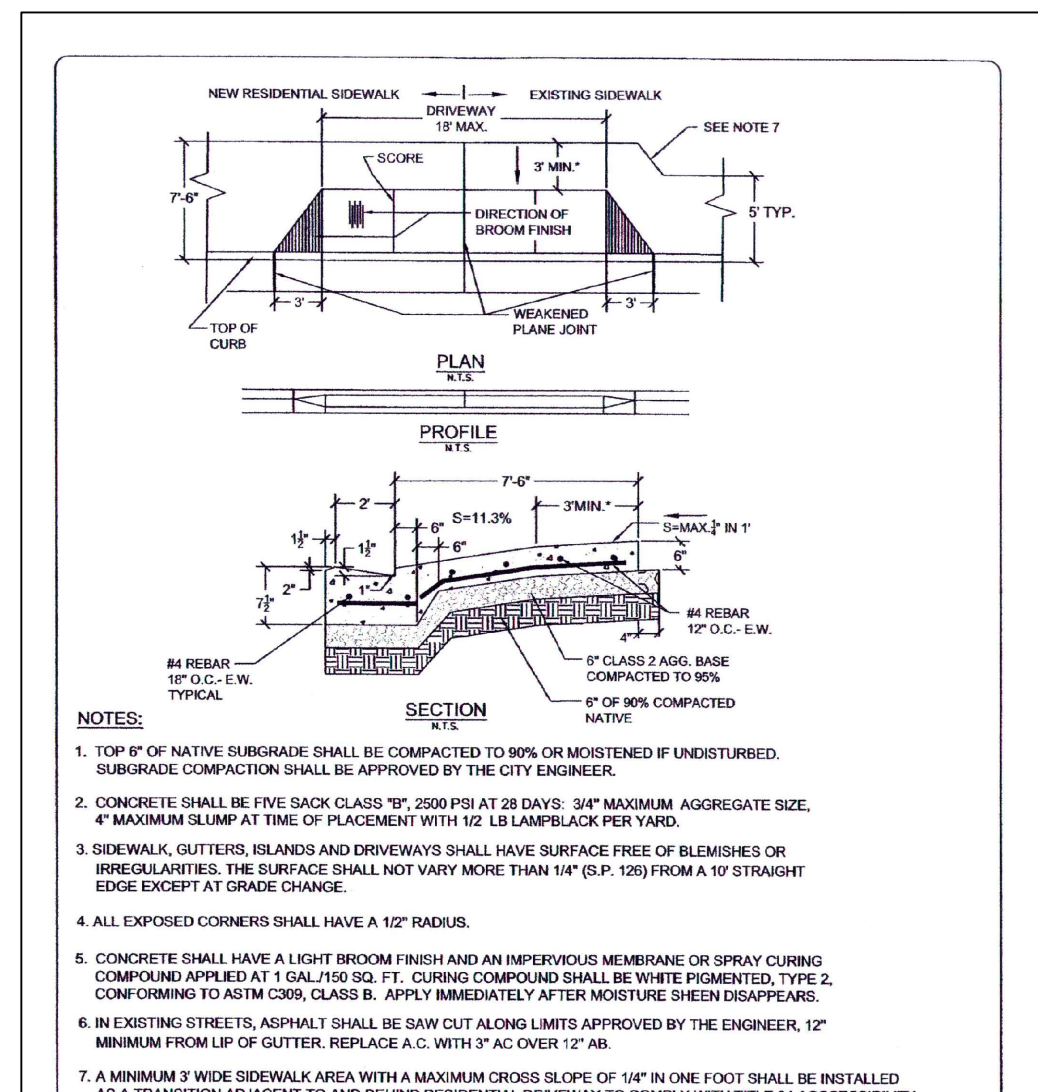
PICKET FENCE DETAIL 7
NOT TO SCALE



CITY OF TRACY

REVIEWED BY: <i>W. Adams</i>	DATE: 3/7/16	STANDARD PLAN No. 320	320
CITY ENGINEER			
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255

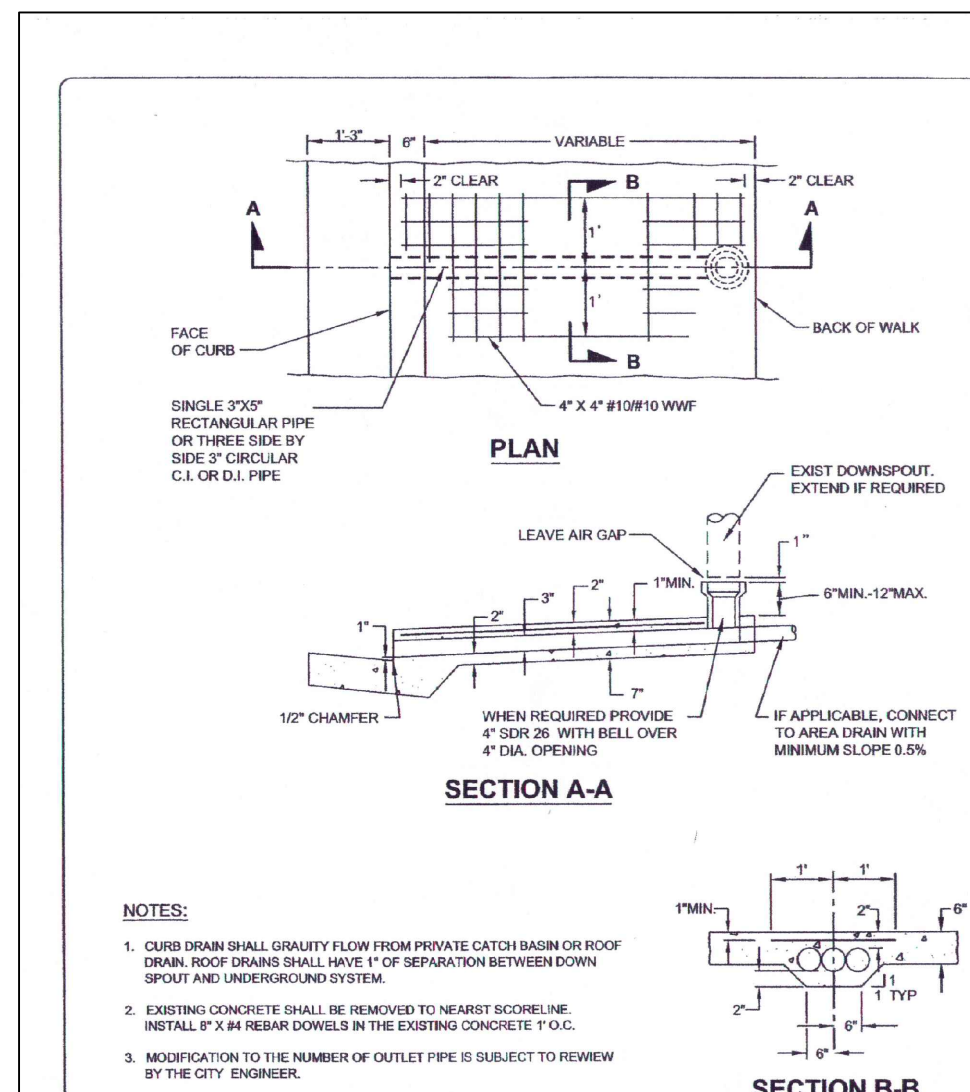
FURNISHINGS
Barbecue Stand
PARKS AND STREETSCAPE STANDARD PLANS



CITY OF TRACY

REVIEWED BY: <i>W. Adams</i>	DATE: 3/7/16	STANDARD PLAN No. 134	134
CITY ENGINEER			
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255

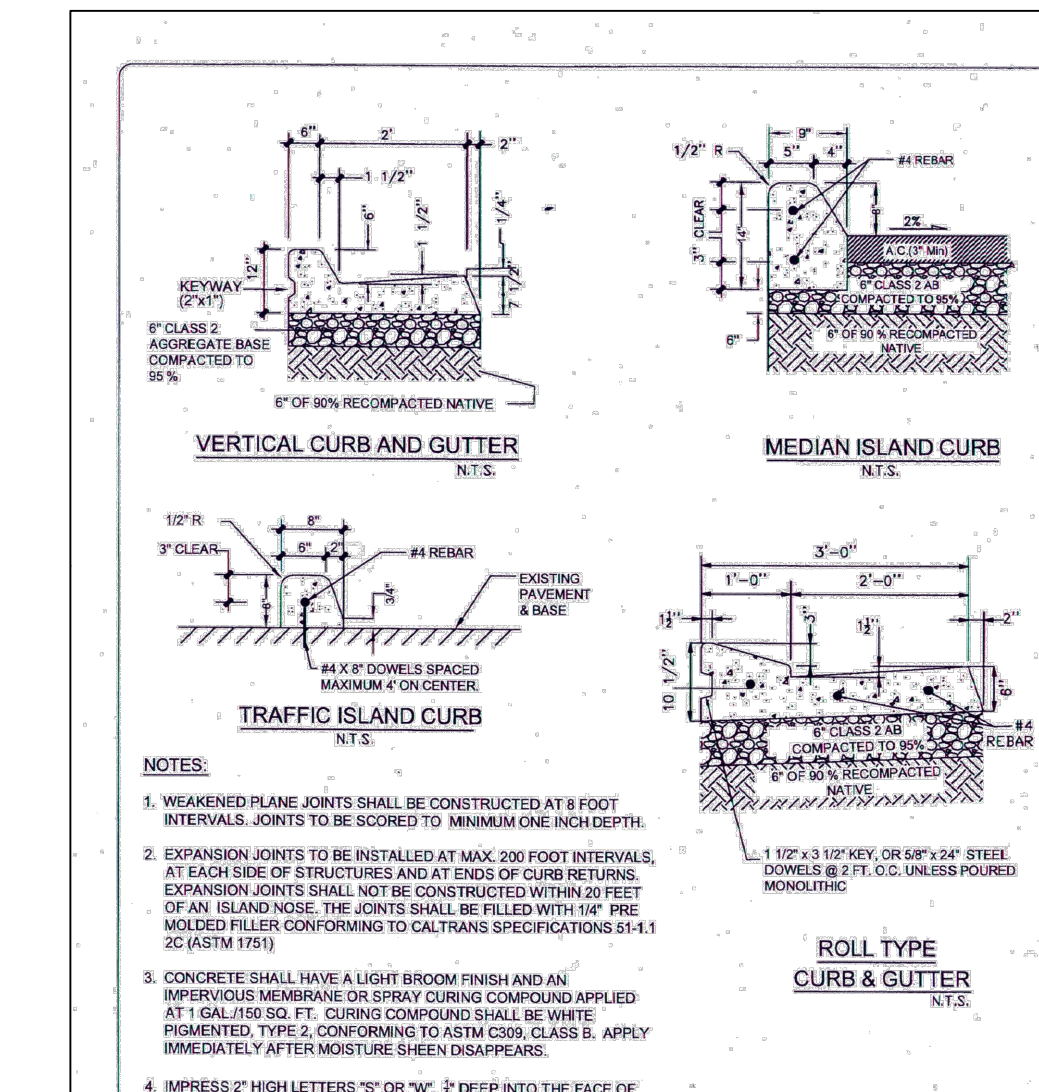
RESIDENTIAL DRIVEWAY APPROACH



CITY OF TRACY

REVIEWED BY: <i>W. Adams</i>	DATE: 3/7/16	STANDARD PLAN No. 320	320
CITY ENGINEER			
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255

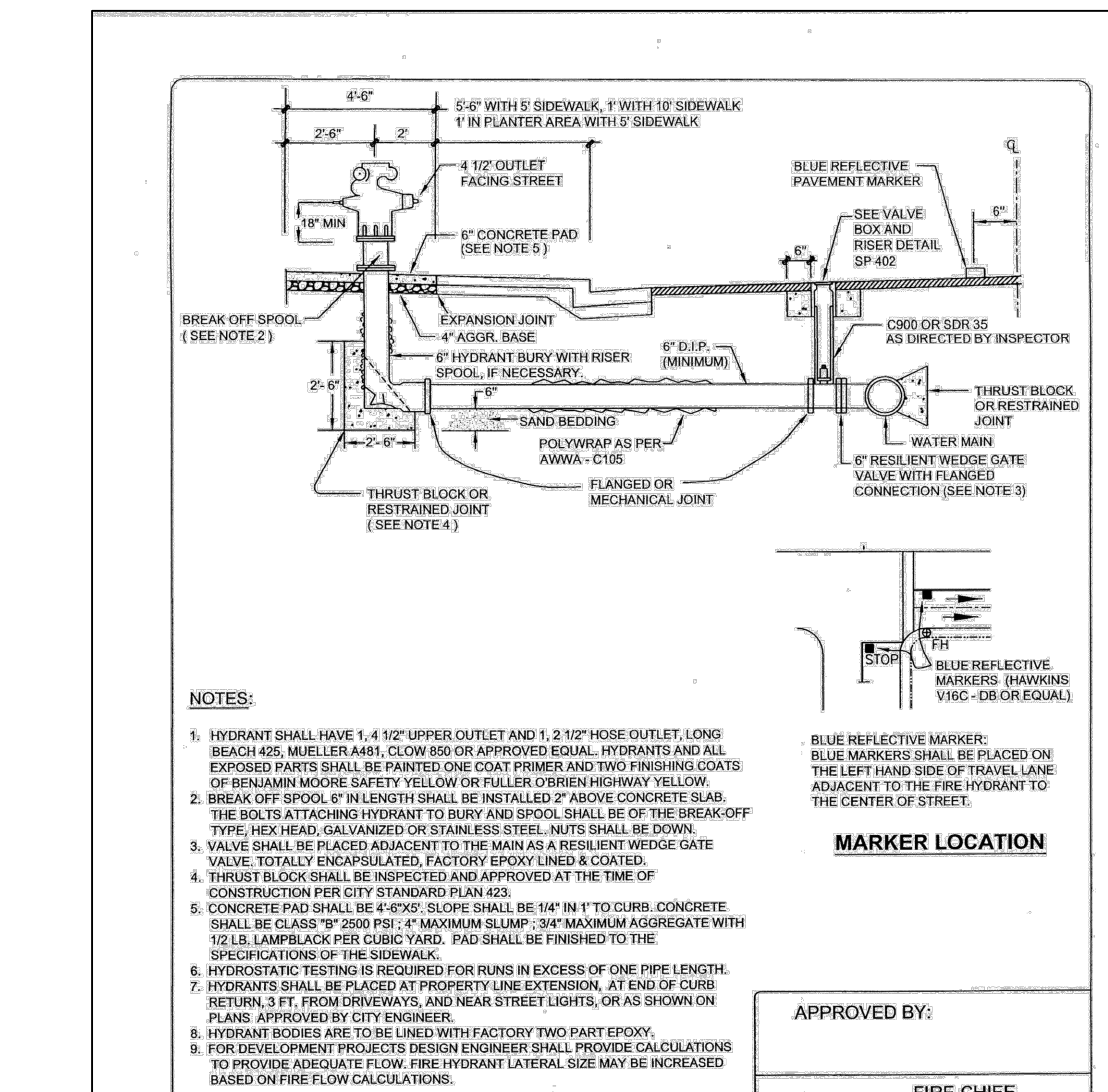
CURB DRAIN INSTALLATION



CITY OF TRACY

REVIEWED BY: <i>W. Adams</i>	DATE: 3/7/16	STANDARD PLAN No. 120	120
CITY ENGINEER			
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255

CURBS



CITY OF TRACY

REVIEWED BY: <i>W. Adams</i>	DATE: 3/7/16	STANDARD PLAN No. 401	401
CITY ENGINEER			
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255
Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255	Rev. No. 2008-255

