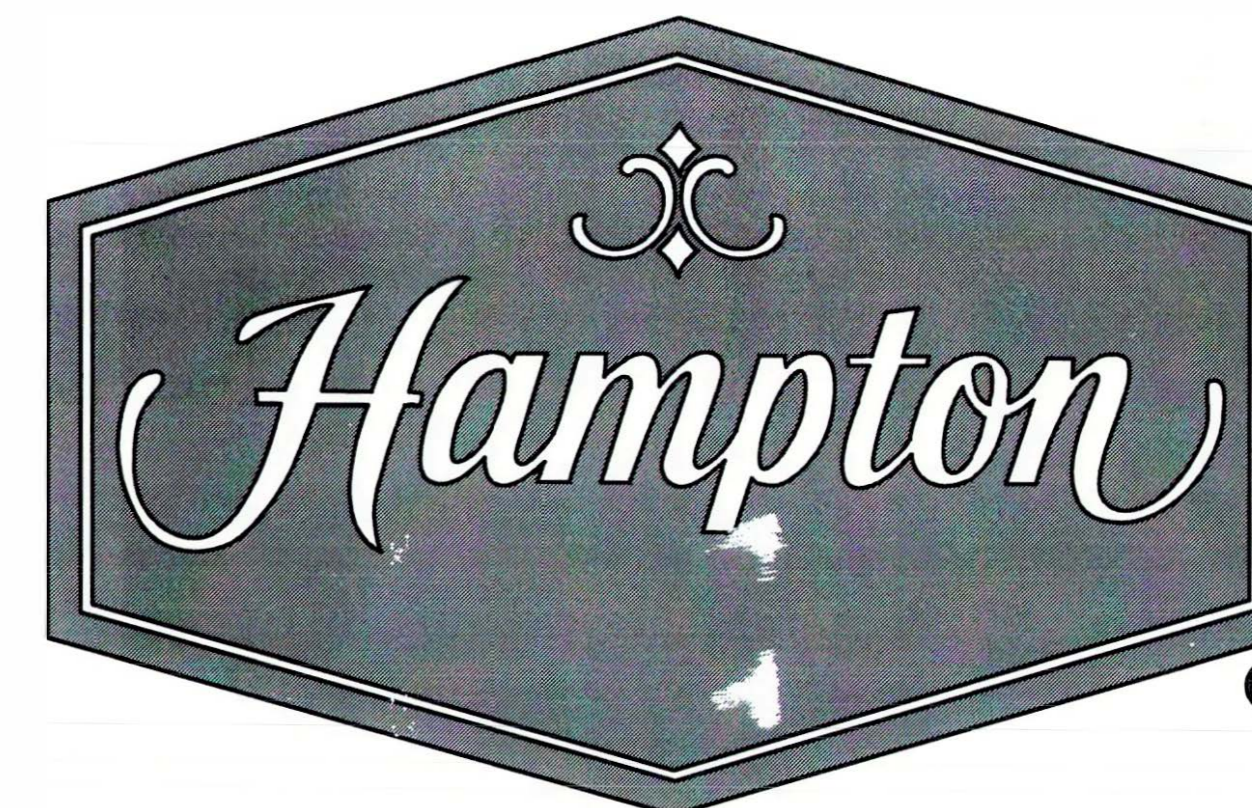


RECEIVED  
SEP 10 2019  
CITY OF TRACY  
DEVELOPMENT SERVICES



# **HAMPTON INN**

## **EXTERIOR RENOVATION**

**TRACY, CALIFORNIA**  
**INNCODE: TRACY**

**PROPERTY OWNER:**  
CNI THL SMB, LLC  
515 S. FLOWER STREET  
LOS ANGELES, CA 90071

**OWNERS REPRESENTATIVE:**  
MARK VAN TILBURG  
972-998-6639

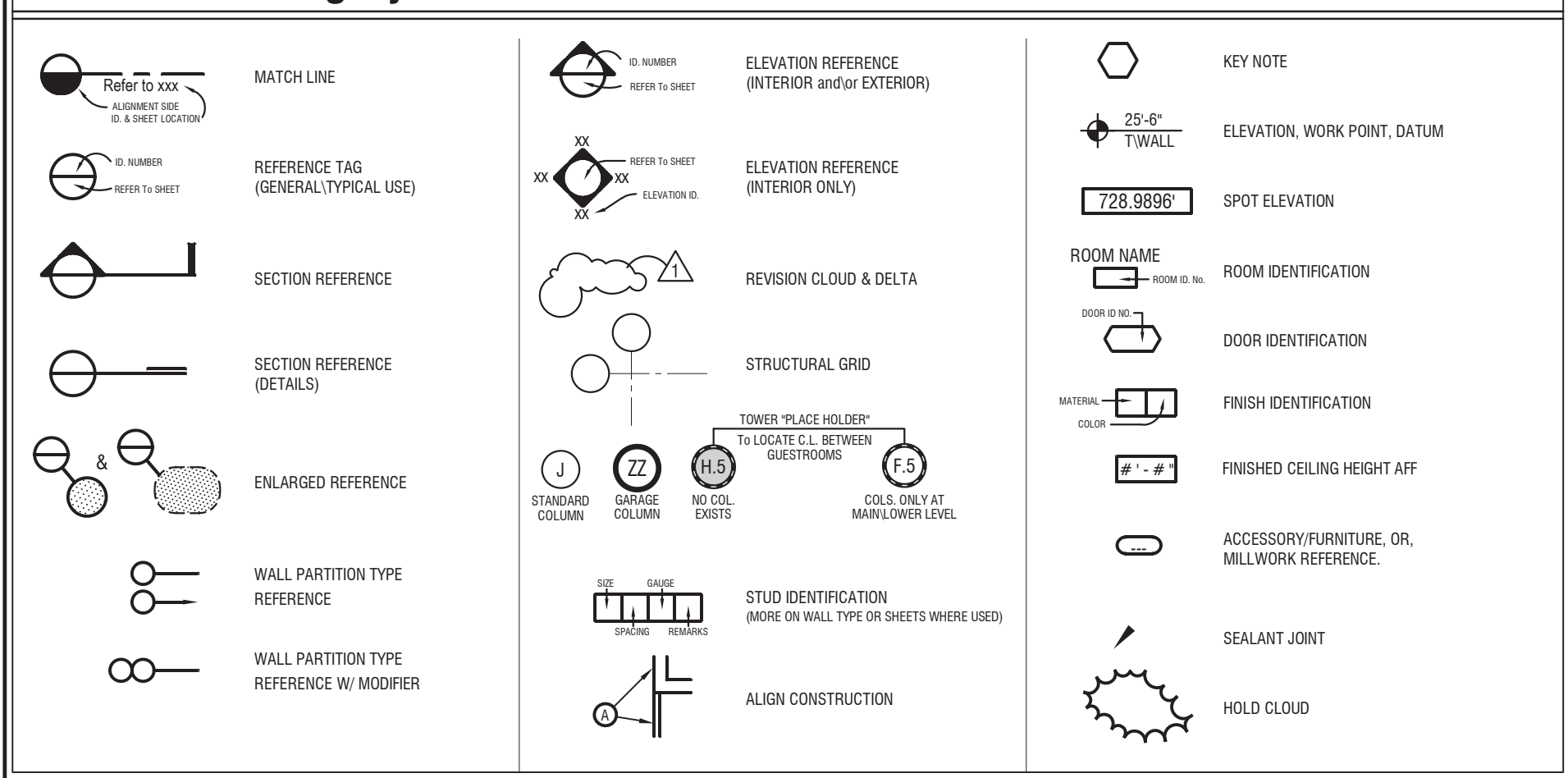
**Colony Northstar + The John Hardy Group**

**FRCH**  
a NELSON company

AIMBRIDGE Project No: 574118  
FRCH Project No: 035000.000

REVISION 06	09.05.2019	←
REVISION 05	08.21.2019	
REVISION 04 - DEVELOPMENT REVIEW	05.24.2019	
REVISION 03 - PERMIT SET	12.06.2018	
REVISION 02	11.20.2018	
REVISION 01	11.05.2018	
ISSUED TO BRAND	10.12.2018	

Index to Drawing Symbols:



Abbreviations & Definitions:

Table with columns for Abbreviations and Definitions. Includes sections for Electrical, Mechanical, Masonry, Structural, and other building systems. Includes a note: 'Where additional abbreviations, or word definitions, are defined by another discipline and a conflict occurs, their definition shall take precedence over the listing on these sheets only. When an abbreviation is undefined - CALL the Architect, do not assume.'

General Architectural Notes for Project:

- 1. REFER TO THE SEPARATE 'FF&E SPECIFICATION MANUAL AND MATERIALS REFERENCE MANUAL (BIDDERS)' FOR DETAILED MANUFACTURER, MODEL, STYLE, FINISH, INSTALLATION, AND FABRICATION INFORMATION AS WELL AS THE RESPONSIBILITY SCHEDULE FOR ALL FF&E MATERIALS FOR THIS PROJECT.
2. REFERENCES TO 'OWNER,' 'OWNER'S REPRESENTATIVE,' 'HILTON WORLDWIDE,' 'PROPERTY,' OR ANY COMBINATION THEREOF, WITHIN THESE CONSTRUCTION DRAWINGS SHALL REFER TO THE OWNER'S CONSTRUCTION PROJECT MANAGER.
3. THE TERM 'CONTRACTOR' AND 'SUB-CONTRACTOR' ARE USED INTERCHANGEABLY WITHIN THIS SET AND ARE NOT INTENDED TO INDICATE A SPECIFIC CONTRACTUAL ARRANGEMENT BUT REFER TO A TRADE IN GENERAL OR SPECIFIC TRADES THAT WOULD BE RESPONSIBLE FOR A PARTICULAR PORTION OF THE PROJECT. THE TERM 'GENERAL CONTRACTOR' & 'G.C.' ARE ALSO USED INTERCHANGEABLY WITHIN THIS SET.
4. THESE DRAWINGS ARE PREPARED FOR THE PURPOSES OF CONSTRUCTION ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR MAINTENANCE PURPOSES UNLESS IDENTIFIED AS 'RECORD DRAWINGS,' AS ACTUAL CONDITIONS MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS DUE TO CHANGE ORDERS, ALTERATIONS BY OTHERS, FIELD CONDITIONS, ETC.
5. DO NOT SCALE THE DRAWINGS. NOTED DIMENSIONS OR SPECIFIC LAYOUT DIRECTION ARE THE ONLY ACCEPTABLE MEANS OF LOCATION.
6. ALL DIMENSIONS ARE TO FINISH FACE OF GYPSUM BOARD AND/OR INDICATED MATERIAL, CENTERLINE OF COLUMNS, FACE OF CONCRETE, EDGE OF SLAB OR EDGE OF OPENING (U.N.O.)
7. THE GENERAL CONTRACTOR IS RESPONSIBLE TO EXECUTE THE DESIGN INTENT INDICATED FOR ALL WORK INDICATED, OR INFERRED, WITHIN THESE CONSTRUCTION DOCUMENTS UNLESS SPECIFICALLY NOTED 'BY OTHERS' AND/OR 'U.N.O.' IN ADDITION, THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING, AND SCHEDULING ALL CONSTRUCTION RELATED WORK, IDENTIFIED OR OTHERWISE, WITHIN THESE DOCUMENTS. COORDINATION SHALL INCLUDE WORK SPECIFICALLY IDENTIFIED AS: 'BY OTHERS' AND/OR 'U.N.O.'
8. WITHIN THESE CONTRACT DOCUMENTS SPECIFIC RESPONSIBILITIES ARE INDICATED FOR SOME WORK. WHERE SPECIFIC RESPONSIBILITIES ARE NOT INDICATED, THE GENERAL CONTRACTOR SHALL REFER TO THE OWNER'S SCOPE DOCUMENT(S) FOR ADDITIONAL INFORMATION AND GENERATE THEIR OWN SCOPE DOCUMENT TO ISSUE TO THEIR SUB-CONTRACTORS. EACH SUB-CONTRACTOR SHALL REFER TO THE GENERAL CONTRACTOR'S SCOPE DOCUMENT(S) TO FURTHER CLARIFY THEIR SCOPE RESPONSIBILITIES.
9. CONTRACTORS SHALL ADHERE TO ALL DESIGN CRITERIA INCLUDED WITHIN THE CONSTRUCTION DOCUMENTS UNLESS SPECIFICALLY MODIFIED BY AN ADDENDUM, BULLETIN, OR FIELD SKETCH AS ISSUED BY THE ARCHITECT OR ENGINEER(S).
10. UNFORTUNATELY DISCREPANCIES AND INCONSISTENCIES WITHIN CONSTRUCTION DOCUMENTATION ARE A FACT OF LIFE. EACH CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WITH IMMEDIATE NOTICE IF DISCREPANCIES ARE FOUND WITHIN THE CONSTRUCTION DOCUMENTS OR WHEN DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS ARE IDENTIFIED. FOR BIDDING PRICING PURPOSES, CONTRACTORS SHALL USE THE MORE RESTRICTIVE OR MORE EXPENSIVE OPTION WHEN INCONSISTENCIES ARE FOUND UNLESS CLARIFIED WITH A PRE-BID RFI. WORK SHALL NOT PROCEED IN THESE AREAS UNTIL SAID DISCREPANCIES ARE RESOLVED.
11. IN THE EVENT THE GENERAL CONTRACTOR DOES NOT INFORM THE PROJECT MANAGER OF A DISCREPANCY WITHIN THE DOCUMENTATION, THEY WILL BE RESPONSIBLE TO COMPLY WITH THE MORE RESTRICTIVE/MORE EXPENSIVE OPTION. DISCREPANCIES WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS SHALL NOT BE A REASON FOR EXTRA COST, OR A DELAY IN THE COMPLETION OF THE PROJECT. WORK SHALL BE PERFORMED PER THE INTENT OF THE CONTRACT DOCUMENTS AT NO EXTRA COST TO THE OWNER. MODIFICATIONS TO DETAILS AFFECTED BY EXISTING CONDITIONS ARE SUBJECT TO REVIEW BY THE ARCHITECT AND/OR ENGINEER.
12. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING DIMENSIONS, CONDITIONS, CONSTRUCTION MATERIALS, DETAILS, ETC. BY OBSERVATION, INVESTIGATION AND THROUGH MEASUREMENTS TAKEN AT THE JOB SITE. THEY SHALL TAKE ANY AND ALL MEASUREMENTS NECESSARY TO VERIFY THE EXISTING CONDITIONS AGAINST DRAWINGS SO AS TO PERFORM THEIR WORK PROPERLY PRIOR TO THE PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF MATERIALS, OR ACTUAL CONSTRUCTION OF THE PROJECT. THE CONTRACTOR ALONE IS RESPONSIBLE FOR THE PROPER FITTING, CONNECTION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THEIR WORK DURING FABRICATION, TRANSIT, STORAGE, INSTALLATION, AND UNTIL FINAL OWNER ACCEPTANCE. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL CLEAN ALL WORK AS WELL AS REPAIR AND REFINISH ANY DAMAGE TO THE SATISFACTION OF THE ARCHITECT, INTERIOR DESIGNER AND THE OWNER AS PART OF THE BASE CONTRACT.
14. ALL CONSTRUCTION ELEMENTS SHALL BE INSTALLED PER THE CONSTRUCTION DOCUMENTS AND THE MANUFACTURER'S STANDARD RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS. WHERE ADDITIONAL U.L., ASTMA, TRADE QUAL, AND/OR TRADE ASSOCIATION INFORMATION IS REFERENCED IN THESE DOCUMENTS OR MANUFACTURER'S DOCUMENTATION, THOSE REQUIREMENTS SHALL ALSO BE FOLLOWED. THE CONTRACTOR INSTALLING SAID ELEMENTS, SHALL ENSURE THE SUBSTRATE BEING INSTALLED OVER COMPLES WITH THE ANY REFERENCED REQUIREMENTS. WHERE THE SUBSTRATE IS NEW CONSTRUCTION PREVIOUSLY INSTALLED BY ANOTHER TRADE, THE PREVIOUS TRADE SHALL BE RESPONSIBLE FOR REMEDIATION OF THEIR WORK PRIOR TO THE NEXT TRADE PROCEEDING IF IT DOES NOT MEET THE REQUIRED STANDARDS.
15. THE CONTRACTOR SHALL REMEDY WITHOUT COST TO THE OWNER, ANY DEFECTS DUE TO THEIR FAULTY WORKMANSHIP OR INSTALLATION OVER IMPROPER SUBSTRATE WITHOUT PRIOR CORRECTION.
16. THE INTERIOR DESIGNER HAS ENDEAVORED TO ENSURE CODE COMPLIANCE BUT IT IS STILL THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR TO ENSURE THAT THEIR WORK IS INSTALLED AND MEETS THE REQUIREMENTS OF ALL APPLICABLE CODES, ORDINANCES, AND ANY JURISDICTION HAVING AUTHORITY. THE CONTRACTOR SHALL OBTAIN APPROVAL AND INSPECTIONS OF THE GOVERNING AUTHORITIES.
17. IF IT IS THE INTENTION OF THE NOTES AND KEYNOTES LOCATED ON THE VARIOUS SHEETS) WITHIN THIS DRAWING SET TO IDENTIFY CONSTRUCTION ELEMENTS, NOT NECESSARILY DESCRIBE ENTIRE ASSEMBLIES OR PROCESSES, THE INSTALLATION OF SAID ELEMENT SHOULD INCLUDE ALL ASSOCIATED CONSTRUCTION NECESSARY TO ACHIEVE INSTALLATION AND OPERATION (USE) OF SAID ITEM. FOR EXAMPLE, THE INSTALLATION OF CERAMIC TILE SHALL INCLUDE (BUT BE NOT LIMITED TO) THE SURFACE PREPARATION, MASTIC, GROUT, EDGE STRIPS, SEALING, CLEANING, ETC. IN ADDITION, IF THE PLUMBER INSTALLS A LAVATORY, IT MEANS HE/SHE SHALL PREPARE SURFACES), SET LAVATORY, SEAL AROUND BOWL, PROVIDE FAUCET, AND CONNECT TO PLUMBING AS NECESSARY TO ACHIEVE AN AESTHETICALLY PLEASING, ADAAG COMPLIANT (WHERE REQUIRED), OPERATIONAL LAVATORY UPON COMPLETION OF THE PROJECT.
18. PROVIDE DRYWALL TRIM AT ALL EXPOSED EDGES & OUTSIDE CORNERS OF GYPSUM WALLBOARD CONSTRUCTION. J-BEAD OR OTHER NON-DRYWALL COMPOUND EMBEDDED TRIM PIECES ARE PROHIBITED (U.N.O.)
19. ALL FRAMING LUMBER, WOOD NAILERS, BLOCKING, RAISED PLATFORM FRAMING, PLYWOOD, OTHER CONCEALED WOOD MATERIALS WHERE DETAILED, OR REQUIRED, FOR THE ATTACHMENT OF FINISHED MATERIALS SHALL BE TREATED WITH FIRE-RETARDANT (F.R.T.) CHEMICALS IN ACCORDANCE WITH ASTM E84-77. THE MATERIAL SHALL BEAR THE IDENTIFICATION OF AN AUTHORITY TESTING OR INSPECTION AGENCY ACCEPTABLE TO THE GOVERNING AGENCY WITH THE PERFORMANCE RATING THEREOF. NO F.R.T. WOOD SHALL BE INSTALLED WITHIN A 3HR. (OR GREATER) RATED WALL OR BE EXPOSED AND ABOVE SPRINKLER COVERAGE.
20. WOOD MULDINGS, TRIM PANELS, AND THE LIKE SHALL BE INSTALLED DIRECTLY OVER A FIRE-RESISTIVE AND/OR NON-COMBUSTIBLE SUBSTRATE WITH MECHANICAL FASTENERS AND/OR ADHESIVE. FURRED OUT CONSTRUCTION, IF UTILIZED, SHALL BE FIRE-STOPPED WITH SOLID F.R.F. BLOCKING (OR OTHER NON-COMBUSTIBLE MATERIAL) SPACED A MAXIMUM OF 8'-0" ON CENTER IN ALL DIRECTIONS. OPTIONALLY, THE ENTIRE CAVITY BEHIND THE STAND-OFF OR FURRED CONSTRUCTION MAY BE FILLED WITH INORGANIC AND/OR NON-COMBUSTIBLE MATERIAL.
21. WHERE NEWLY INSTALLED CONSTRUCTION ADJUTS PREVIOUSLY INSTALLED OR EXISTING MATERIALS, THESE ADJACENT AREAS SHALL BE TOUCHED-UP AND FINISHED TO BLEND WITH THE NEWLY INSTALLED CONSTRUCTION. COORDINATE WITH THE ARCHITECT OR DESIGNER AS NECESSARY.
22. ALL WORK SHALL BE DONE TO MEET OR EXCEED THE STANDARDS OF THE CONSTRUCTION PRACTICES FOR EACH TRADE.
23. ALL WORK AND FINAL FINISHED PRODUCTS SHALL BE COMPLETE IN EVERY RESPECT TO THE SATISFACTION OF THE PROJECT MANAGER, ARCHITECT, INTERIOR DESIGNER, AND ENGINEERS.