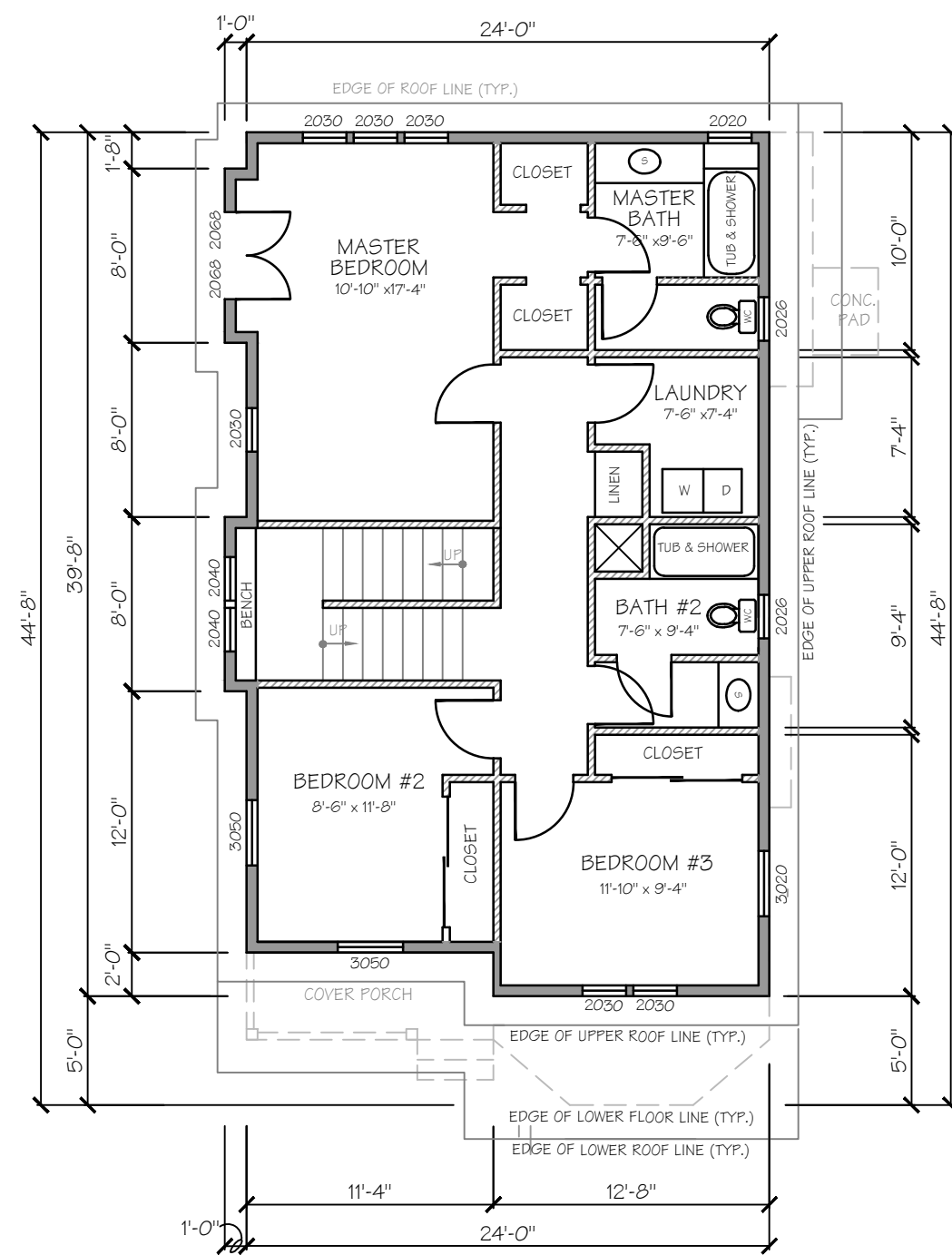
FIRE HYDRANT

REVISIONS	BY
CITY COMMENTS	3/14/2017
CITY COMMENTS	2/9/2018

EAST 8TH STREET DOWNTOWN PROJECT
21-29 EAST 8TH STREET
AN AUF DER MAUR PROJECT
PLEASANTON, CALIFORNIA 94566

SITE DETAILS
21-29 EAST 8TH STREET
CALIFORNIA (925) 846-7642
TRACY

F. Adm ARCHITECT
Frank Auf der Maur, Jr.
Architect
145 Spring Street
Pleasanton, California 94566 (925) 846-7642
Date: 3/05/17
Scale: AS SHOWN
Design: F. Adm
Drawn: MLWH
Job:
Sheet:
A1A
Of 3 Sheets 9



(N) SINGLE FAMILY DWELLING SECOND FLOOR PLAN
 PLAN NORTH RESIDENCE 1 & 2 SCALE: 1/8"=1'-0"
 0 4 8 16'



FRONT SINGLE FAMILY DWELLING ELEVATION
 RESIDENCE 1 & 2 SCALE: 1/8"=1'-0"



SIDE SINGLE FAMILY DWELLING ELEVATION
 RESIDENCE 1 & 2 SCALE: 1/8"=1'-0"

- LEGEND**
- (N) EXTERIOR WALL W/ 2x6 WD. STUDS @ 16"O.C. TYP.
 - (N) INTERIOR WALL W/ 2x4 WD. STUDS @ 16"O.C. TYP.
 - (E) WALL - VERIFY IN FIELD CONSTRUCTION
 - (N) 1 HOUR PARTY WALL W/ 2x6 WD. STUD @ 16"O.C. TYP. & (N) 1 HOUR WALL W/ 2x6 WD. STUD @ 16"O.C. TYP.
- EXTERIOR LIGHTING

SINGLE FAMILY DWELLING UNIT

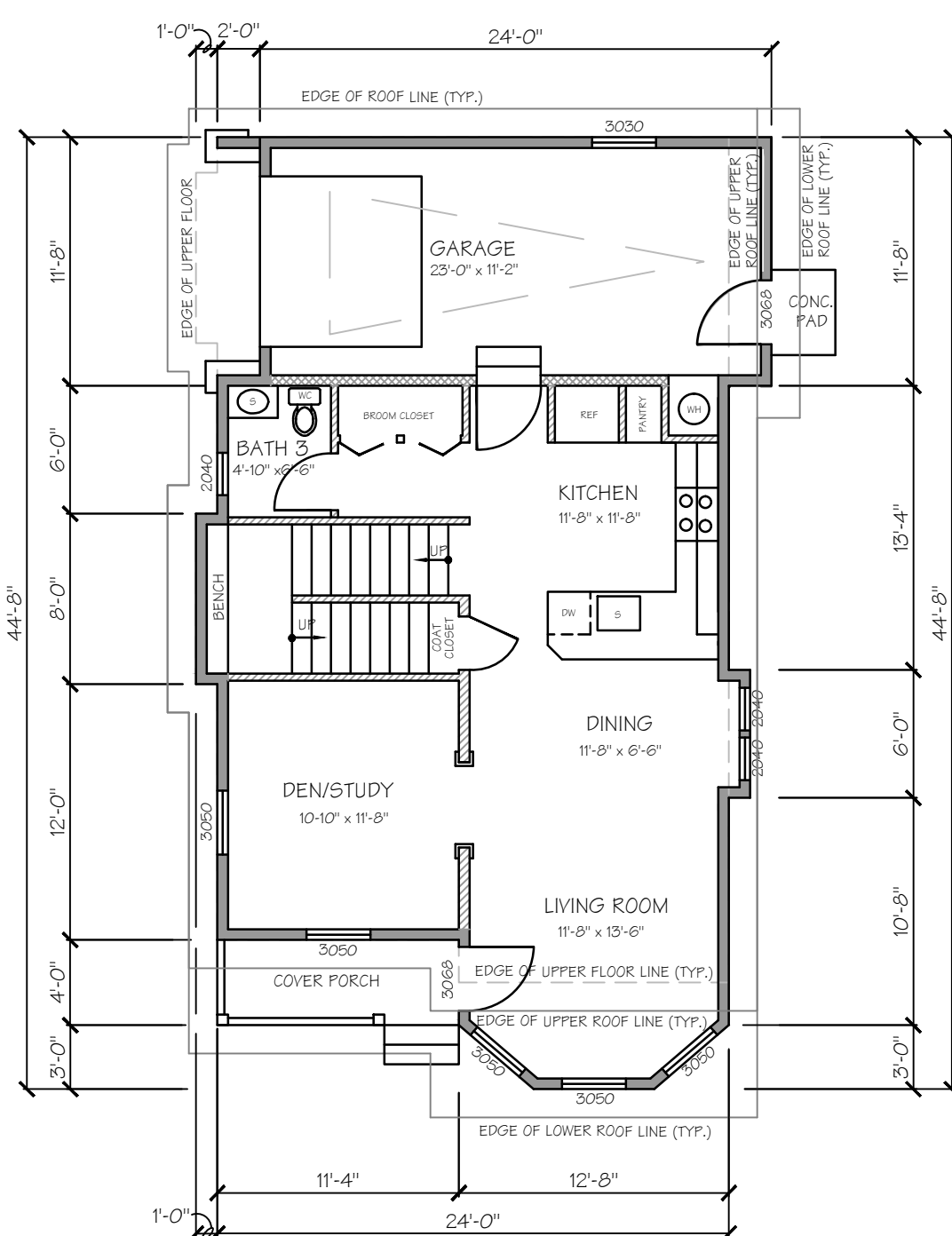
First Floor Area	1st Living Space Habitable	715± SF
	Unconditioned Space	7± SF
	Garage	280± SF
Second Floor Area	2nd Living Space Habitable	945± SF
Total Living Area		1947± SF

FINISH SCHEDULE

- Roofing:**
- 1 Asphalt Composition Shingles: Cool Antique Slate
- Paint On Upper Walls:**
- 2 Gable End Field: "Kelly Moore" 196 Villita Exterior Ready
 - 3 Faecial/ Gutter: "Kelly Moore" 23 Swiss Coffee
 - 4 All Other Trim: "Kelly Moore" 212 Salttilo
- Windows:**
- 3 Milgard Windows: Wood or Vinyl
"Kelly Moore" 23 Swiss Coffee
- 6" Hardiplank Fiber Cement Lap Siding:**
- 2 Building Field Color: "Kelly Moore" 196 Villita Exterior Ready
- Wainscoting and Column Bases:**
- 5 Cultured Stone High Desert Used Brick

ELEVATION NOTES

1. EXTERIOR CEMENT PLASTER APPLIED O/ WOOD SHEATHING SHALL BE APPLIED O/ TWO LAYERS GRADE 'D' PAPER AS PER THE U.B.C. SECTION 2506.4.
2. EXTERIOR CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS, 7/8" THICK MIN. WHEN APPLIED O/ METAL LATH AS PER THE U.B.C.
3. ALL DOWNSPOUTS SHALL BE CONNECTED TO A PERIMETER DRAIN LINE. SEE NOTE ON COVER DWG.
4. EXTERIOR CEMENT PLASTER TO HAVE 26 GA GALVANIZED WEEP SCREED (WITH A MINIMUM 00.019-INCH). AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING) SECTION 2506.5.
5. (T) = TEMPERED OR SAFETY GLASS



(N) SINGLE FAMILY DWELLING FIRST FLOOR PLAN
 PLAN NORTH RESIDENCE 1 & 2 SCALE: 1/8"=1'-0"
 0 4 8 16'



REAR SINGLE FAMILY DWELLING ELEVATION
 RESIDENCE 1 & 2 SCALE: 1/8"=1'-0"



SIDE SINGLE FAMILY DWELLING ELEVATION
 RESIDENCE 1 & 2 SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"
 0 4 8 16'