General Demolitions Notes:

- 1. DEMOLITION SHALL NOT BE LIMITED SOLELY TO THOSE ITEMS SHOWN WITHIN THE DEMOLITION DRAWING(S).
2. THE FULL SCOPE OF DEMOLITION REQUIRES A REVIEW OF THE ENTIRE DOCUMENT DRAWING SET, AS WELL AS A SITE VISIT TO REVIEW THE PROJECT SITE. CONTRACTOR SHALL REVIEW ANY EXISTING DOCUMENTATION OF THE PROJECT SPACE TO BETTER UNDERSTAND THE EXISTING CONDITIONS, OMISSIONS WHICH OCCUR DUE TO INCOMPLETE REVIEW WILL NOT BE ENTERTAINED.
3. REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL REUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. DEBRIS SHALL BE REMOVED ON A REGULAR BASIS SO IT DOES NOT INTERFERE WITH THE DEMOLITION/CONSTRUCTION WORK OR THE NORMAL OPERATIONS OF THE FACILITY, BECOME A SAFETY HAZARD, OR EXCEED THE STRUCTURAL LOAD CAPABILITIES OF THE BUILDING. COORDINATE REMOVAL WITH APPLICABLE RESTRICTIONS ON ADJACENT RIGHTS OF WAY.
4. CONTRACTOR SHALL LEAVE THE SPACE(S) BROOM CLEAN AND READY TO RECEIVE NEW CONSTRUCTION.
5. IF DIRECTED, SALVAGE ANY ITEMS SPECIFICALLY IDENTIFIED BY THE OWNER, ARCHITECT OR ENGINEER FOR REUSE. STORE ITEMS IN A PROTECTED LOCATION ON SITE, OR IF DIRECTED PROVIDE LOCAL OFF SITE STORAGE AND LOCAL DELIVERY AS REQUIRED.
6. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND, FEDERAL CODES, AS WELL AS GOVERNING AUTHORITIES HAVING JURISDICTION. ADHERE TO REGULATIONS PERTAINING TO THE SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
7. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT STRUCTURES. CONTRACTOR SHALL ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT DAMAGE OR INJURY RESULTING FROM DEMOLITION WORK. CONTRACTOR SHALL SEEK PROFESSIONAL ADVICE, WHEN NEEDED, IN THE DESIGN AND PLACEMENT OF SUCH SHORING AND BRACING.
8. CONTRACTOR SHALL EXERCISE CAUTION WHEN REMOVING CONSTRUCTION WHERE THE EXISTING CONDITIONS ARE UNCLEAR. IN SUCH CASE(S), CONTRACTOR SHALL REMOVE THE NECESSARY CONSTRUCTION TO EXPOSE THE UNDERLYING ELEMENTS PRIOR TO PROCEEDING WITH DEMOLITION. WHENEVER THE REMOVAL OF BUILDING ELEMENTS MAY, OR WILL, CREATE AN UNSTABLE, OR UNSAFE, CONDITION, DO NOT PROCEED WITH DEMOLITION UNTIL THE CONCERN IS REVIEWED BY THE OWNER AND ARCHITECT. AT ANY TIME DURING DEMOLITION, CONTRACTOR SHALL CEASE OPERATIONS IF THE SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. PROVIDE BRACINGS/SHORING TO STABILIZE STRUCTURE AND IMMEDIATELY CONTACT THE OWNER AND ARCHITECT TO DETERMINE AN APPROPRIATE DIRECTION. DO NOT RESUME NORMAL OPERATIONS UNTIL SAFETY IS RESTORED.
9. COORDINATE WITH AND PROVIDE 48 HOURS MIN. NOTICE TO PROJECT MANAGER AND BUILDING MANAGEMENT WHEN CUTTING, SHUTTING OFF OR REMOVING COMMUNICATION LINES, WET OR DRY UTILITIES OR OTHER BUILDING SERVICE ELEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MECH., ELEC., PLUMBING REMOVAL AND ABANDONMENT OF THE EXISTING CONSTRUCTION WITHIN THE PROJECT AREA. ELECTRICAL ELEMENTS SHALL BE REMOVED TO NEAREST ACTIVE JUNCTION BOX TO REMAIN. CONTRACTOR SHALL BE ALERT TO SITUATIONS WHERE FIELD CONDITIONS FOR EXISTING M.E.P. OR FIRE PROTECTION SERVICE WOULD RESULT IN A 'SERVICE INTERRUPTION' WITH THE REMOVAL OF SAID SERVICE PER DOCUMENTATION. IF THERE IS NO PROVISION TO RETAIN OR REPLACE SERVICE, CONTACT OWNER AND ARCHITECT TO IDENTIFY A SOLUTION. DO NOT PROCEED WITH SERVICE INTERRUPTION UNTIL SUCH TIME. REFER TO PROJECT MANAGERS RESTRICTIONS ON PERFORMANCE OF NOISY WORK.
10. IT IS THE INTENT THAT ALL DEMOLITION WORK ADJACENT TO EXISTING SURFACES THAT SHALL REMAIN TO BE REFINISHED SO AS TO PROVIDE AN EVEN FINISH THAT MATCHES THE ADJACENT SURFACE. IN CASES WHERE REQUIRED DEMOLITION RESULTS IN AN AREA THAT IS NOT SPECIFICALLY IDENTIFIED AS FINISHED/CONCEALED/COVERED, CONTRACTOR SHALL PATCH AND REPAIR SUCH WORK SO THERE IS NO EVIDENCE OF THE DEMOLITION. WHERE DEMOLITION WORK COMPROMISES FIRE-RATED CONSTRUCTION, MOISTURE/VAPOR BARRIERS, OR SIMILAR 'CONTAINMENT' CONSTRUCTION, CONTRACTOR SHALL PATCH AND REPAIR CONSTRUCTION TO MAINTAIN THE ORIGINAL BARRIER INTEGRITY.
11. MINIMIZE IMPACT OF DEMOLITION ON ALL ADJACENT SURFACES, FINISHES, AND ACTIVITIES. PROVIDE BARRIER PROTECTION (PLYWOOD) OVER ADJACENT SURFACES. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO ADJACENT WORK IF OVER-DEMOLITION OCCURS.
12. IT IS THE INTENTION OF THE KEY NOTES LOCATED ON THE DEMOLITION SHEETS) TO IDENTIFY CONSTRUCTION ELEMENTS, NOT DESCRIBE ENTIRE ASSEMBLIES. THE REMOVAL OF SAID ELEMENT SHOULD INCLUDE ALL ASSOCIATED CONSTRUCTION (I.E. CERAMIC TILE SHOULD INCLUDE (BUT NOT LIMITED TO) THE TILE, MASTIC GROUT, TERRAZZO STRIPS, ETC.) U.N.O.

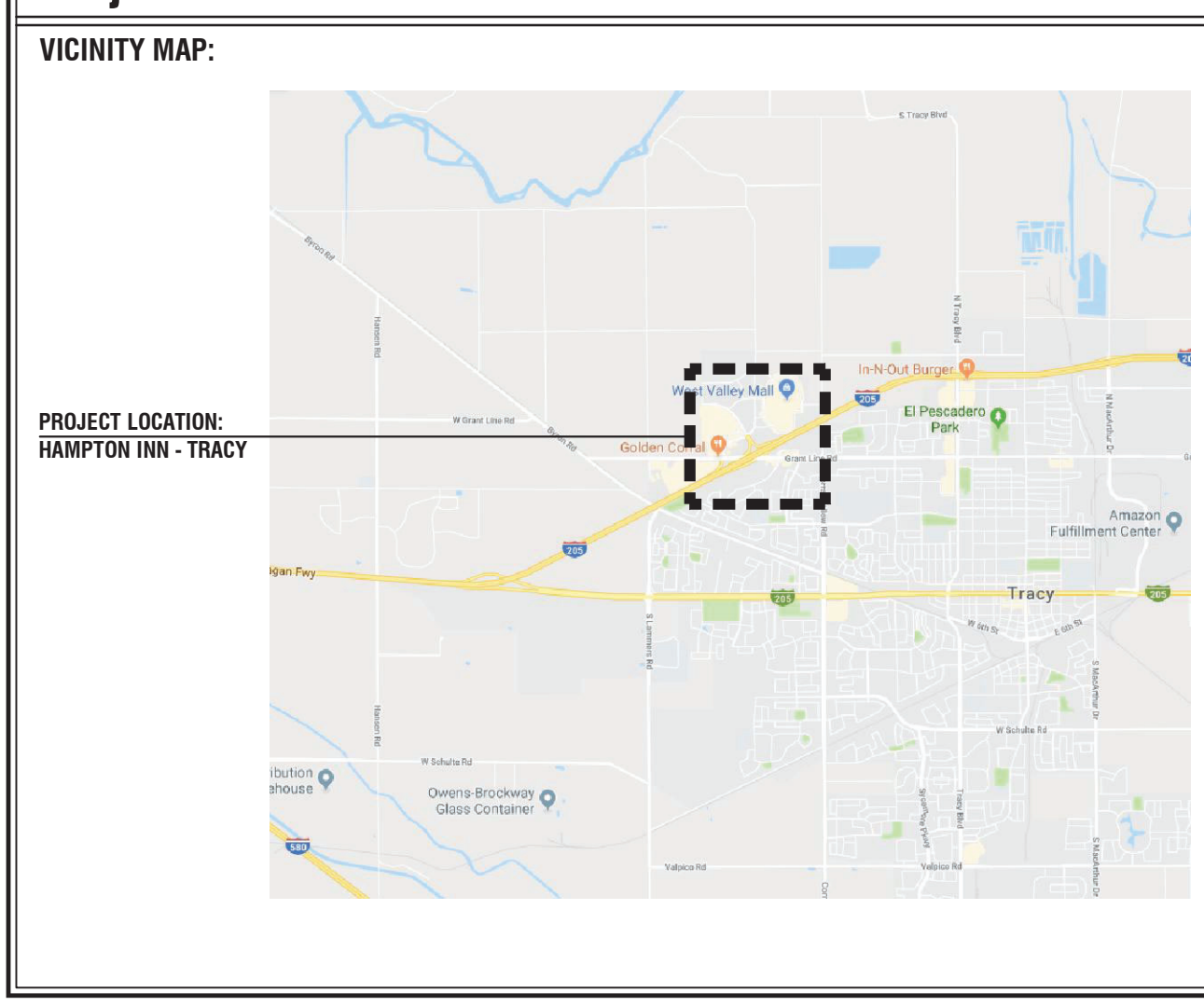
Project Scope:

PROJECT DESCRIPTION: THIS PROJECT WILL CONSIST OF UPGRADES AND IMPROVEMENTS TO THE ACCESSIBLE PARKING AREAS, GUEST DROP OFF AREA AT THE MAIN ENTRANCE AND THE ACCESSIBLE PATHWAYS FROM THE MAIN ENTRANCE TO THE ACCESSIBLE PARKING AND THE PUBLIC RIGHT OF WAY. IT WILL ALSO INCLUDE A REVISION OF THE EXISTING PORTE COCHERE AND FACADE IN KEEPING WITH THE UPDATED HAMPTON INN PROTOTYPE STANDARDS.
NO MODIFICATIONS TO THE BUILDING STRUCTURE, SITE OR EXISTING HILL OCCUR. MODIFICATIONS TO LIFE SAFETY SYSTEMS (ALARMS & SPRINKLERS) SHOULD NOT BE NECESSARY.
ELECTRICAL WORK INDICATED WITHIN THESE DOCUMENTS IS FOR THE PURPOSE OF IDENTIFYING SCOPE.
BUILDING CODE INFORMATION: BUILDING CODES: 2016 CALIFORNIA BUILDING CODE (CBC) 2016 CALIFORNIA PLUMBING CODE (CPC) 2016 CALIFORNIA MECHANICAL CODE (CMC) 2016 CALIFORNIA ELECTRICAL CODE (CEC) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN 2016 CALIFORNIA FIRE CODE (CFC) 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE TRACY MUNICIPAL CODE (TMC)
OCCUPANCY: MAJOR OCCUPANCY - R1 (HOTEL) ACCESSORY OCCUPANCIES - A2 (BREAKFAST AREA) A3 (MEETING ROOMS/SWIMMING POOL/FITNESS) B (ADMINISTRATIVE OFFICES)
CONSTRUCTION TYPE: TYPE 5A (SPRINKLERED) - AS CAN BE DETERMINED BY EXISTING CONSTRUCTION DOCUMENTATION AND IN THE ARCHITECT'S PROFESSIONAL OPINION.
FIRE SUPPRESSION: FULLY SPRINKLERED (EXISTING)
BUILDING AREA: LEVEL 01 - 10,355 sf LEVELS 02-03 - 8,958 sf TOTAL - 30,273 sf
BUILDING HEIGHT: 3 STORY - EXISTING UNCHANGED

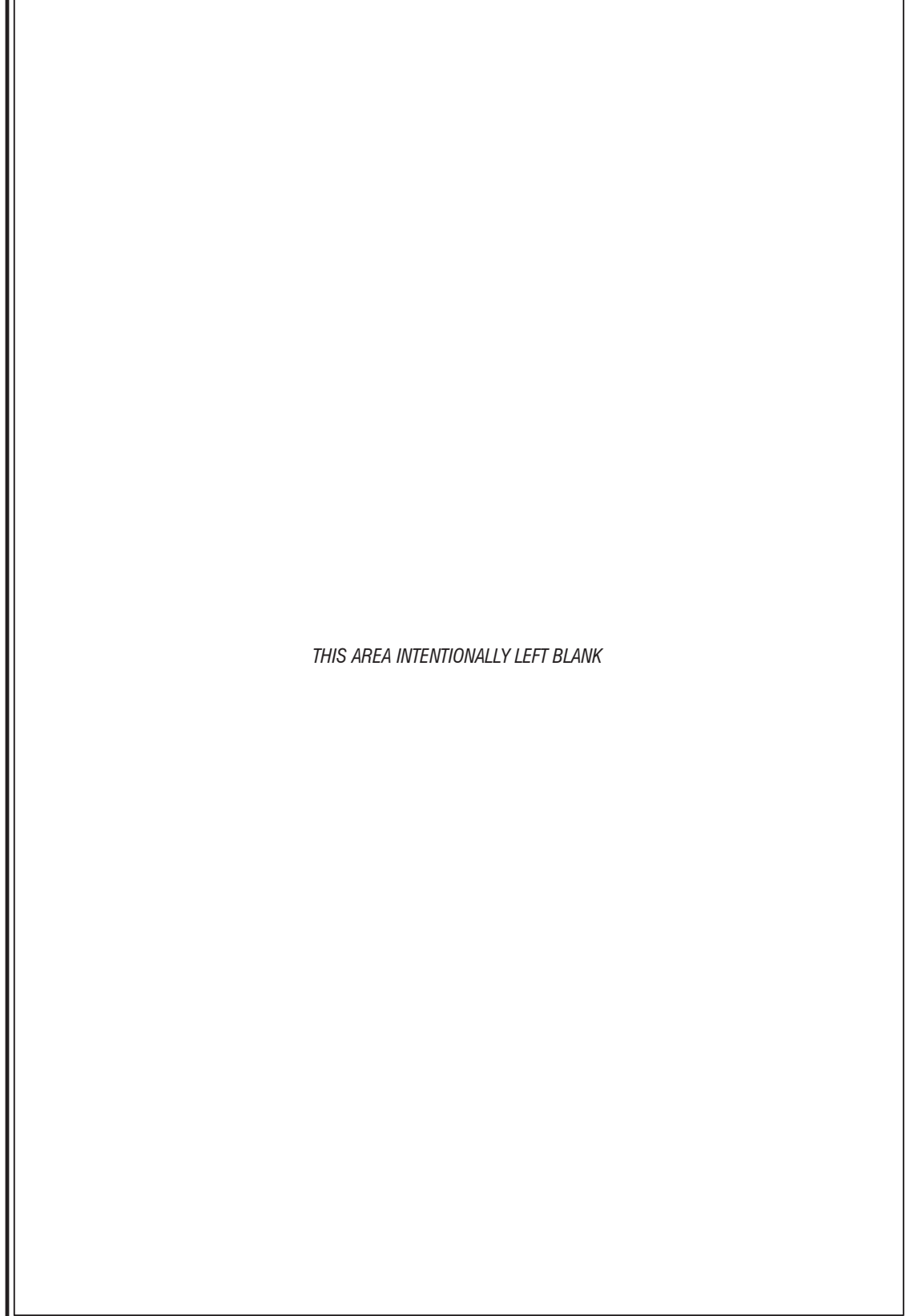
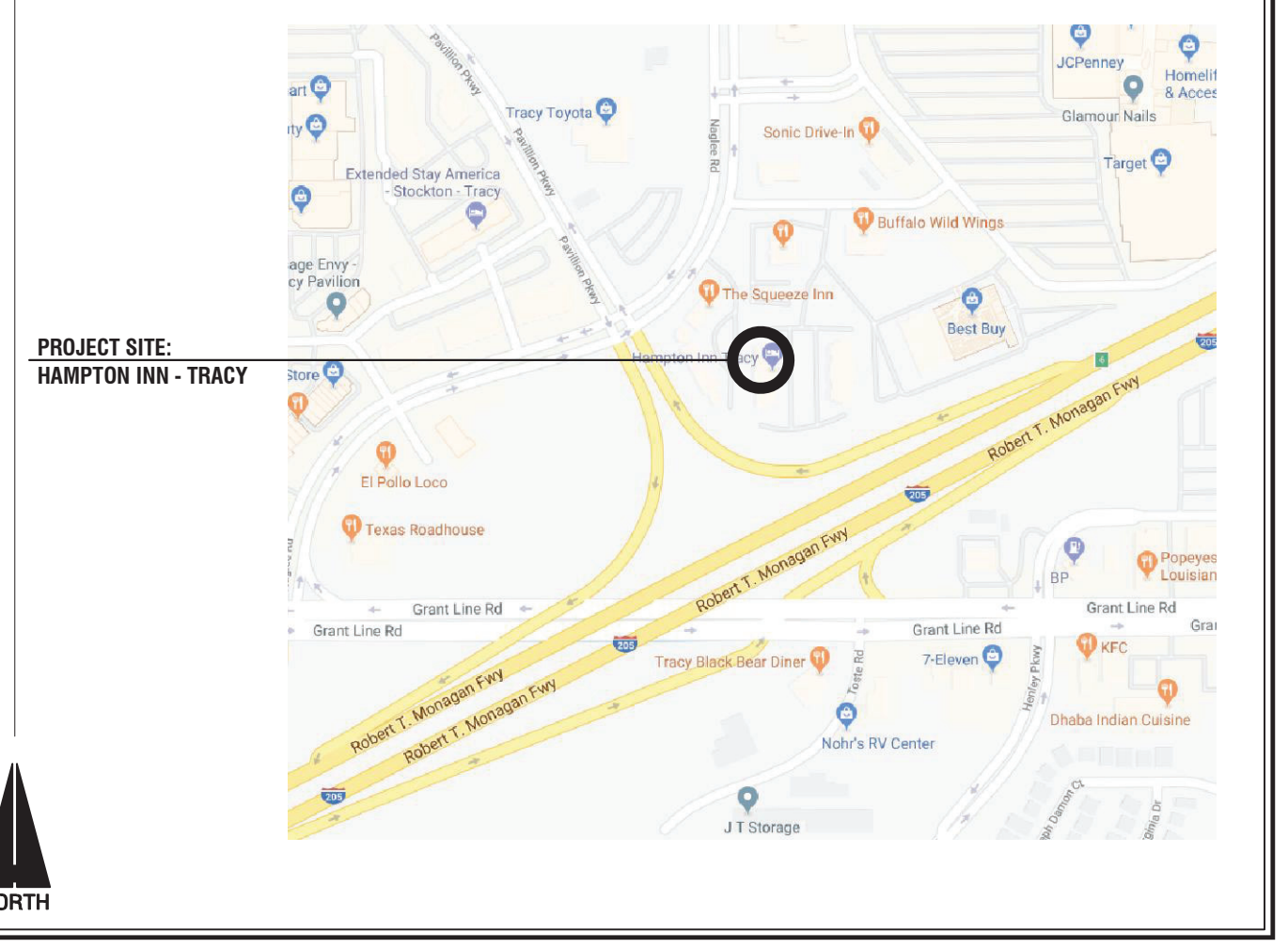
Index of Drawings:

Table with columns: Drawing No., Drawing Description, Control Revision, Date, and Issue Date. Lists drawings such as COVER SHEET, INDEX SHEET AND GENERAL NOTES, SITE PLAN: ACCESSIBILITY UPGRADES, SITE PLAN, DEMOLITION PLANS, PORTE COCHERE, DEMOLITION ELEVATIONS, RENOVATED ELEVATIONS, PORTE COCHERE PLANS, DETAILS, EXTERIOR DETAILS, SITE PLAN, ROOF PLAN, LINE OF SIGHT STUDY (NEW SHEET), STRUCTURAL GENERAL NOTES, PLAN & DETAILS, ELECTRICAL LIGHTING ENLARGED PLAN: PORTE COCHERE, and ELECTRICAL LIGHTING ELEVATIONS.