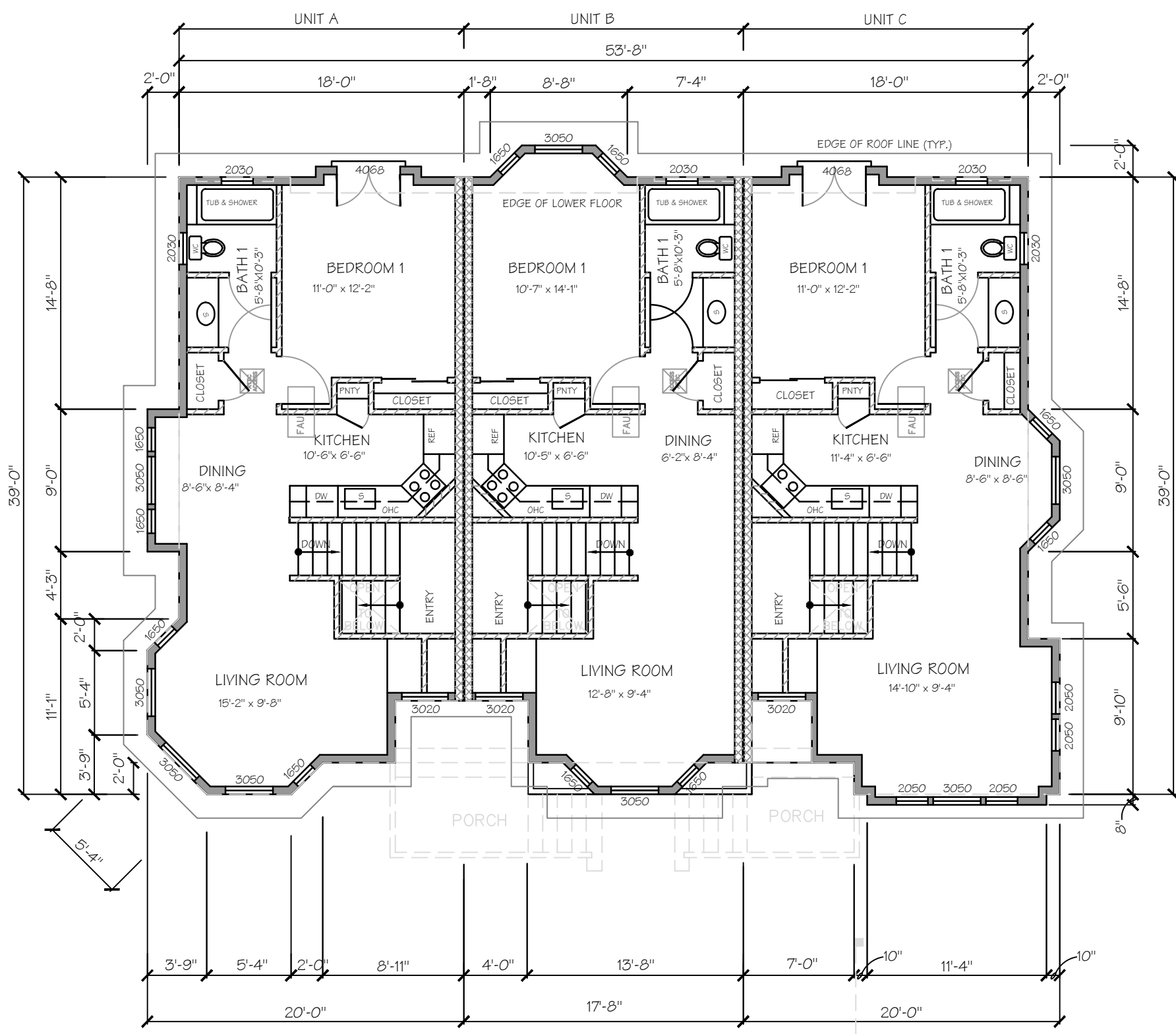
REVISIONS	BY
CITY COMMENTS 9/14/2017	△

EAST 8TH STREET DOWNTOWN PROJECT
 21-29 EAST 8TH STREET
 AN AUF DER MAUR PROJECT
 PLEASANTON, CALIFORNIA 94566

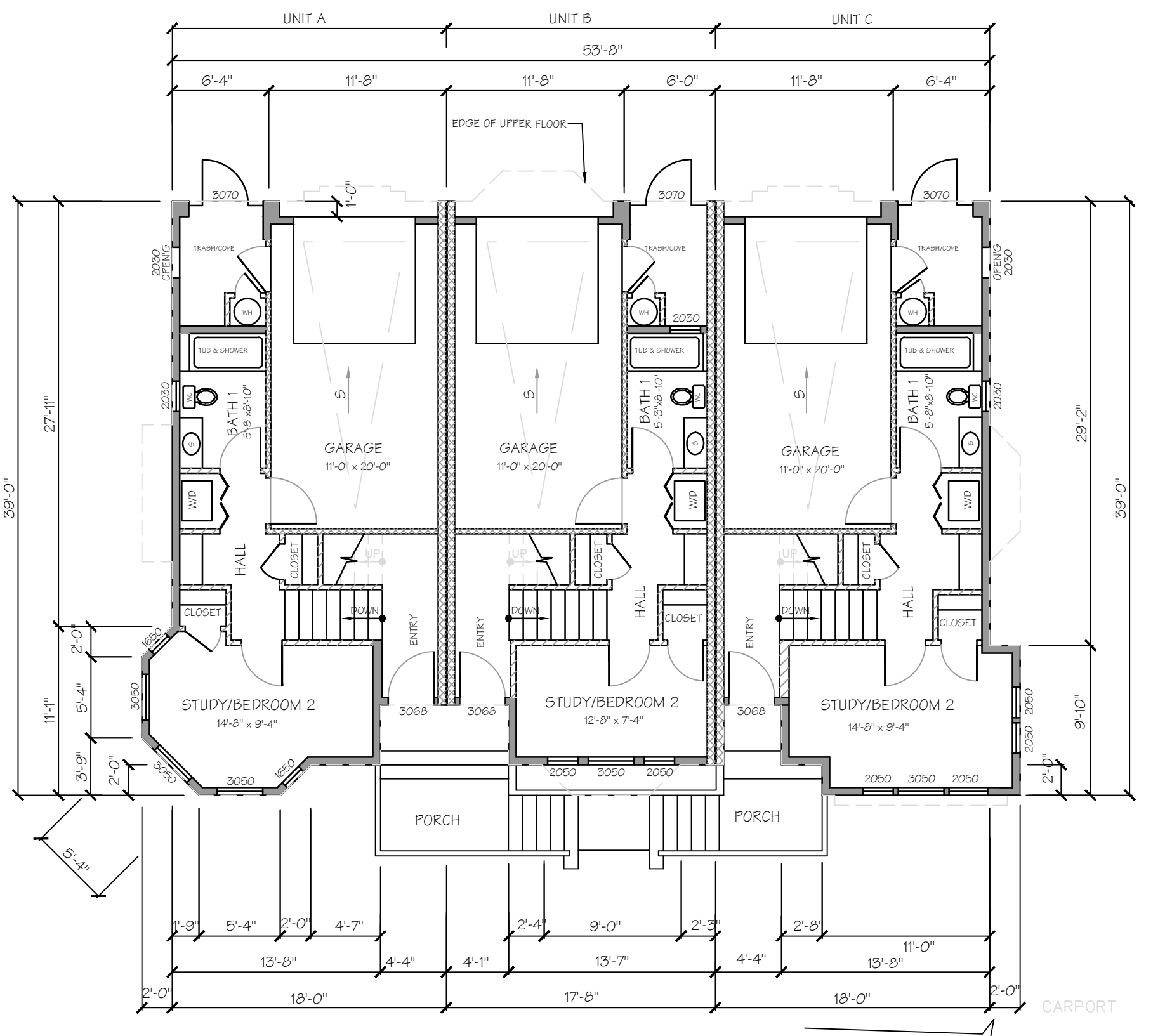
SINGLE FAMILY DWELLING
 FLOOR PLAN & ELEVATIONS
 21-29 EAST 8TH STREET
 CALIFORNIA (925) 846-7642
 TRACY

F. AdM
ARCHITECT
 Frank Auf der Maur, Jr.
 Architect
 146 Spring Street
 Pleasanton, California 94566 (925) 846-7642

Date: 10/4/17
 Scale: 1/8"=1'-0"
 Design: F. AdM
 Drawn: MLWH
 Job: -
 Sheet:
A2
 Of 4 Sheets 9



(N) MULTI FAMILY DWELLING UNIT FIRST FLOOR
 PLAN NORTH
 SCALE: 1/8"=1'-0"



(N) MULTI FAMILY DWELLING GROUND FLOOR
 PLAN NORTH
 SCALE: 1/8"=1'-0"



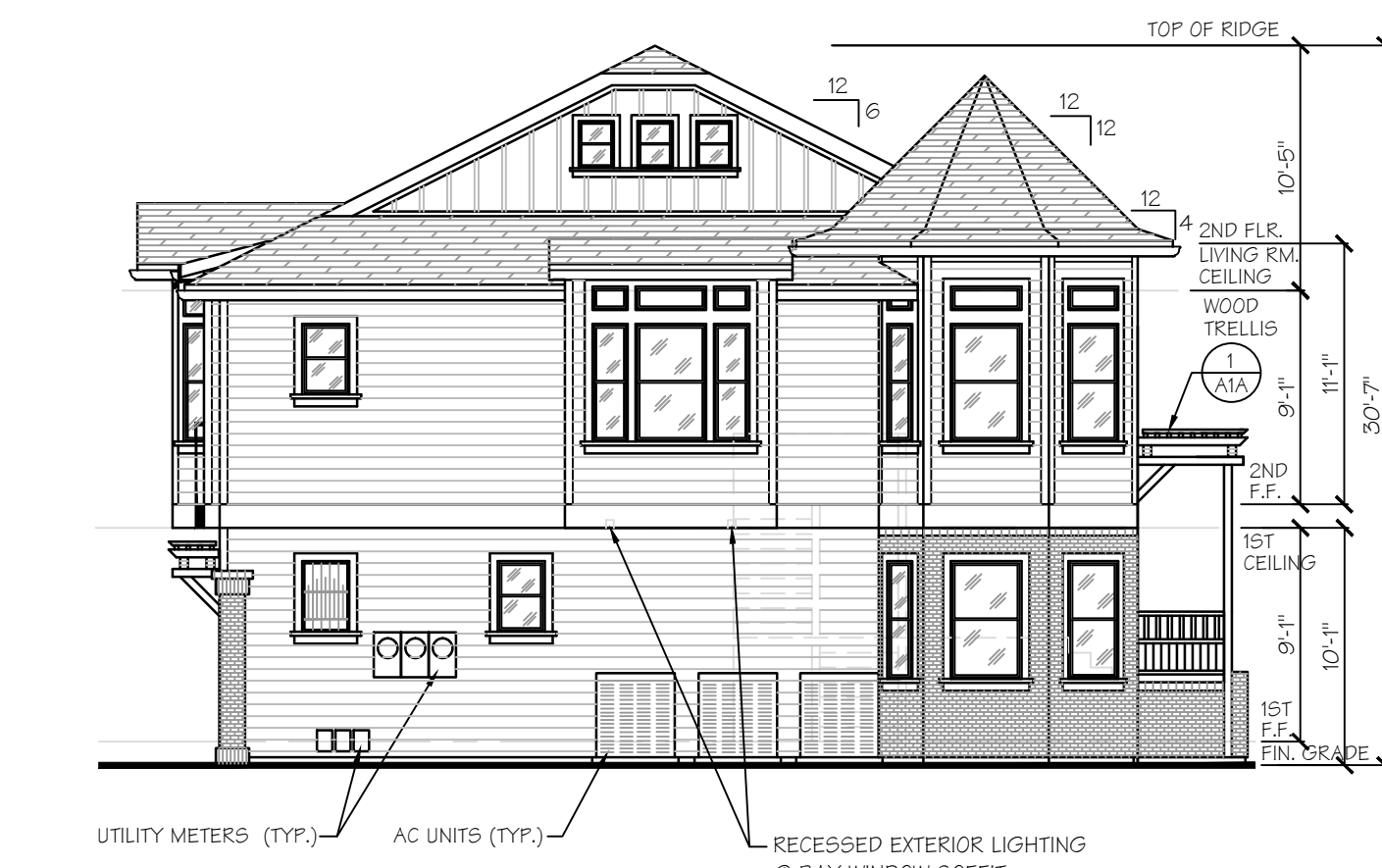
FRONT MULTI FAMILY DWELLING UNIT ELEVATION
 SCALE: 1/8"=1'-0"



REAR MULTI FAMILY DWELLING UNIT ELEVATION
 SCALE: 1/8"=1'-0"



SIDE MULTI FAMILY DWELLING UNIT ELEVATION
 SCALE: 1/8"=1'-0"



SIDE MULTI FAMILY DWELLING UNIT ELEVATION
 SCALE: 1/8"=1'-0"

LEGEND

- (N) EXTERIOR WALL W/ 2x6 WD. STUDS @ 16"O.C. TYP.
- (N) INTERIOR WALL W/ 2x4 WD. STUDS @ 16"O.C. TYP.
- (E) WALL - VERIFY IN FIELD CONSTRUCTION
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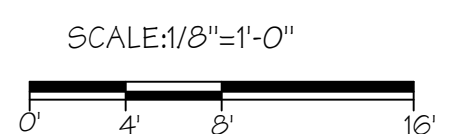
FINISH SCHEDULE

- Roofing:**
- 1 Asphalt Composition Shingles: Cool Antique Slate
- Paint On Upper Walls:**
- 2 Gable End Field: "Kelly Moore" 196 Villita Exterior Ready
 - 3 Fascia/ Gutter: "Kelly Moore" 23 Swiss Coffee
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"Kelly Moore" 23 Swiss Coffee
 - 6 Hardiplank Fiber Cement Lap Siding:
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3. ALL DOWNSPOUTS SHALL BE CONNECTED TO A PERIMETER DRAIN LINE. SEE NOTE ON COVER DWG.
4. EXTERIOR CEMENT PLASTER TO HAVE 26 GA GALVANIZED WEEP SCREED (WITH A MINIMUM 00.019-INCH). AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING) SECTION 2506.5.
5. (T) = TEMPERED OR SAFETY GLASS

MULTI FAMILY DWELLING UNIT			
DESCRIPTION	UNIT #A	UNIT #B	UNIT #C
First Floor Area			
1st Living Space Habitable	254 sf	217 sf	263 sf
Unconditioned Space	44 sf	41 sf	40 sf
Garage	224 sf	224 sf	224 sf
Second Floor Area			
2nd Living Space Habitable	641 sf	607 sf	649 sf
Total Living Area	895± SF	825± SF	912± SF



REVISIONS	BY

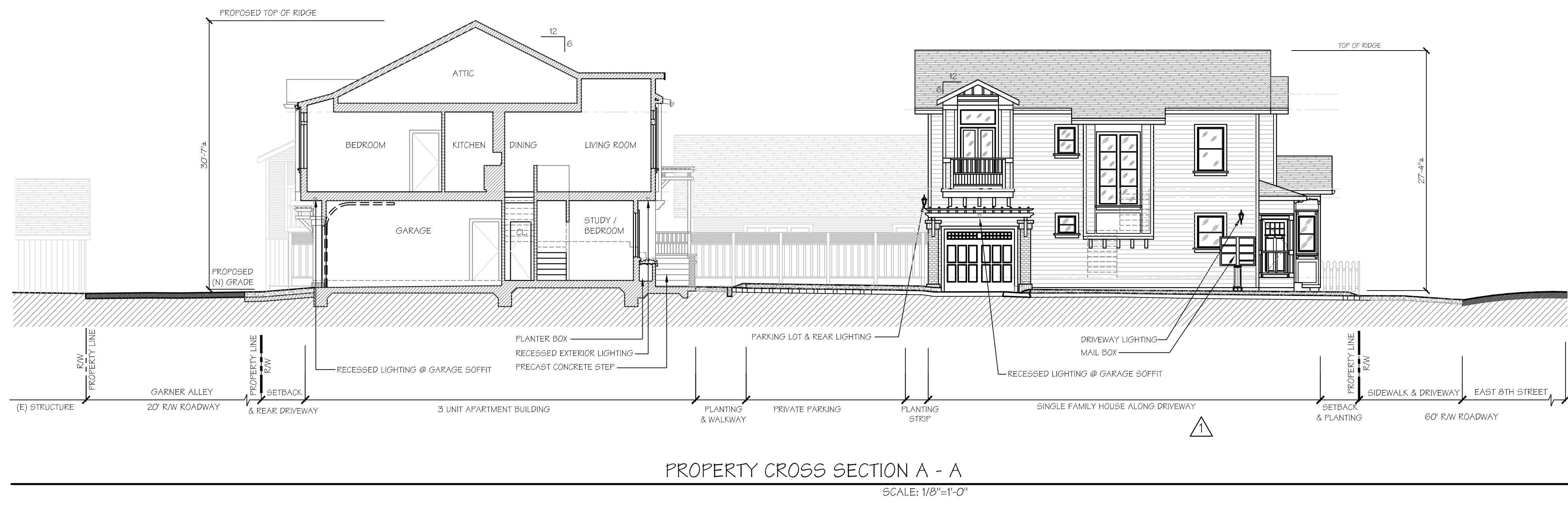
EAST 8TH STREET DOWNTOWN PROJECT
 21-29 EAST 8TH STREET
 AN AUF DER MAUR PROJECT
 PLEASANTON, CALIFORNIA 94566