Project Location:

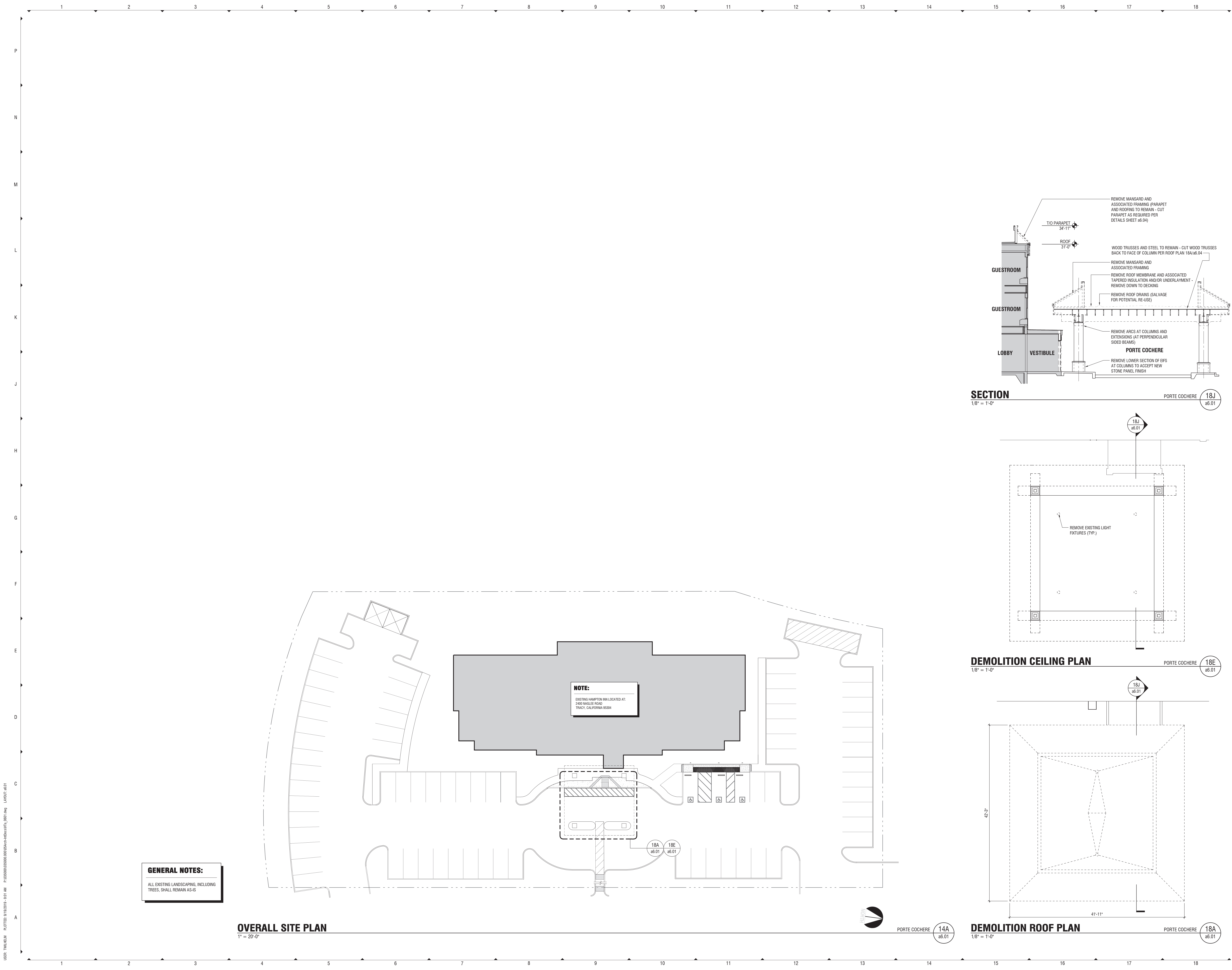


LOCATION MAP:

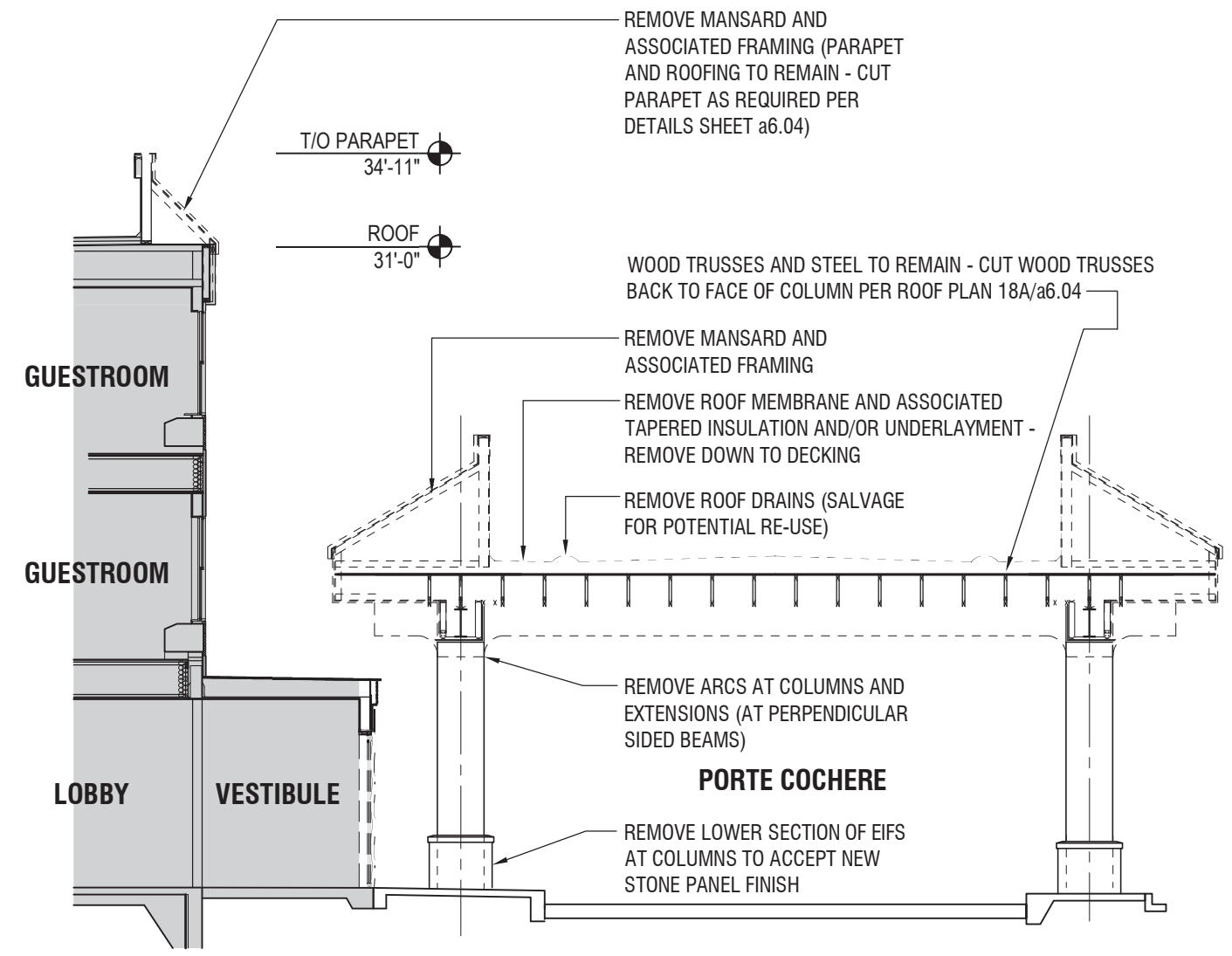


FRCH | a NELSON company
311 Elm Street Suite 600 Cincinnati, OH 45202 www.FRCH.com 513.241.3000
Hampton Inn by HILTON
Tracy, CA Inn Code: TRACY
Project Manager 404.258.8800
Architect 513.241.3000
Interior Design 513.241.3000
ISSUED: 12 October 2018
REVISIONS: BRAND REVIEW COMMENTS 11.05.18, REVISION 2 UPDATES 11.20.18, PERMIT SET 12.06.18, REVISION 3 UPDATES 05.10.19, REVISION 5 UPDATES 08/21/19, REVISION 6 UPDATES 08/09/19
FRCH ARCHITECTURE, INC. P.C.
PROJECT INFORMATION: Hampton Inn Exterior Renovation
Hampton Inn, Tracy CA 2400 Naglee Road Tracy, California 95304
AMBRIDGE PROJECT NUMBER: 574118
FRCH PROJECT NUMBER: 35000.000
SHEET INFORMATION: Index Sheet and General Notes
DRAWN BY: A. Sojda
REVIEWED BY: C. Jacobs
SCALE: As Noted
AUTHORIZED FOR: PERMITTING
a0.00

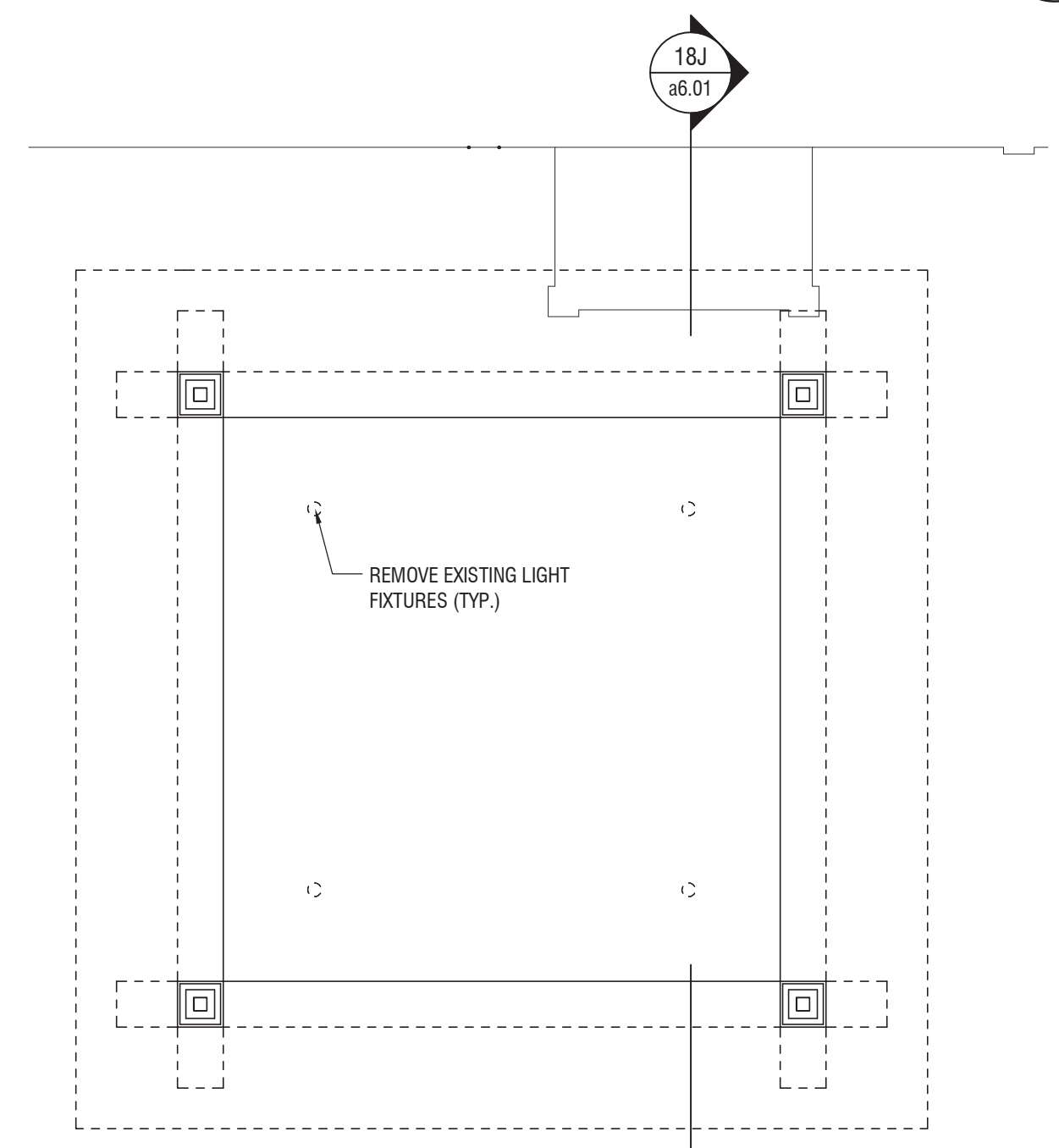




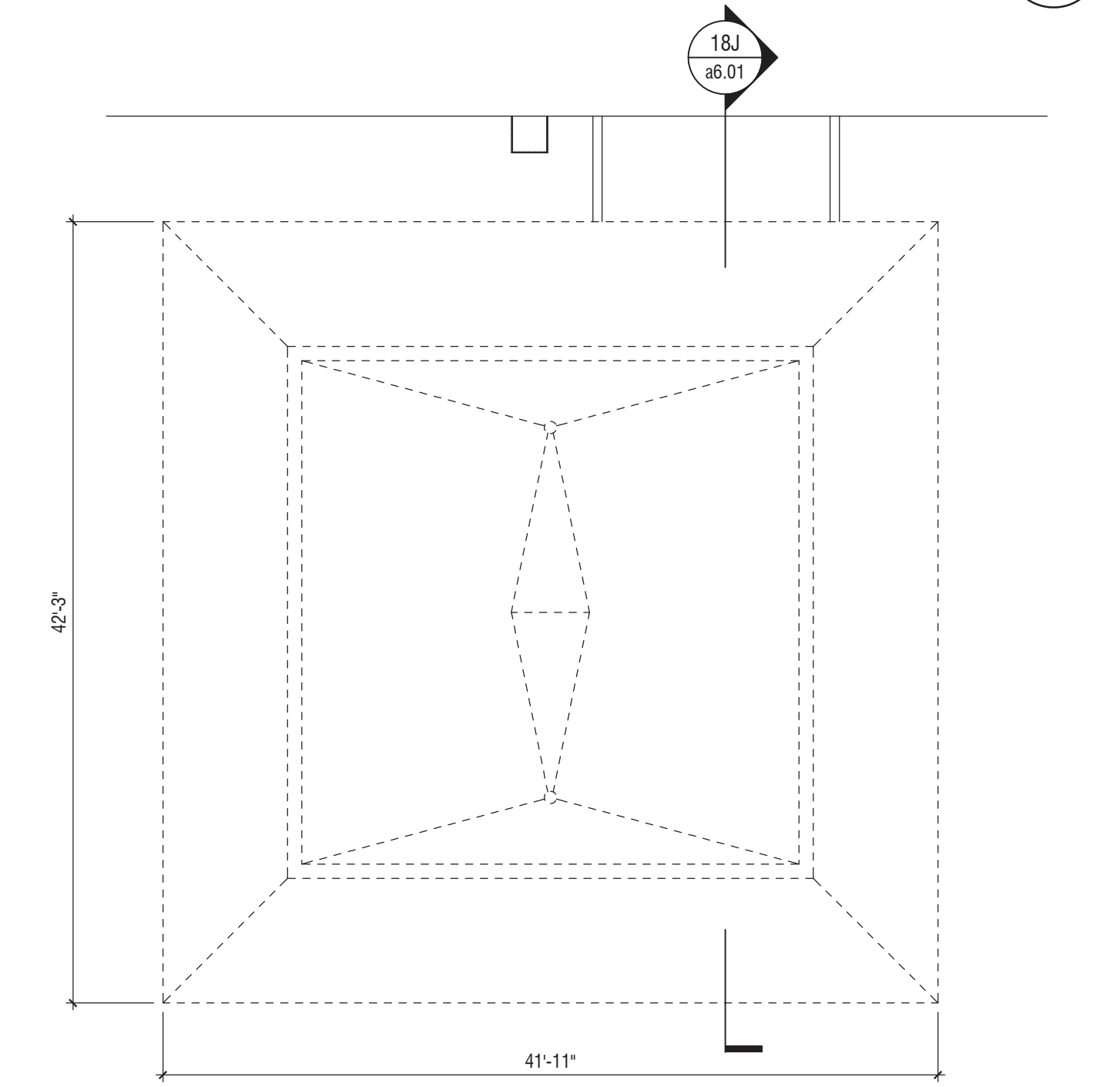
**GENERAL NOTES:**  
ALL EXISTING LANDSCAPING, INCLUDING TREES, SHALL REMAIN AS-IS



**SECTION**  
1/8" = 1'-0" PORTE COCHERE 18J a6.01



**DEMOLITION CEILING PLAN**  
1/8" = 1'-0" PORTE COCHERE 18E a6.01



**DEMOLITION ROOF PLAN**  
1/8" = 1'-0" PORTE COCHERE 18A a6.01

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Inn Code: TRACY

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Kylie Burroughs

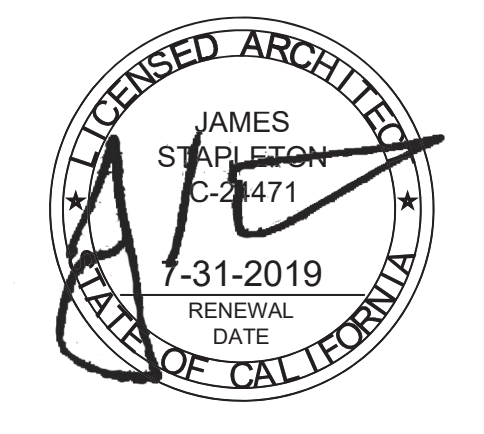
**ISSUED INFORMATION**

ISSUED:  
**12 October 2018**

REVISIONS:

BRAND REVIEW COMMENTS	11.05.18
PERMIT SET	12.06.18
REVISION 4 UPDATES	05.24.19

FRCH ARCHITECTURE, INC. P.C.



**PROJECT INFORMATION**

**Hampton Inn Exterior Renovation**

Hampton Inn, Tracy CA  
2400 Naglee Road  
Tracy, California 95304

AMBRIIDGE PROJECT NUMBER:  
574118

FRCH PROJECT NUMBER:  
35000.000

**SHEET INFORMATION**

**Site Plan, Demolition Plans: Porte Cochere**

DRAWN BY: T.Wilhelm  
REVIEWED BY: M.Kerling  
SCALE: As Noted  
AUTHORIZED FOR: PERMITTING

**a6.01**

USER: TINKLEEM PLOTTED: 9/15/2019 9:57 AM P:\35000\35000.000\35000.dwg LAYOUT: a6.01

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 Inn Code: TRACY

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 Nathan Hill, Senior Project Manager

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 Craig Jacobs

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 Kylee Burroughs

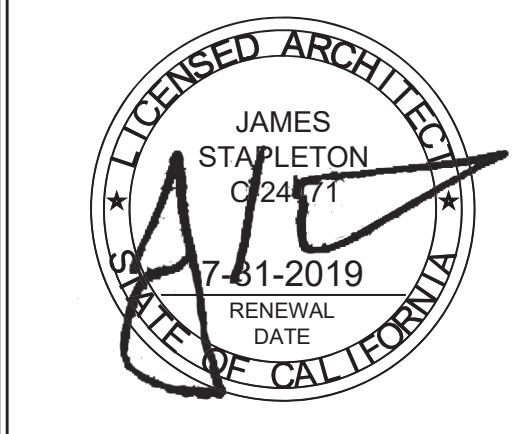
**ISSUED INFORMATION**

ISSUED:  
**12 October 2018**

REVISIONS:

BRAND REVIEW COMMENTS	11.05.18
REVISION 2 UPDATES	11.20.18
REVISION 4 UPDATES	05.24.19

**FRCH ARCHITECTURE, INC. P.C.**



**PROJECT INFORMATION**

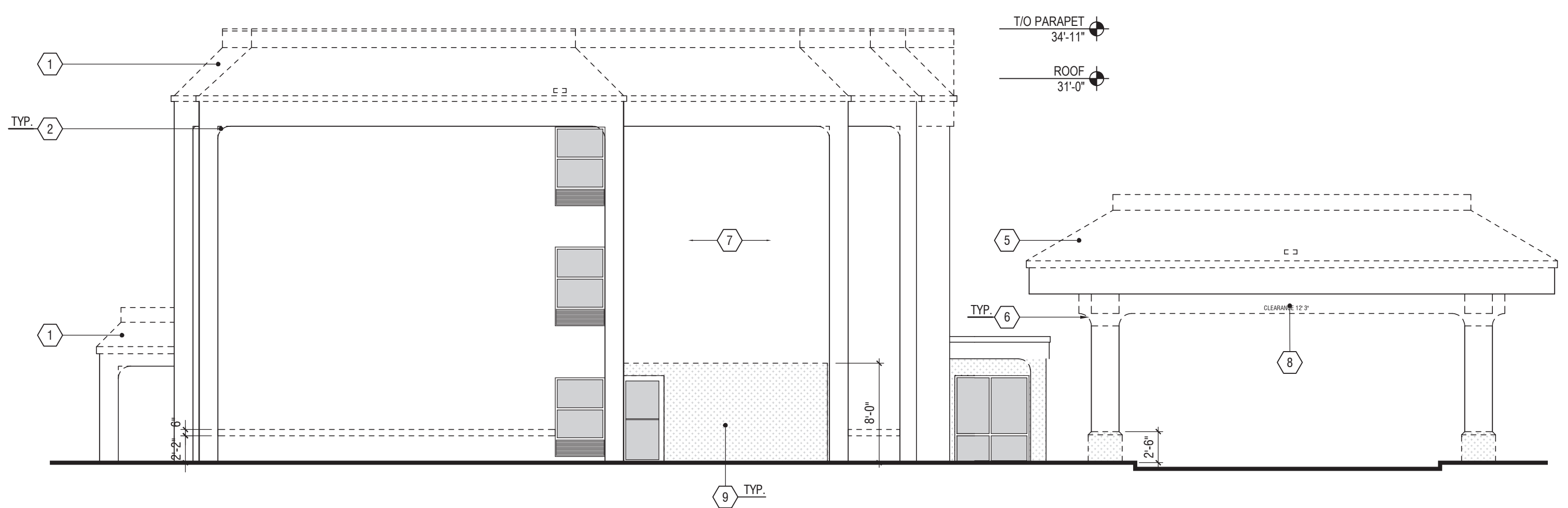
**Hampton Inn Exterior Renovation**  
 Hampton Inn, Tracy CA  
 2400 Naglee Road  
 Tracy, California 95304  
 AMBRIDGE PROJECT NUMBER:  
 574118  
 FRCH PROJECT NUMBER:  
 35000.000