MULTI FAMILY DWELLING UNITS
 FLOOR PLANS & ELEVATIONS
 21-29 EAST 8TH STREET
 CALIFORNIA

TRACY

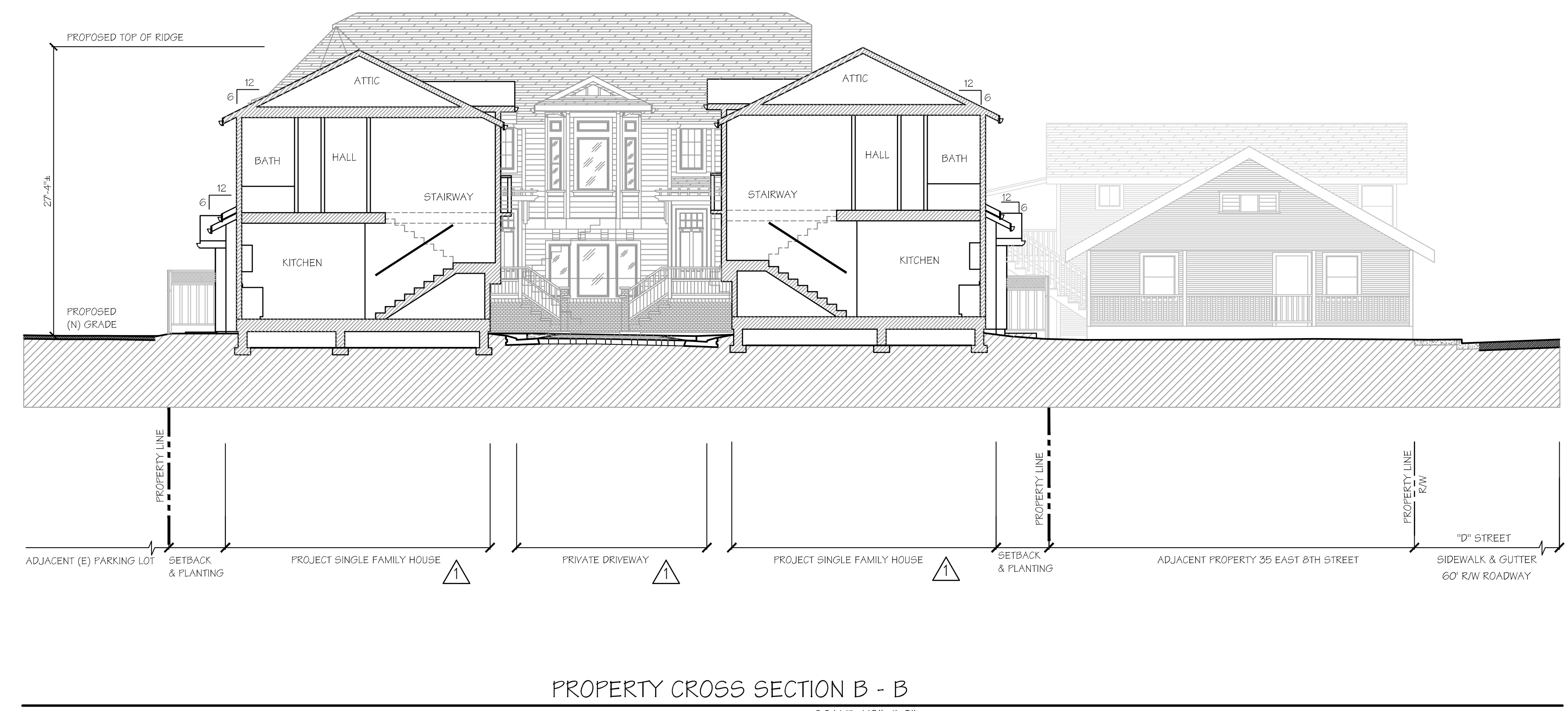
F. AdM
 ARCHITECT
 Frank Auf der Maur, Jr.
 Architect
 148 Spring Street
 Pleasanton, California 94566
 (925) 846-7642

Date: 3/04/17
 Scale: 1/8"=1'-0"
 Design: F. AdM
 Drawn: MLWH
 Job: -
 Sheet:
 A3
 Of 5 Sheets 9



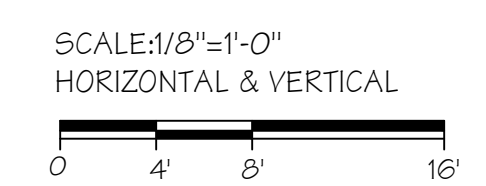
PROPERTY CROSS SECTION A - A

SCALE: 1/8"=1'-0"



PROPERTY CROSS SECTION B - B

SCALE: 1/8"=1'-0"



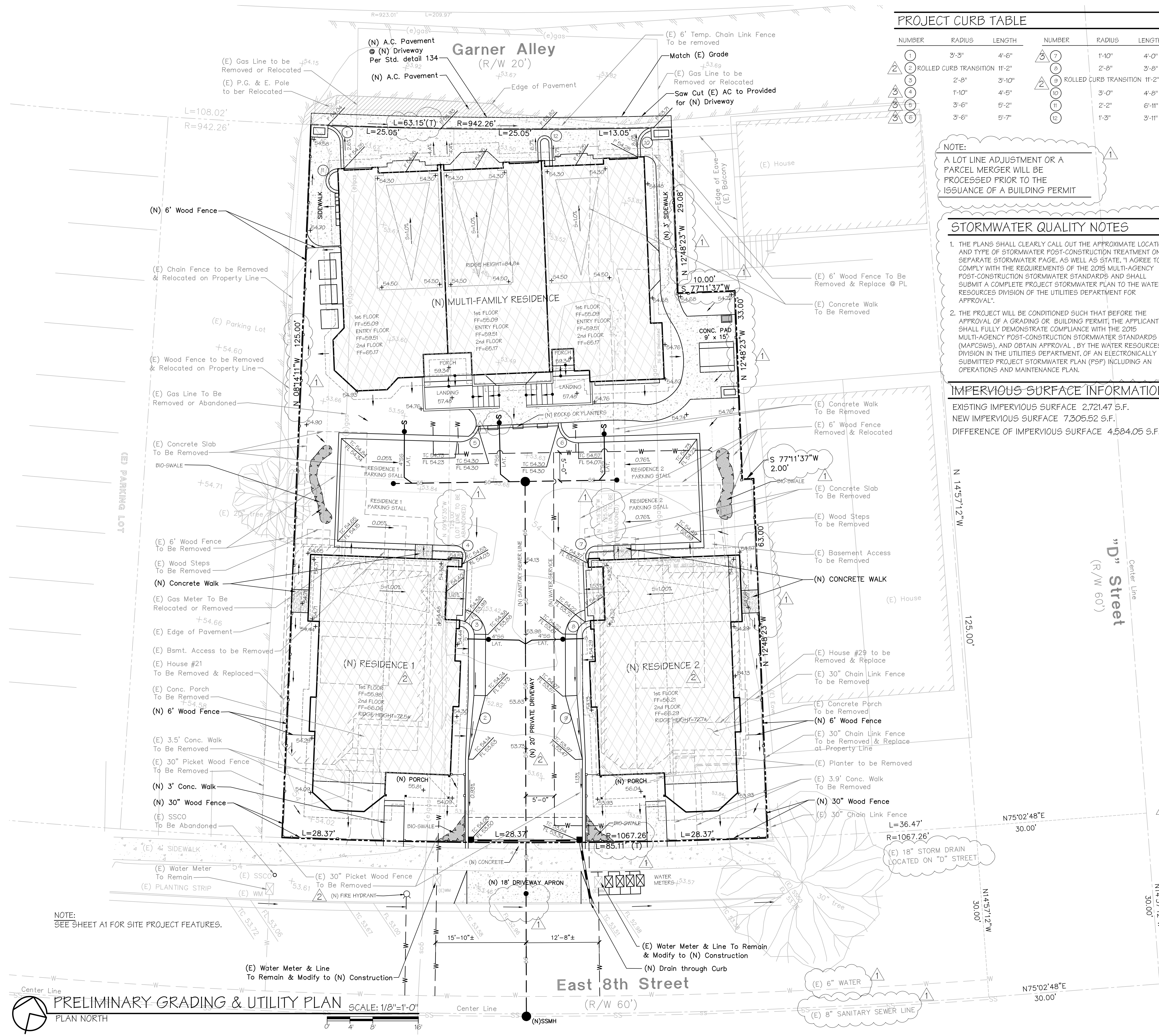
REVISIONS	BY
CITY COMMENTS 9/14/2017	△

EIGHT STREET DOWNTOWN PROJECT
21-29 EAST 8TH STREET
AN AUF DER MAUR PROJECT
PLEASANTON, CALIFORNIA 94566
(925) 846-7642

SITE CROSS SECTIONS
21-29 EAST 8TH STREET
CALIFORNIA
TRACY

F. AdM
ARCHITECT
Frank Auf der Maur, Jr.
Architect
140 Spring Street
Pleasanton, California 94566
(925) 846-7642

Date: 3/04/17
Scale: 1/8"=1'-0"
Design: F. AdM
Drawn: MLWH
Job: -
Sheet: **A4**
Of 6 Sheets 9



PROJECT CURB TABLE					
NUMBER	RADIUS	LENGTH	NUMBER	RADIUS	LENGTH
1	3'-3"	4'-6"	7	1'-10"	4'-0"
2	ROLLED CURB TRANSITION	11'-2"	8	2'-8"	3'-8"
3	2'-8"	3'-10"	9	ROLLED CURB TRANSITION	11'-2"
4	1'-10"	4'-5"	10	3'-0"	4'-8"
5	3'-6"	5'-2"	11	2'-2"	6'-11"
6	3'-6"	5'-7"	12	1'-3"	3'-11"

NOTE:
A LOT LINE ADJUSTMENT OR A PARCEL MERGER WILL BE PROCESSED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT

- STORMWATER QUALITY NOTES**
- THE PLANS SHALL CLEARLY CALL OUT THE APPROXIMATE LOCATION AND TYPE OF STORMWATER POST-CONSTRUCTION TREATMENT ON A SEPARATE STORMWATER PAGE, AS WELL AS STATE, "I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE 2015 MULTI-AGENCY POST-CONSTRUCTION STORMWATER STANDARDS AND SHALL SUBMIT A COMPLETE PROJECT STORMWATER PLAN TO THE WATER RESOURCES DIVISION OF THE UTILITIES DEPARTMENT FOR APPROVAL."
 - THE PROJECT WILL BE CONDITIONED SUCH THAT BEFORE THE APPROVAL OF A GRADING OR BUILDING PERMIT, THE APPLICANT SHALL FULLY DEMONSTRATE COMPLIANCE WITH THE 2015 MULTI-AGENCY POST-CONSTRUCTION STORMWATER STANDARDS (MAPCSWS), AND OBTAIN APPROVAL, BY THE WATER RESOURCES DIVISION IN THE UTILITIES DEPARTMENT, OF AN ELECTRONICALLY SUBMITTED PROJECT STORMWATER PLAN (PSP) INCLUDING AN OPERATIONS AND MAINTENANCE PLAN.

IMPERVIOUS SURFACE INFORMATION

EXISTING IMPERVIOUS SURFACE 2,721.47 S.F.
 NEW IMPERVIOUS SURFACE 7,305.52 S.F.
 DIFFERENCE OF IMPERVIOUS SURFACE 4,584.05 S.F.

LEGEND

PROPOSED	EXISTING

- GRADING NOTES**
- ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY OF TRACY, PERMITTEE OR REPRESENTATIVE SHALL NOTIFY THE CITY AT LEAST 48 HOURS BEFORE THE START OF ANY GRADING.
 - CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
 - IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
 - THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHERS PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
 - GRADING WILL NOT BE ALLOWED BETWEEN OCTOBER 1 AND APRIL 15 OF ANY YEAR WITHOUT EROSION CONTROL PLANS AND MEASURES APPROVED BY THE CITY OF TRACY.
 - ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING.
 - EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WEATHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
 - ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
 - CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT "USA" CENTER AT 800-642-2444, A TOLL-FREE NUMBER, 48 HOURS IN ADVANCE OF ANY EXCAVATION ACTIVITY SO ALL UNDERGROUND FACILITIES CAN BE LOCATED AND MARKED.
 - GRADING WORK SHALL CONSIST OF ALL CLEARING, GRUBBING AND STRIPPING, IMPORT-EXPORT OF SOIL, EMBANKMENT EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING OF CONFORM TO THE LINES, GRADES AND SLOPES AS SHOWN ON THE PLANS.
 - THE CONTRACTOR'S RESPONSIBILITY TO CARRY OUT THE CUT FILL AND IMPORT OPERATIONS NECESSARY TO MEET THE DESIGN GRADES AND CONSTRUCTION OF FACILITIES SHOWN ON THE PLANS. ANY EXCESS MATERIAL RESULTING FROM GRADING OPERATIONS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.
 - ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICLES (DUST).
 - THESE PLANS DO NOT AUTHORIZE CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
 - WHERE STREET CUTS ARE MADE FOR THE INSTALLATION OF WET AND DRY UTILITIES, APPLICATION OF A 2" THICK ASPHALT CONCRETE OVERLAY WITH REINFORCING FABRIC WILL BE REQUIRED, 25 FEET ON BOTH SIDES OF THE TRENCH AND FOR THE ENTIRE LENGTH OF THE TRENCH. IF THE TRENCH EXTENDS BEYOND THE CHE CENTER LINE OF THE STREET, THE EXTENT OF ASPHALT CONCRETE OVERLAY SHALL BE THE ENTIRE WIDTH OF THE PAVED STREET. EXISTING WATER SERVICE AND METER THAT WILL NOT BE UTILIZED SHALL BE REMOVED FROM THE GROUND UP TO THE POINT OF CONNECTION WITH THE WATER MAIN.
 - SEWER CONNECTION TO THE RESIDENTIAL PROJECT SHALL BE IN ACCORDANCE WITH CITY STANDARDS. INDIVIDUAL SEWER CONNECTION WILL BE ALLOWED. A SEWER CLEANOUT LOCATED BEHIND THE CURB IS REQUIRED FOR EACH SEWER CONNECTION.
 - ELECTRICAL, TELEPHONE AND TV CABLE SERVICE(S) TO THE RESIDENTIAL PROJECT OR TO THE BUILDING(S) SHALL BE CONSTRUCTED AS UNDERGROUND LINE(S) FROM THE SERVICE POLE ON THE STREET OR ALLEY.
 - THE MINIMUM SIZE OF WATER SERVICE AND WATER METER IS 1 INCH. THE EXISTING WATER SERVICE AND METER IS REQUIRED TO BE UPGRADED TO A RADIO-READ WATER METER. IF CURRENTLY A TOUCH-READ WATER METER IT SHALL BE UPSIZED IF IT IS NOT 1 INCH. A NEW 1 INCH-DIAMETER CORPORATION STOP AT THE POINT OF CONNECTION AND A COPPER TUBE FOR THE WATER SERVICE WILL BE REQUIRED. IF A WATER SERVICE IS CONNECTED TO OR WILL SERVE MORE THAN 2 WATER METERS, THE WATER SERVICE HAS TO BE DESIGNED TO ENSURE THAT THE WATER PIPE HAS ADEQUATE CAPACITY TO PROVIDE THE NEEDED WATER FLOW TO THE RESIDENTIAL BUILDINGS.

NOTE:
SEE SHEET A1 FOR SITE PROJECT FEATURES.

PRELIMINARY GRADING & UTILITY PLAN SCALE: 1/8"=1'-0"
 PLAN NORTH

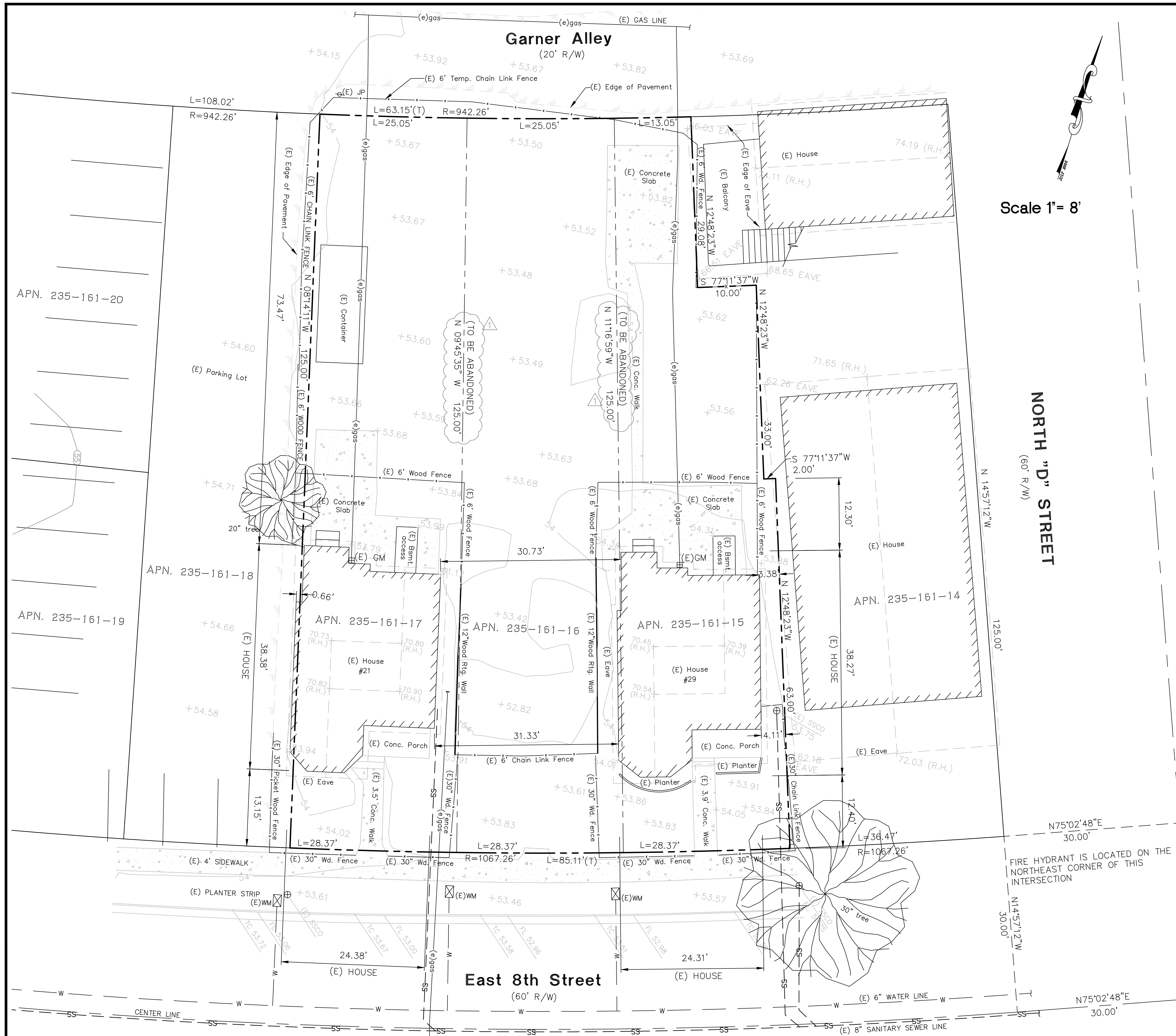
REVISIONS	BY
City Comments	
CITY COMMENTS 9/14/2017	
CITY COMMENTS 2/9/2018	

EIGHT STREET DOWNTOWN PROJECT
 21-29 EAST 8TH STREET
 AN AUF DER MAUR PROJECT
 PLEASANTON, CALIFORNIA 94566

PRELIMINARY GRADING & UTILITY PLAN
 21-29 EAST 8TH STREET
 CALIFORNIA (925) 846-7642
 TRACY

F. Adm ARCHITECT
 Frank Auf der Maur, Jr.
 Architect
 140 Spring Street Pleasanton, California 94566 (925) 846-7642

Date: 3/04/17
 Scale: 1/8"=1'-0"
 Design: F. Adm/MLWH
 Drawn: MLWH
 Job: 21-29 8th St-GRDPlan-C1
 Sheet: C1
 Of 7 Sheets 9

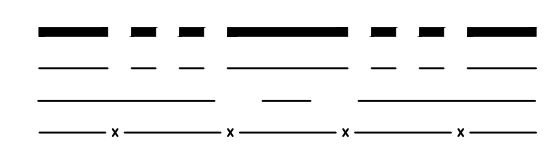


Scale 1" = 8'

NORTH "D" STREET
(60' R/W)

LEGEND

- EXTERIOR PROPERTY LINE
- INTERIOR PROPERTY LINE
- CENTERLINE
- FENCE LINE
- WATER METER (WM)
- GAS METER (GM)
- ELECTRIC METER (EM)
- STORM DRAIN MANHOLE (SDMH)
- JOINT POLE (JP)
- FIRE HYDRANT (FH)
- SANITARY SEWER CLEANOUT (SSCO)
- TEMPORARY BENCH MARK
- FOUND STANDARD STREET MONUMENT
- DROP INLET WITH SQUARE GRATE
- WATER VALVE (WV)
- SANITARY SEWER MANHOLE (SSMH)
- SPOT ELEVATIONS
- STREET SIGN (SIGN)
- RECORD REFERENCE
- TREES WITH TRUNK DIAMETER NOTED



ABBREVIATIONS

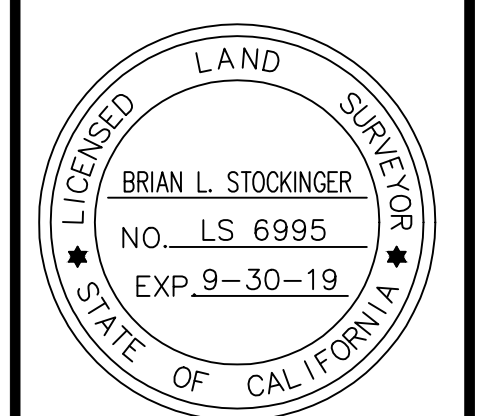
- NEW (N)
- EXISTING (E)
- FLOW LINE (FL)
- TOP OF CURB (TC)
- TEMPORARY BENCH MARK (TBM)
- FINISH FLOOR (FF)
- FINISH SLAB (FS)
- SANITARY SEWER MANHOLE (SSMH)
- STORM DRAIN MANHOLE (SDMH)
- WATER VALVE (WV)
- ROOF RIDGE HEIGHT (R.H.)
- ORIGIN UNKNOWN (O.U.)

NOTE:
A LOT LINE ADJUSTMENT OR A PARCEL MERGER WILL BE PROCESSED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT

REVISIONS	BY

STOCKINGER SURVEYS
 BOX 24 - 1531 GRANDVIEW
 MARTINEZ CA, 94533
 TEL: (925) 238-9949
 CELL: (925) 451-1644
 email: goodsurveys6995@pacbell.net

PROPERTY LOCATED AT
21, 25 & 29 EAST 8th STREET
Tracy California



DATE: MARCH, 2017
 JOB#: 21-29 8th ST-SURVEY
 SCALE: 1"=8'-0"
 DRAWN BY: MLWH

Sheet:
CS1
 Of 8 Sheets 9

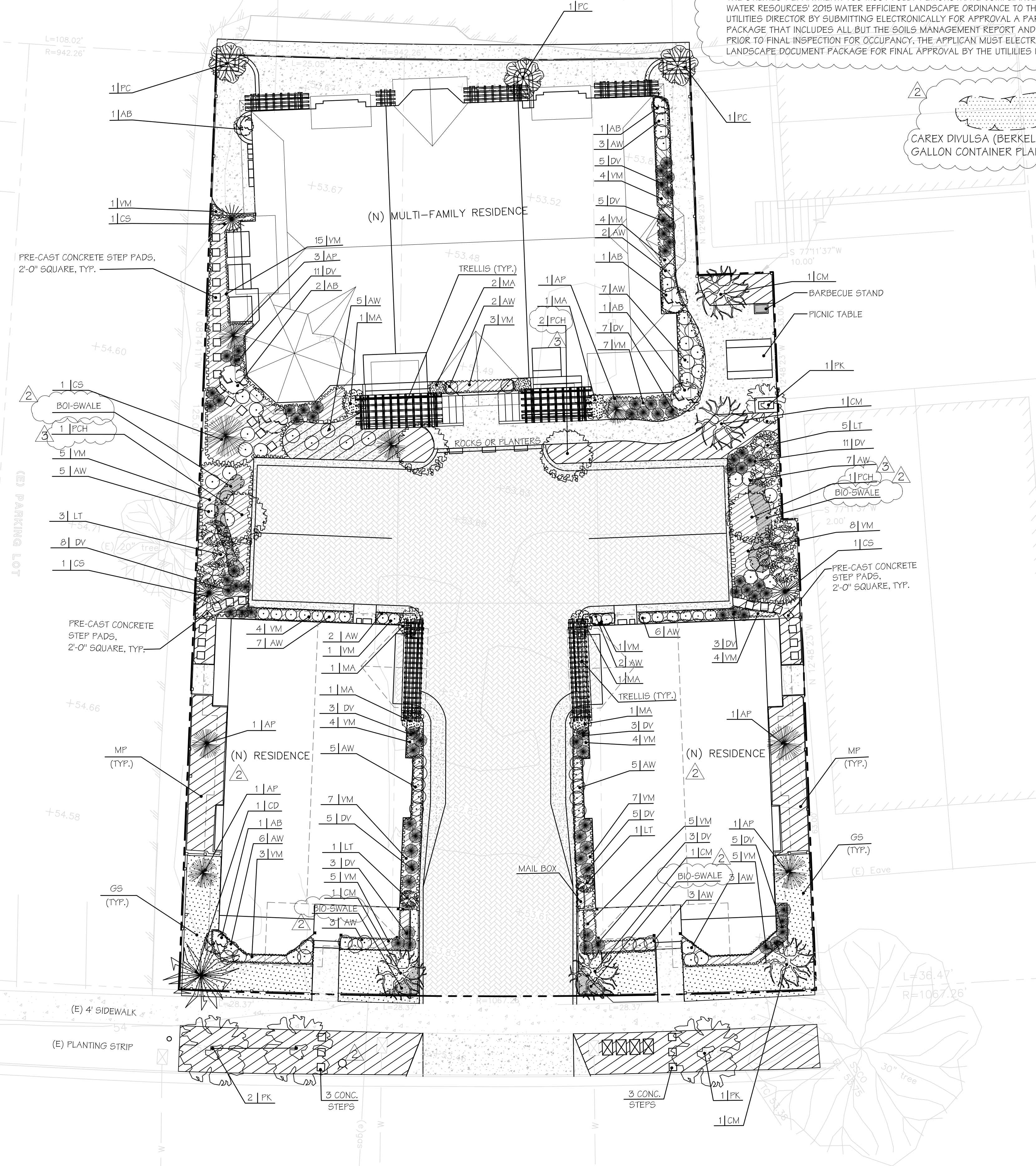
Garner Alley
(R/W 20')

WATER CONSERVATION AND EFFICIENCY

1. THE PROJECT SHALL COMPLY WITH TRACY MUNICIPAL CODE CHAPTER 11.28 WATER MANAGEMENT AND CALIFORNIA GREEN BUILDING STANDARDS CODE. "I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE 2015 WATER EFFICIENT LANDSCAPE ORDINANCE AND SHALL SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE WITH CONSTRUCTION DOCUMENTS" ON SAID PAGE.
2. THE PROJECT WILL BE CONDITIONED SUCH THAT BEFORE THE APPROVAL OF A GRADING OR BUILDING PERMIT, AN ELECTRONIC MVELO PROJECT INFORMATION SHEET SHALL BE SUBMITTED FOR APPROVAL TO THE UTILITIES DEPARTMENT. YOU MUST FULLY DEMONSTRATE COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES' 2015 WATER EFFICIENT LANDSCAPE ORDINANCE TO THE SATISFACTION OF THE UTILITIES DIRECTOR BY SUBMITTING ELECTRONICALLY FOR APPROVAL A PARTIAL LANDSCAPE DOCUMENT PACKAGE THAT INCLUDES ALL BUT THE SOILS MANAGEMENT REPORT AND CERTIFICATE OF COMPLETION. PRIOR TO FINAL INSPECTION FOR OCCUPANCY, THE APPLICANT MUST ELECTRONICALLY SUBMIT A COMPLETE LANDSCAPE DOCUMENT PACKAGE FOR FINAL APPROVAL BY THE UTILITIES DIRECTOR.

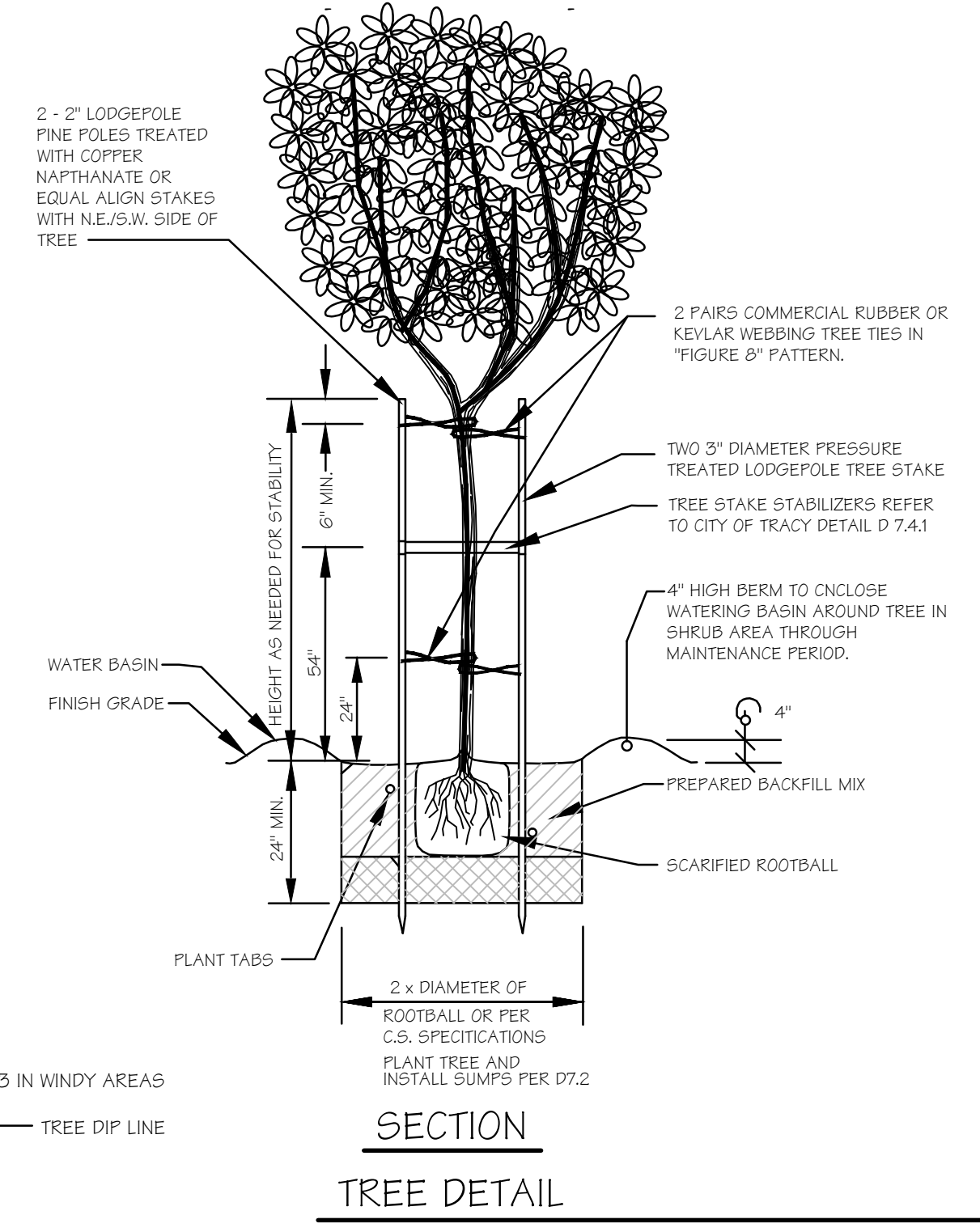
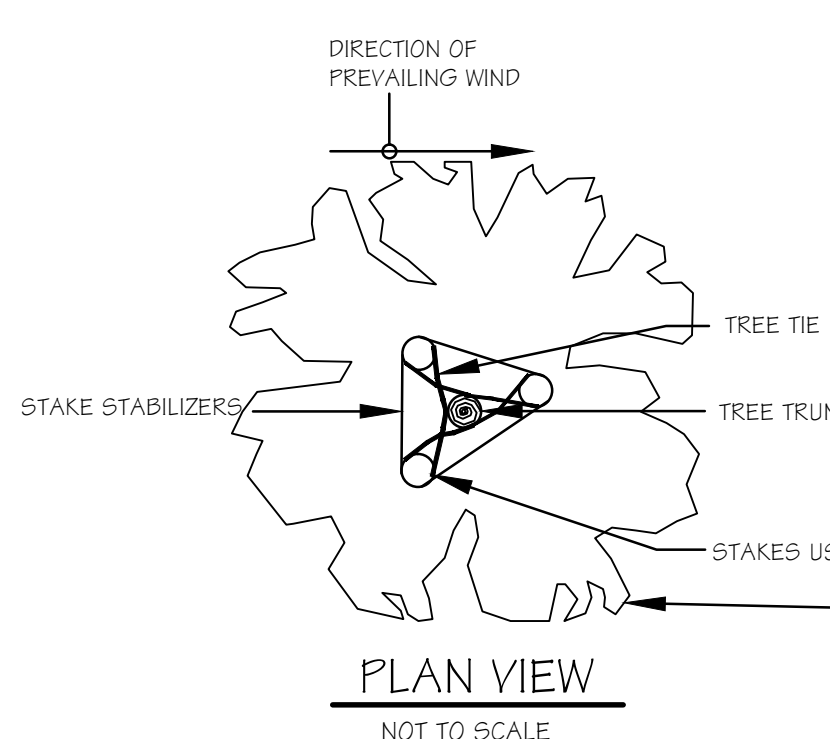
PLANT LEGEND