**SHEET INFORMATION**

**Demolition Elevations**

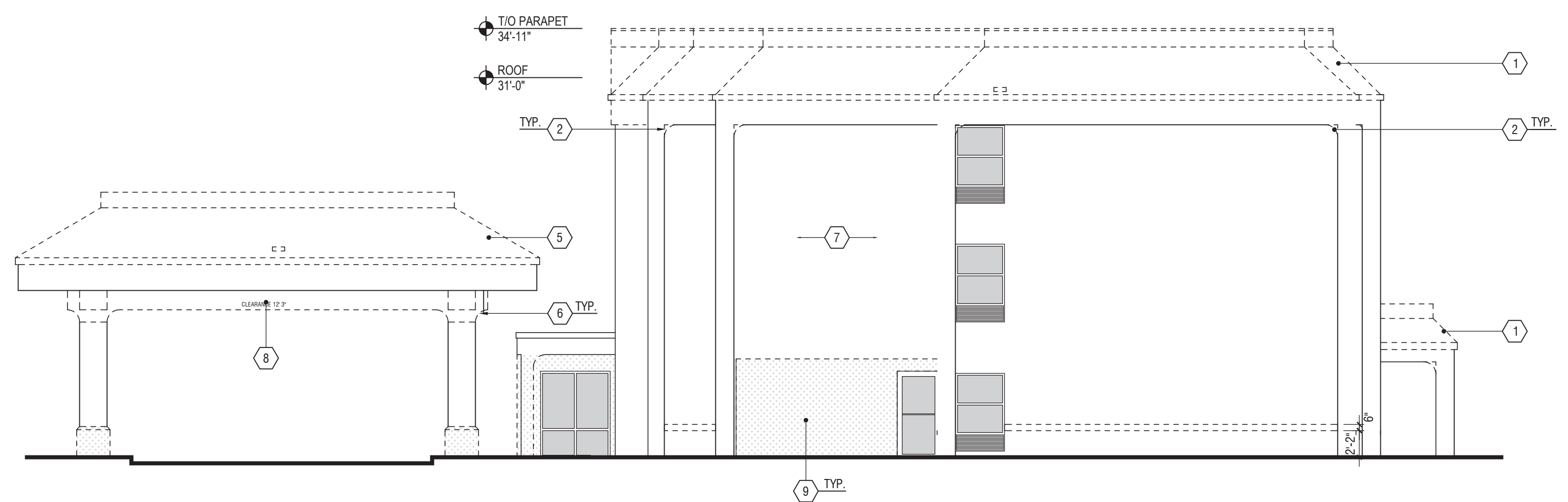
DRAWN BY: T.Wilhelm  
 REVIEWED BY: M.Kerling  
 SCALE: As Noted  
 AUTHORIZED FOR: PERMITTING

**a6.02**



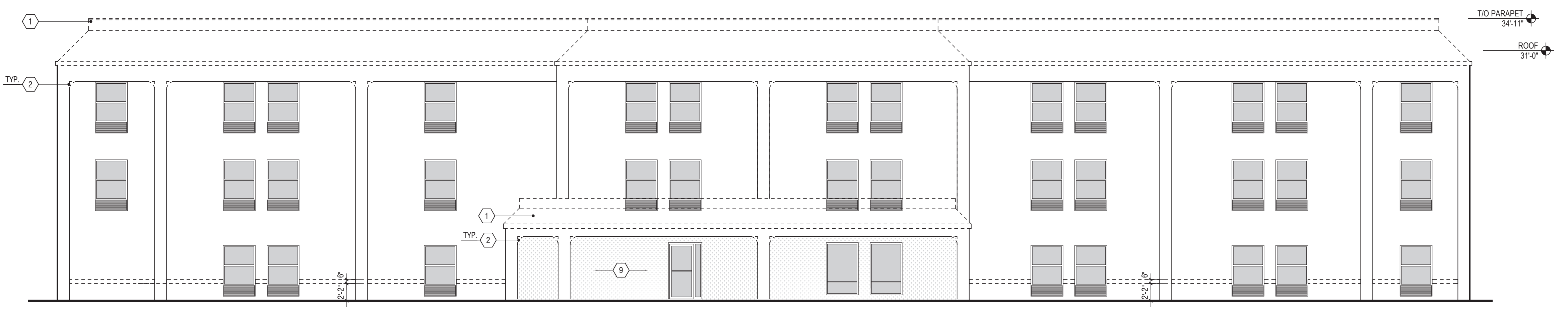
**BUILDING ELEVATION - (SOUTH)**  
 1/8" = 1'-0"