QTY.	ABBREV.	SYMBOL	BOTANICAL NAME	COMMON NAME
TREES				
1	CD		CEDRUS DEODARA	CEDAR DEODOR CEDAR EVERGREEN TREE
3	PC		PRUNUS CERASIFERA	FLOWERING CHERRY EVERGREEN & DECIDUOUS SHRUBS & TREES
3	PK		PYRUS LAWALA.00	ORNAMENTAL PEAR EVERGREEN & DECIDUOUS SHRUBS & TREES
3	CS		CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS EVERGREEN TREES
5	CM		LAGERSTROEMIA	CRAPE MYTLE INDICA
8	AP		ACER PALMATUM	JAPANESE MAPLE DECIDUOUS SHRUBS
4	PCH		PISTACHIA CHINENSIS "KEITH DAVEY"	CHINESE PISTACHE
SHRUBS				
7	AB		ABELIA	CAPRIFOLIACEAE EVERGREEN SHRUBS
10	LT		LIGUSTRUM	PRIVET OLEACEAE EVERGREEN, SEMIEVERGREEN, DECIDUOUS SHRUBS
77	DV		DIETES	FORTNIGHT LILY, AFRICAN IRIS IRIDACEAE
67	AW		AGAPANTHUS	LILY-OF-THE-NILE AMARYLLIDACEAE
ESPALIERS (VINES)				
8	MA		MACFADYENA	CAT'S CLAW YELLOW TRUMPET VINE
GROUND COVERS				
97	VM		VINCA MINOR	APOCYNACEAE PERWINKLE PERENNIALS
	GS		SOD	LAWN
	MP		MYOPORUM PARVIFOLIUM	MYOPORUM



BOI-SWALE
CAREX DIVULSA (BERKELEY SEDGE) FROM 1 GALLON CONTAINER PLANTED @ 24" O.C.

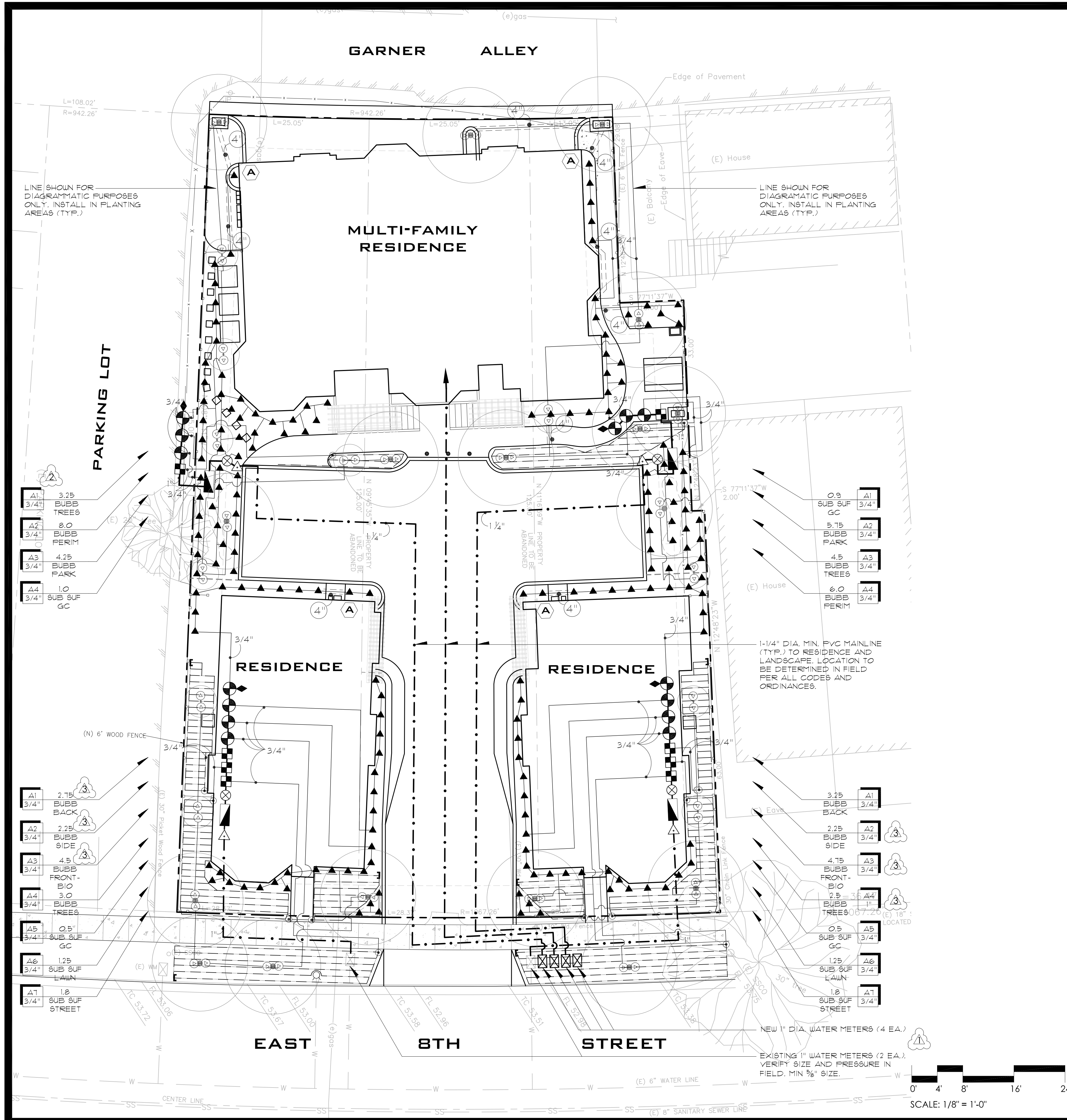
- TREE DETAIL NOTES:**
1. TREES SHALL BE 15 GALLON MIN. 24" MAX. SIZE AND BE PLACED 10 FEET FROM EDGE OF PAVING WHENEVER POSSIBLE.
 2. AS DETERMINED BY CITY ENGINEER, BOXED TREES MAY REQUIRE 3 STAKES, 3 PAIRS TIES, 3 LARGE STAKE STABILIZERS IN WINDY AREAS. LIKEWISE, 15 GAL. TREES MAY REQUIRE 3 STAKES, 3 PAIRS TIES, AND 3 STD. STAKE STABILIZERS.
 3. AS DETERMINED BY CITY ENGINEER, ROOT CONTROL BARRIER PANELS SHALL BE REQUIRED WHERE TREE IS 10 FEET OR LESS FROM EXISTING OR FUTURE SIDEWALK OR CURB. DEEP ROOT UB-24-2 OR EQUAL MAY BE USED. LENGTH OF BARRIER = 8' CENTERED ON TREE.
 4. TREES SHALL BE PROVIDED W/ AUTOMATIC IRRIGATION SYSTEMS (INDIVIDUAL BUBBLERS WITH WATERING BASIN).
 5. ROOT BARRIERS SHALL NOT BE CUT.
 6. REFER TO D7.2 FOR PLANTING DETAIL.



East 8th Street
(R/W 60')

SCALE: 1/8"=1'-0"

REVISIONS	BY
City Comments 6/12/17	△
City Comments 2/9/18	△
EAST 8TH STREET DOWNTOWN PROJECT 21-29 EAST 8TH STREET AN AUF DER MAUR PROJECT PLEASANTON, CALIFORNIA 94566	
PRELIMINARY LANDSCAPE PLAN 21-29 EAST 8TH STREET CALIFORNIA (925) 846-7642	
F. AdM ARCHITECT Frank Auf der Maur, Jr. Architect 145 Spring Street Pleasanton, California 94566 (925) 846-7642	
Date: 6/15/17	
Scale: 1/8"=1'-0"	
Design: F. AdM	
Drawn: MLWH	
Job: 21-29 East St-LandscapePlan	
Sheet: L1	
Of 9 Sheets	9



IRRIGATION LEGEND

- ← NEW IRRIGATION HOOK UP TO EXISTING STUBBED SHUT OFF. CONNECT TO EXISTING WATER SOURCE. VERIFY LOCATION, GPM, AND PRESSURE W/ JOB SUPERINTENDANT AND ON SITE.
 - ⊗ 8 STATION HUNTER - I-CORE IRRIGATION CONTROLLER - WALL MOUNT W/METAL CONDUIT RISER, #IC-800, W/ WIRELESS SOLAR SYNC - SEN (RAIN SENSOR).
 - ⊙ 1" RAINBIRD PESB R.C.V. IN PLASTIC VALVE BOX.
 - ⊠ 1" HUNTER PCZ-101-25 DRIP CONTROL ZONE KIT (OR EQUAL) IN PLASTIC VALVE BOX.
 - △ 1" PVC ISOLATION GLOBE VALVE IN PLASTIC VALVE BOX.
 - ⊕ 3/4" DLJ IRRIGATION SUBMETER, MODEL #DLJ100 (OR EQUAL).
 - ⊗ QUICK COUPLER IN AMETEC LOCKING RAINBIRD BOX #QC3-RC W/ LOCKING LID
 - ⊠ REDUCED PRESSURE FEBCO 1" #825Y BACKFLOW PREVENTER ASSEMBLY W/ PRIME 2X PAINTED 2X DARK GREEN. GALV. STEEL ENCLOSURE WITH FROST BLANKET (OR EQ.)
 - SCH 40 PVC SLEEVE, BURY 18" DEEP MIN.; 24" DEEP MIN. IN AUTO AREAS; SIZE PER PLAN.
 - SCH 40 PVC MAINLINE, BURY 18" DEEP MIN., SIZE PER PLAN.
 - SCH 40 PVC LATERAL, BURY 12" DEEP, SIZE PER PLAN.
 - HUNTER "ECO-WRAP" SUBSURFACE DRIP TUBING MODEL# PLD-ESD INSTALL PARALLEL LINES AT 12" O.C. AND 3" DEEP W/ FLUSHING VALVE AT ENDS (TYP.) FLOW=6 GPH/L.F.
 - ⊙ PVC PIPE TO 1/2" DRIP TUBING POINT OF CONNECTION
 - △ HUNTER "POP-UP" DRIP INDICATOR
- | SYMBOL | DISTRIBUTOR | TYPE | MODEL | RADIUS | ARC | DESCRIPTION | FLOW | PRESSURE |
|--------|-------------|---------|--------|--------|-----|-----------------------|----------|----------|
| ⊙ | HUNTER | BUBBLER | PCB-25 | - | - | BUBBLER ON FLEX RISER | 0.25 GPM | 20 PSI |
| ⊗ | HUNTER | BUBBLER | PCB-25 | - | - | BUBBLER IN PERF. PIPE | 0.25 GPM | 20 PSI |
- ⊠ EXISTING 1" WATER METERS - VERIFY PRESSURE AND SIZE IN FIELD. NOT IN CONTRACT
- ⊠ NEW 1" WATER METER - 3 EA. NOT IN CONTRACT
- ⊠ INDICATES STATION NUMBER
- ⊠ INDICATES GPM DEMAND PER VALVE
- ⊠ INDICATES VALVE SIZE

LATERAL SIZING CHART

3/4"	0 - 10 GPM
1"	11 - 16 GPM
1-1/4"	17 - 26 GPM
1-1/2"	27 - 35 GPM
2"	35 - 55 GPM

SEE SHEET L-W2 FOR IRRIGATION NOTES, DETAILS, AND SHEET L-W3 FOR WELO CALCULATIONS.

I HAVE COMPLIED WITH THE CRITERIA AND THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND WILL SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

Robert Mowat

ROBERT MOWAT, R.L.A. NO 2258

11-29-17

DATE

ROBERT MOWAT ASSOCIATES
 LANDSCAPE ARCHITECTURE + LAND PLANNING
 1501 N. Broadway Suite 400 Walnut Creek, CA 94596
 Phone 925.705.7424 Fax 925.954.1390
 www.rmlandscape.com

21-29
 EAST 8TH STREET
 DOWNTOWN
 TRACY, CA

IRRIGATION
 PLAN

DATE
 04-05-17
 REVISIONS
 1 4-10-17 METERS
 2 6-19-17 CITY COMMENTS
 3 11-29-17 ADD BIOSWALES

SCALE
 1/8"=1'-0"

NORTH

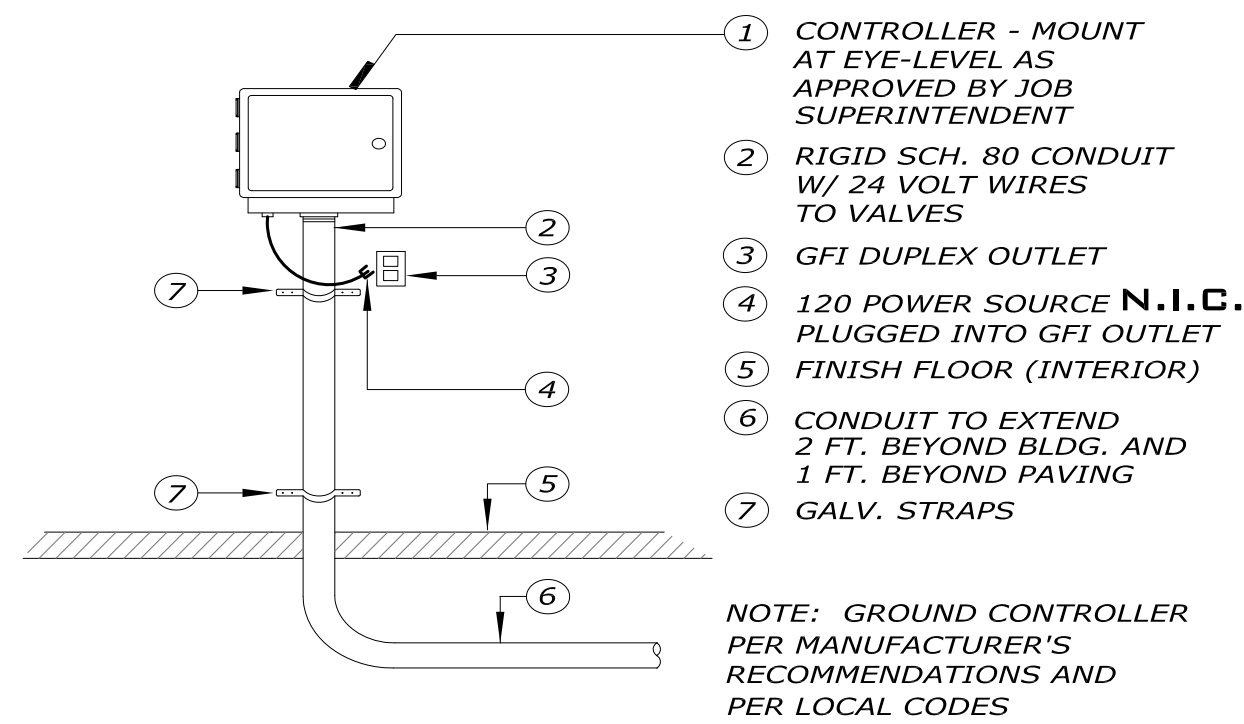
SHEET
L-W 1
 OF 3

21 - 29 EAST 8TH STREET, TRACY, CA

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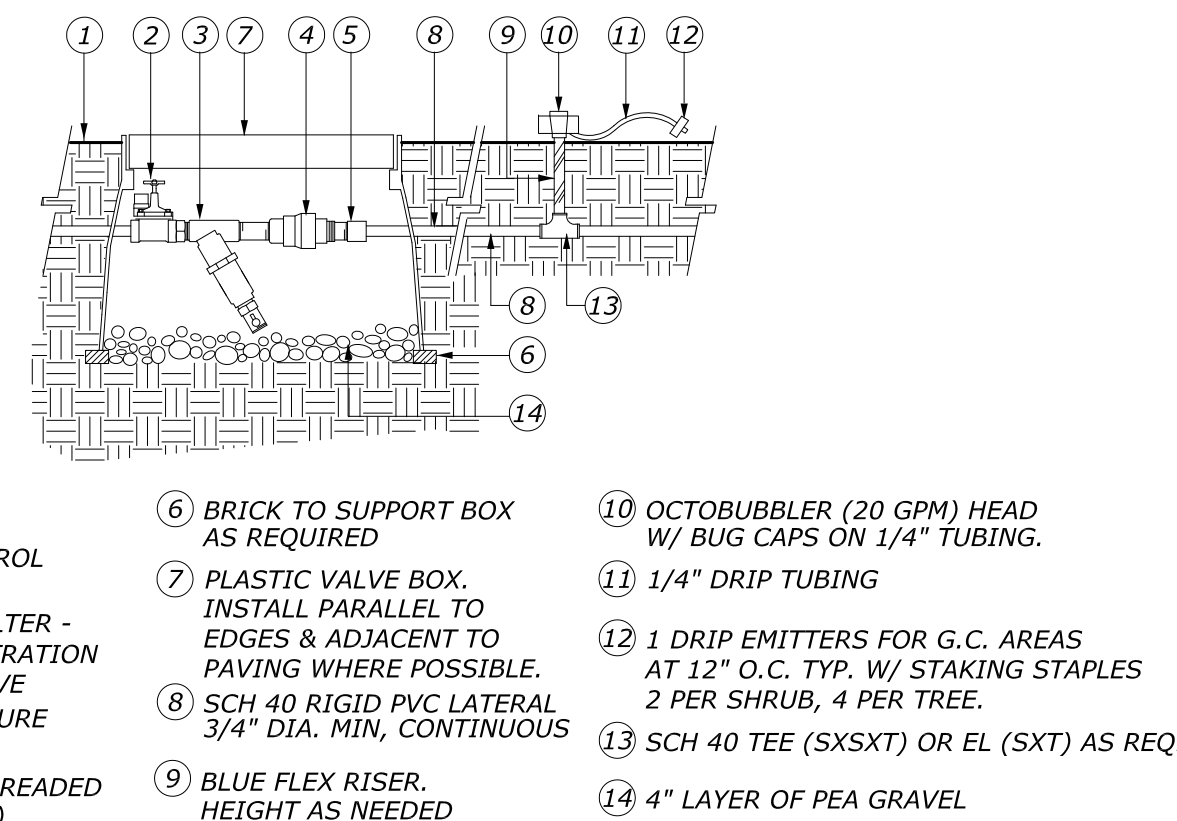
IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
- DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, GPM AVAILABILITY, OR PRESSURES EXIST THAT MAY NOT HAVE BEEN INCLUDED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND LAND ARCH. FOR A DECISION. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, UTILITIES, PIPING, BUILDINGS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OR PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIRED FEES.
- CONTRACTOR IS TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF, HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 55 P.S.I.. A PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION (AFTER THE BACK FLOW DEVICE) IS 70 P.S.I.. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 35-40 P.S.I. WORKING PRESSURE AT THE HEADS. THROUGH ANY ONE VALVE, THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 13 GPM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLEEVING REQUIRED FOR ELECTRICAL AND IRRIGATION. CONTRACTOR TO COORDINATE AND LOCATE ANY ELECTRICAL AND IRRIGATION SLEEVES PRIOR TO CONCRETE POUR. LANDSCAPE ARCHITECT TO REVIEW LAYOUT PRIOR TO CONCRETE POUR. SLEEVES TO BE SCH. 40 PVC PIPE, SET IN A 2" SAND BED CONTINUOUS AROUND ENTIRE SLEEVE, WITH MARKING TAPE AT EACH END. EXTEND PAST PAVING 6"
- TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. MAINLINE UNDER STREETS TO BE 24" DEEP, MINIMUM.
- FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
- IRRIGATION CONTROL WIRE SHALL BE #14, U.L. APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 U.L. APPROVED FOR DIRECT BURIAL, WHITE IN COLOR. WIRES TO BE MULTI-STRAND #18-9 REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 24" EXCESS WIRE COIL AT REMOTE CONTROL LOCATIONS.
- REMOTE CONTROL VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE (NOT NECESSARILY PLUMB). ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE PLASTIC WITH BOLT DOWN LIDS AND WITH WHITE NUMBERED VALVE STATIONS IN STENCILS.
- ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION (MIN.). CONTRACTOR TO REPAIR SETTLED TRENCHES FOR ONE YEAR AFTER COMPLETION OF WORK.
- CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST HEADS FOR RADIUS (ARC IF APPLICABLE), TO OPTIMUM COVERAGE, AND TO ELIMINATE SPRAYING ONTO PAVEMENT, BUILDINGS, AND WALLS. ADD HEADS AS NECESSARY FOR HEAD TO HEAD COVERAGE. INSTALL FLAT HEADS NEAR BLDGS.
- CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER / HOA UPON THE COMPLETION OF WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
- CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH ACCEPTANCE AT THE FINAL SITE REVIEW.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LAND ARCH. & OWNER REP. FOR A SITE REVIEW OF THE SYSTEM. CALL WITH TWO DAYS PRIOR NOTICE TO ARRANGE REVIEW DATES. REVIEWS WILL BE SCHEDULED TO REVIEW:
 - PRESSURE TEST TO MAIN LINE PRIOR TO BACKFILLING TRENCHES.
 - COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
 - FINAL WALK-THROUGH OF ALL ASPECTS OF THE IRRIGATION SYSTEM.
- WATER JET ALL IRRIGATION TRENCHES, TYPICAL.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.



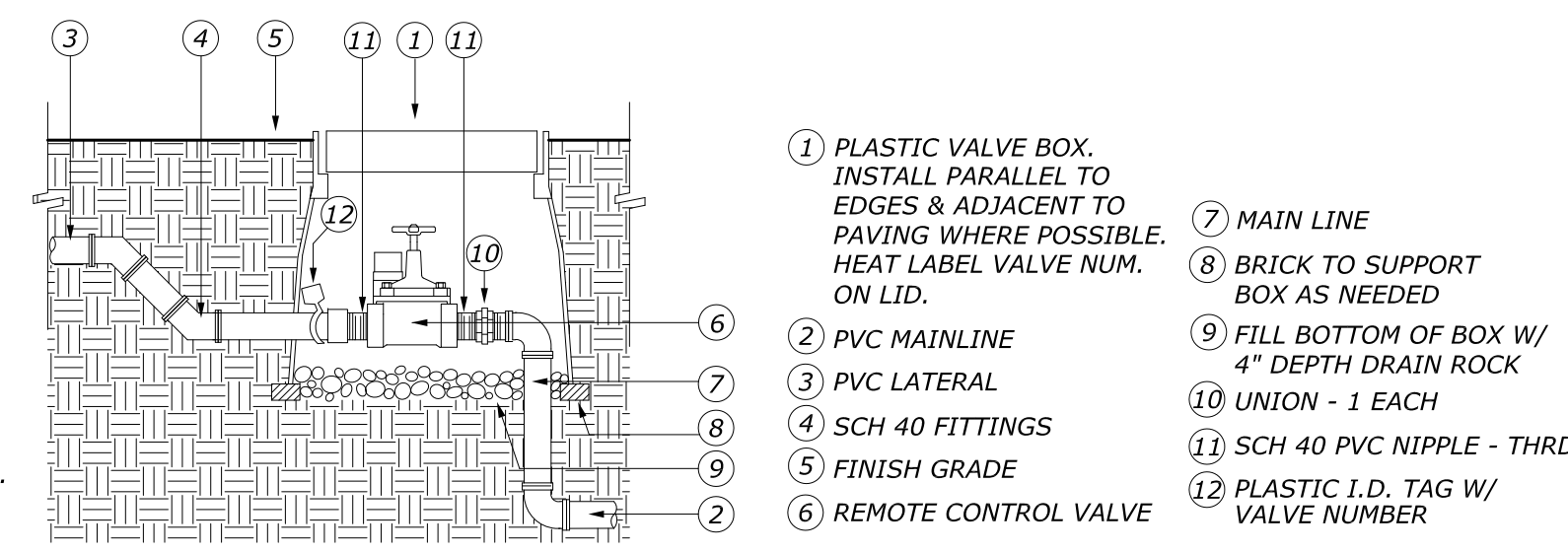
WALL MOUNT CONTROLLER

NOT TO SCALE



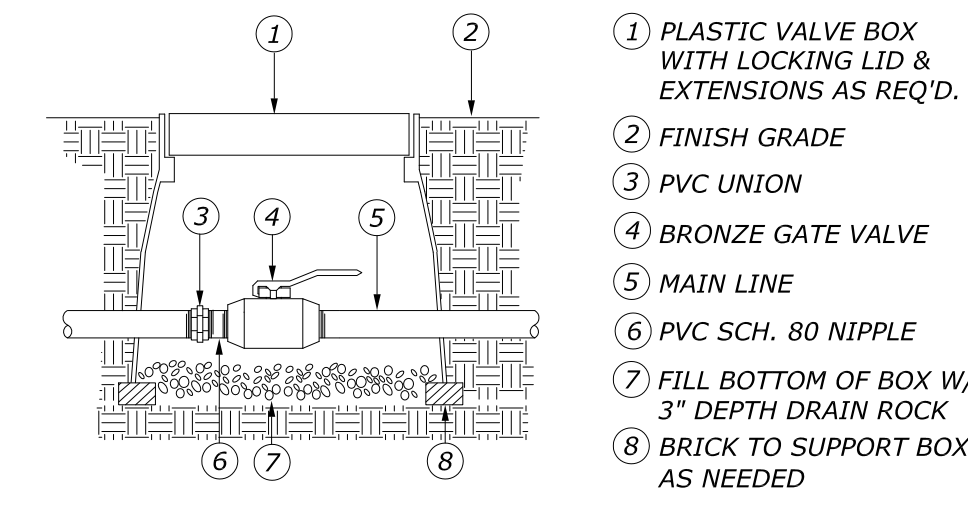
DRIP REMOTE CONTROL ASSEMBLY

NOT TO SCALE



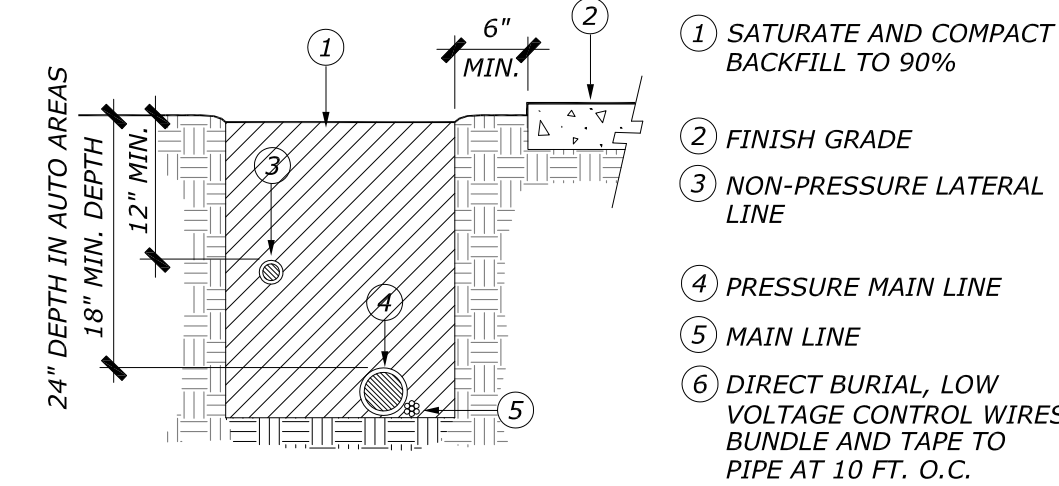
REMOTE CONTROL VALVE

NOT TO SCALE



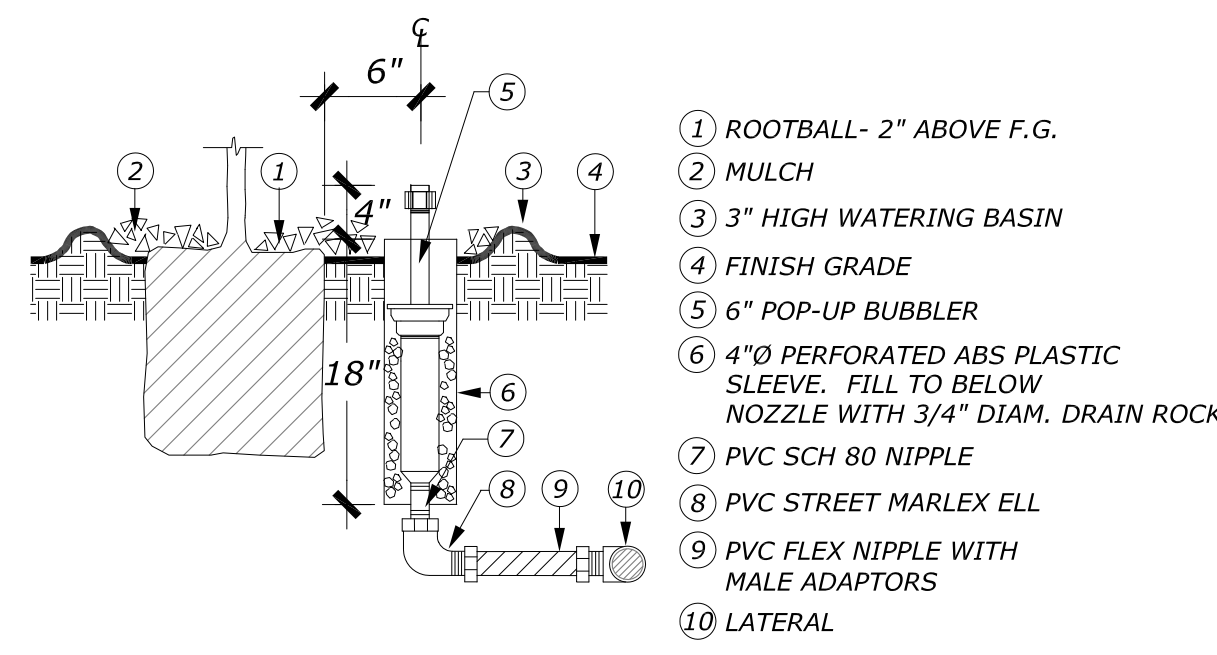
GATE VALVE

NOT TO SCALE



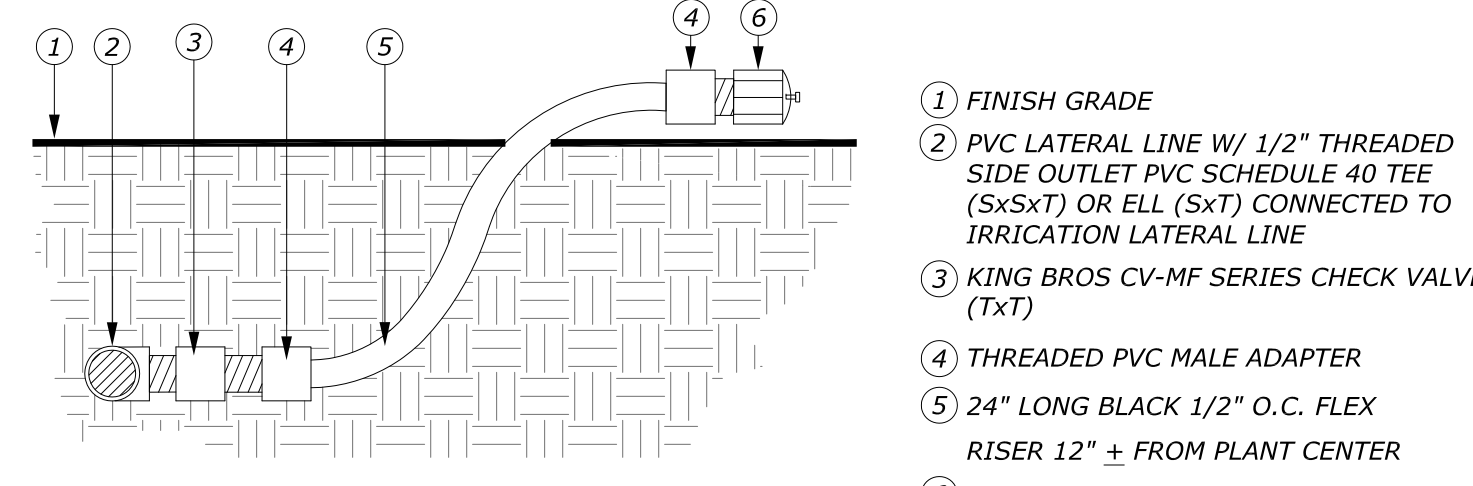
TRENCH LAYOUT

NOT TO SCALE



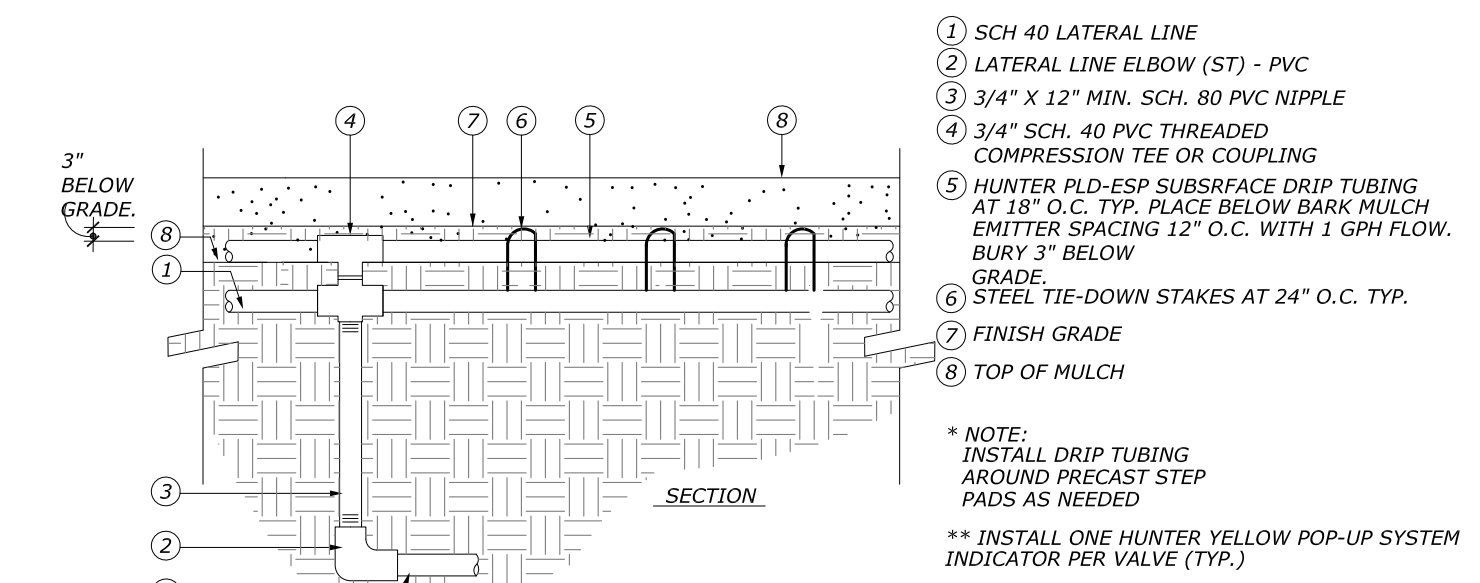
POP-UP BUBBLER HEAD

NOT TO SCALE



BUBBLER HEAD

NOT TO SCALE



SUB SURFACE DRIP IRRIGATION

NOT TO SCALE

I HAVE COMPLIED WITH THE CRITERIA AND THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND WILL SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.
 Robert Mowat
 ROBERT MOWAT, R.L.A. NO 2258
 11-29-17
 DATE

ROBERT MOWAT ASSOCIATES
 LANDSCAPE ARCHITECTURE + LAND PLANNING
 1501 N. Broadway Suite 400 Walnut Creek, CA 94596
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21-29
 EAST 8TH STREET
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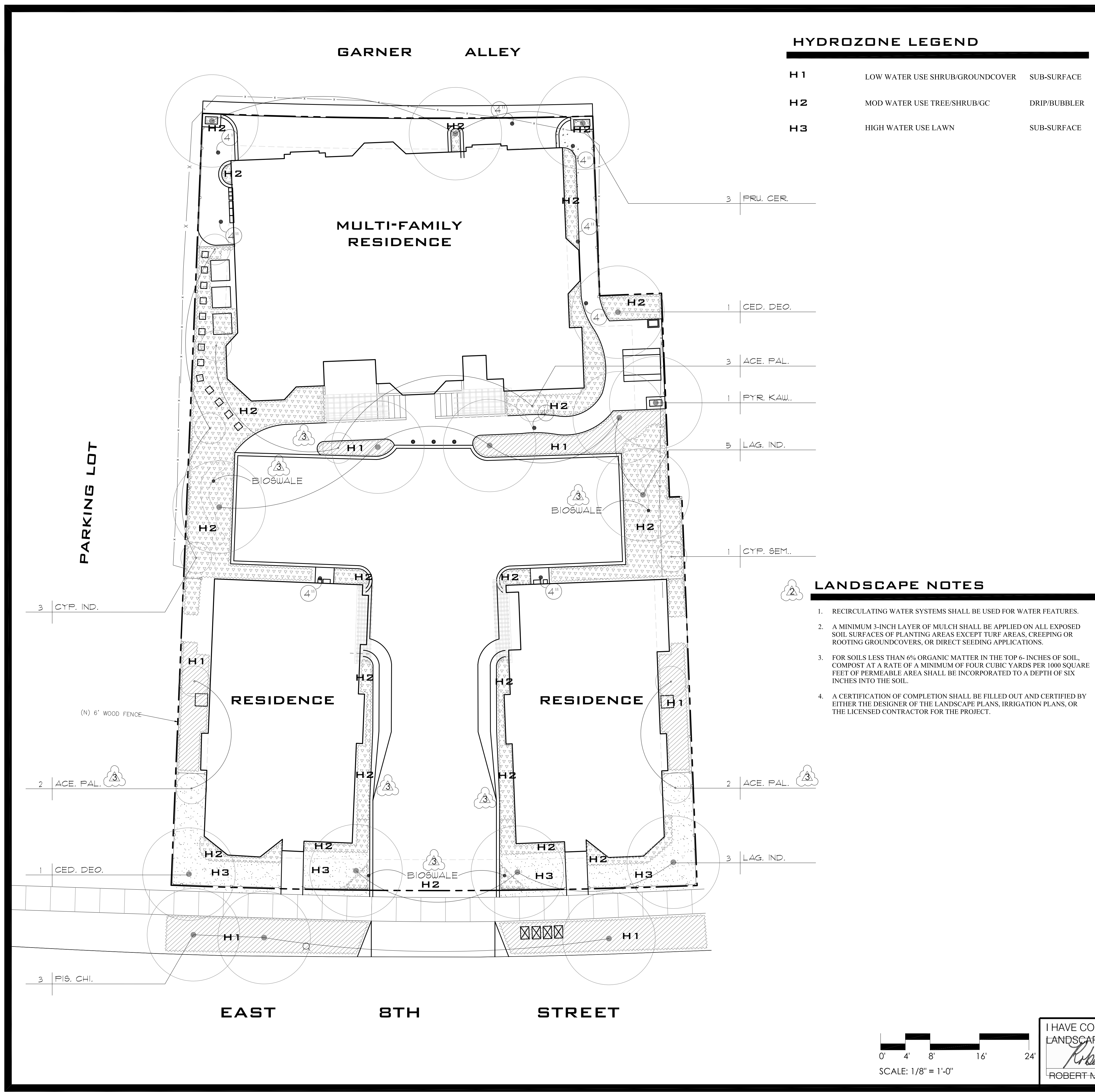
IRRIGATION
 NOTES AND
 DETAILS

DATE
 04-05-17
 REVISIONS
 6-19-17
 CITY COMMENTS

SCALE
 1/8"=1'-0"

SHEET
L-W2
 OF 3

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HYDROZONE LEGEND

H 1	LOW WATER USE SHRUB/GROUNDCOVER	SUB-SURFACE
H 2	MOD WATER USE TREE/SHRUB/GC	DRIP/BUBBLER
H 3	HIGH WATER USE LAWN	SUB-SURFACE

MWELD CALCULATIONS

SYMBOL:	HYDROZONE TYPE:	PLANT FACTOR (PF):	HYDROZONE AREA (HA):	IRRIGATION EFFICANCY (IE):	(PF X HA) / IE
H 1	SHRUBS/GROUNDCOVER LOW WATER USE SUB-SURFACE	0.3	617 SF	.81	229
H 2	TREES/SHRUBS/GC MOD WATER USE DRIP/BUBBLERS	0.4	1004 SF	.81	496
H 3	LAWN HIGH WATER USE SUB-SURFACE	0.7	425 SF	.81	367
TOTAL:			2,046 SF		1092
ETWU:		48.5 X 0.62 (1092)			= 32,836 GAL/YR
MAWA:		48.5 X 0.62 (0.55 X 2046)			= 33,838 GAL/YR

MWELD CALCULATION REFERENCE

ETWU: ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)
CALCULATION FORMULA: $ET_o \times 0.62 \left(\frac{PF \times HA}{IE} + SLA \right)$

ET_o: REFERENCE EVAPOTRANSPIRATION (48.5 INCHES PER YEAR IN CITY OF TRACY)
 0.62: CONVERSION FACTOR (INCHES PER SQAURE FOOT TO GALLONS PER SQUARE FEET)
 PF: PLANT FACTOR FROM WUCOLS IV, REGION 2
 HA: HYDROZONE AREA [HIGH, MEDIUM AND LOW WATER USE AREAS] (IN SQUARE FEET)
 IE: IRRIGATION EFFICIENCY (OVERHEAD SPRAY = .75, DRIP = .81)
 SLA: SPECIAL LANDSCAPED AREA (SQUARE FEET)

MAWA: MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)
CALCULATION FORMULA: $(ET_o) \times (0.62) \times [(0.45 \times LA) + (1.0 - 0.45) \times SLA]$

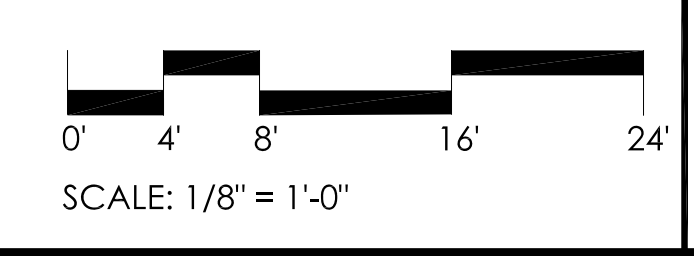
ET_o: REFERENCED EVAPOTRANSPIRATION (48.5 INCHES PER YEAR IN UNION CITY)
 0.62: CONVERSION FACTOR (INCHES PER SQAURE FOOT TO GALLONS PER SQUARE FEET)
 0.55: RESIDENTIAL REFERENCE EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF)
 LA: LANDSCAPED AREA INCLUDING SLA (SQUARE FEET)
 0.55: ADDITIONAL WATER ALLOWANCE FOR SLA
 SLA: SPECIAL LANDSCAPED AREA (SQUARE FEET)

- LANDSCAPE NOTES**
- RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
 - A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS.
 - FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6- INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
 - A CERTIFICATION OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED CONTRACTOR FOR THE PROJECT.

PLANT LIST - WUCOLS WATER USE

BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE	SPACING
TREES:			
Acer palmatum	Japanese maple	MOD	PER PLAN
Cedrus deodora	Deodar Cedar	LOW	PER PLAN
Cupressus sempervirens	Italian Cypress	MOD	PER PLAN
Lagerstroemia indica	Crepe Myrtle	LOW	PER PLAN
Pistachia chinensis	Chinese Pistache	LOW	PER PLAN
Prunus cerasifera	Flowering Cherry	MOD	PER PLAN
Pyrus kawakamii	Ornamental Pear	MOD	PER PLAN
SHRUBS:			
Abelia x grandiflora	Glossy Abelia	MOD	48" O.C.
Agapanthus 'Storm Cloud'	Lily-of-the Nile	MOD	18" O.C.
Dietsa iridioides	Fortnight Lily	LOW	36" O.C.
Ligustrum japonicum 'Texanum'	Waxleaf Privet	MOD	48" O.C.
Macfadyena unguis-cati	Cat's Claw	LOW	18" O.C.
GROUNDCOVERS:			
Myoporum parvifolium	Myoporum	LOW	36" O.C.
Vinca minor	Periwinkle	MOD	12" O.C.
Sod - Medallion 3	Lawn	HIGH	N.A.
BIOSWALE PLANTING:			
Carex divulca (tumulicola)	Berkeley Sedge	LOW	24" O.C.

* SEE SHEET L-1 BY F.ADM DATED 12-04-16 FOR SPECIFIC PLANTING PLAN.



I HAVE COMPLIED WITH THE CRITERIA AND THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND WILL SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

Robert Mowat
 ROBERT MOWAT, R.L.A. NO 2258

11-29-17
 DATE