9L  
a6.02



**BUILDING ELEVATION - (NORTH)**  
 1/8" = 1'-0"

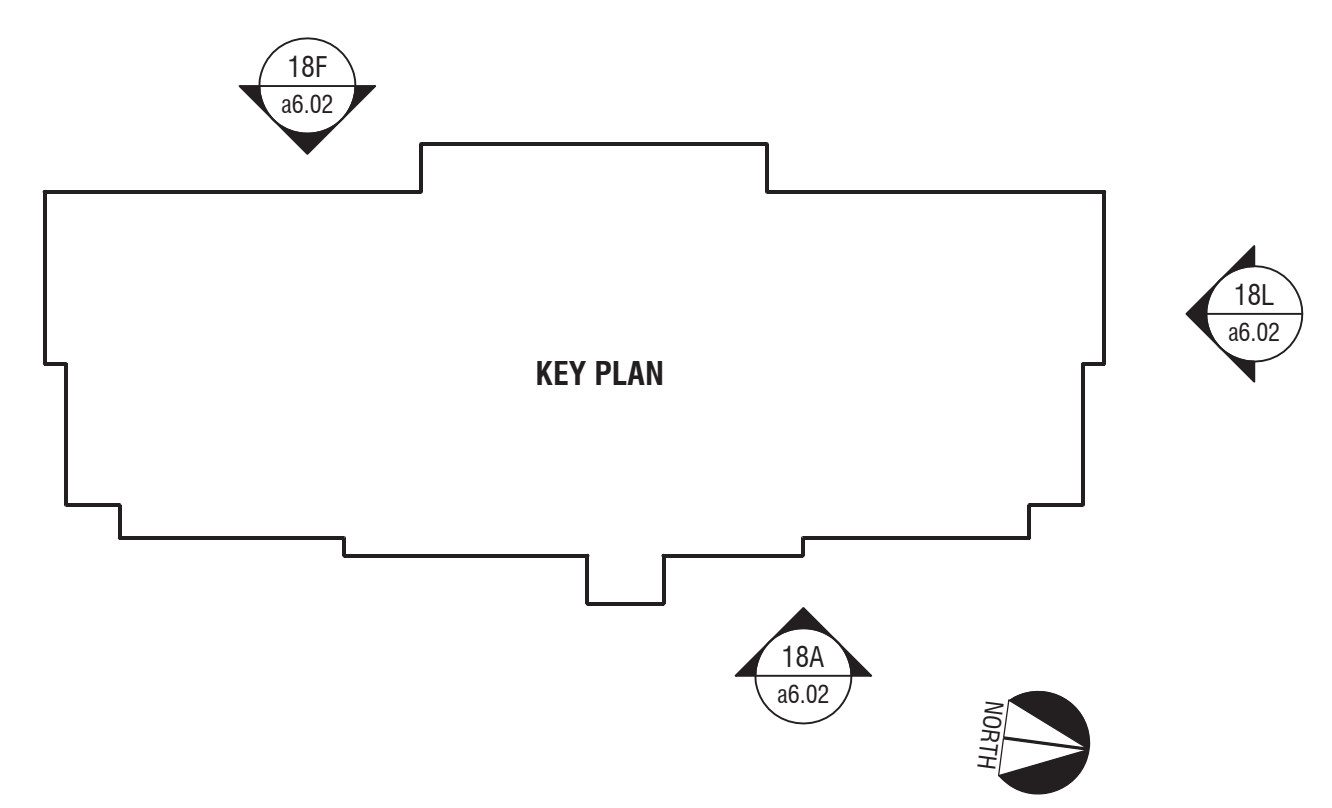
18L  
a6.02



**BUILDING ELEVATION - (WEST)**  
 1/8" = 1'-0"

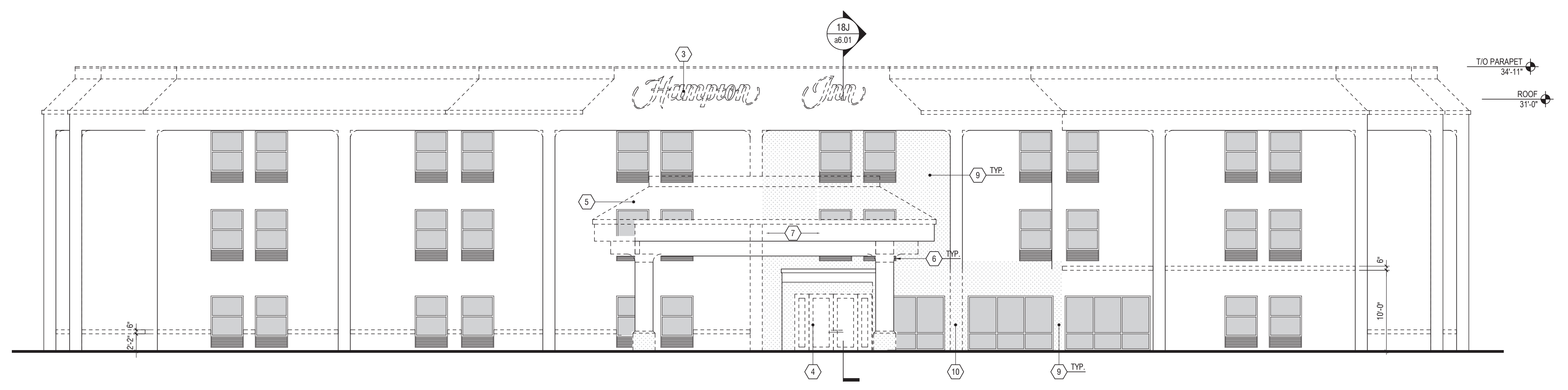
18F  
a6.02

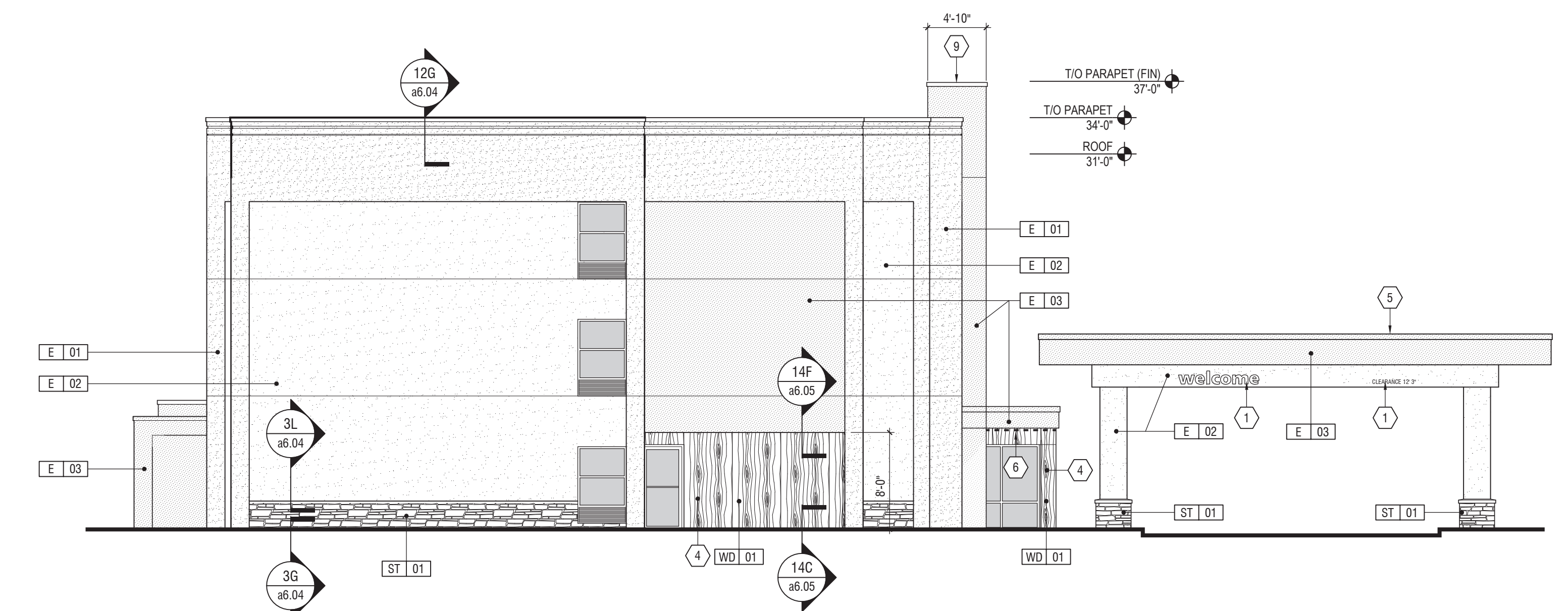
- KEYNOTES:**
- REMOVE EXISTING MANSARD STANDING SEAM ROOF AND FRAMING DOWN TO METAL CHANNELS AND STEEL PIPES.
  - REMOVE EXISTING ROUNDED EIFS CORNERS AT TOP OF PILASTERS. PREPARE SURFACES AS REQUIRED TO RECEIVE NEW FINISH
  - REMOVE EXISTING BUILDING SIGN (PER SIGN CONTRACTOR)
  - REMOVE EXISTING ENTRY DOOR STOREFRONT SYSTEM - PREPARE TO RECEIVE NEW POWER ACTIVATED DOOR SYSTEM
  - REFER TO 18A, 18E&01 FOR EXTEND OF PORTE COCHERE DEMOLITION
  - REMOVE EXISTING ROUNDED CORNERS AT PORTE COCHERE COLUMNS, ALL SIDES, PATCH, REPAIR, AND CLEAN TO RECEIVE NEW FINISHES
  - PATCH, REPAIR, AND CLEAN ALL EXISTING EIFS SURFACE AS REQUIRED PER MANUFACTURERS GUIDELINES TO RECEIVE NEW FINISHES
  - REMOVE AND SALVAGE EXISTING CLEARANCE SIGNAGE AT CANOPY - REFER TO SHEET a6.03 FOR PROPOSED LOCATION
  - SHADED AREA INDICATES AREA OF EXISTING EIFS REMOVAL AND RE-FACING OF BUILDING MOISTURE BARRIER
  - REMOVE PORTION OF EXISTING PLASTER, INCLUDING FRAMING, WHERE FACADE IS TO RECEIVE NEW STONE PANEL VENEER.



**BUILDING ELEVATION - (EAST)**  
 1/8" = 1'-0"

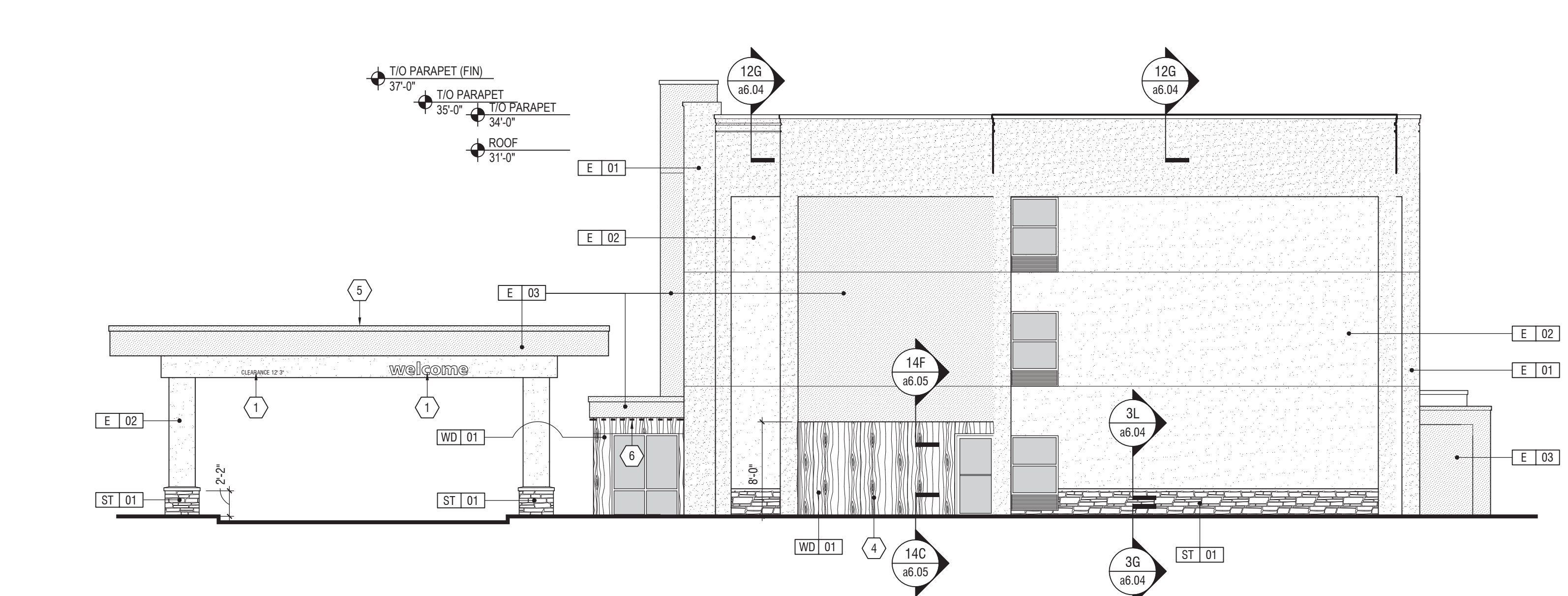
18A  
a6.02





**BUILDING ELEVATION - (SOUTH)**  
1/8" = 1'-0"

9L  
a6.03



**BUILDING ELEVATION - (NORTH)**  
1/8" = 1'-0"

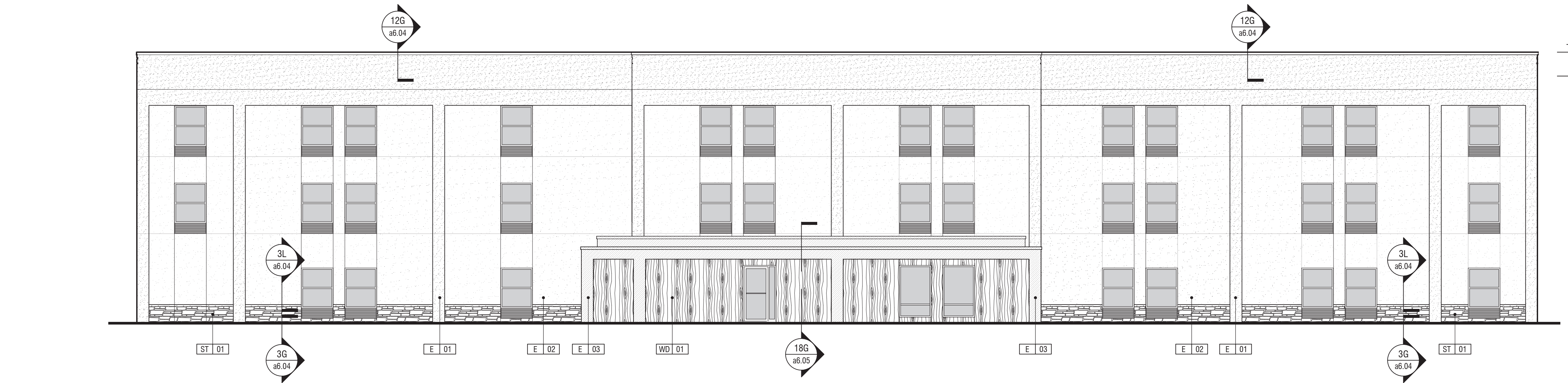
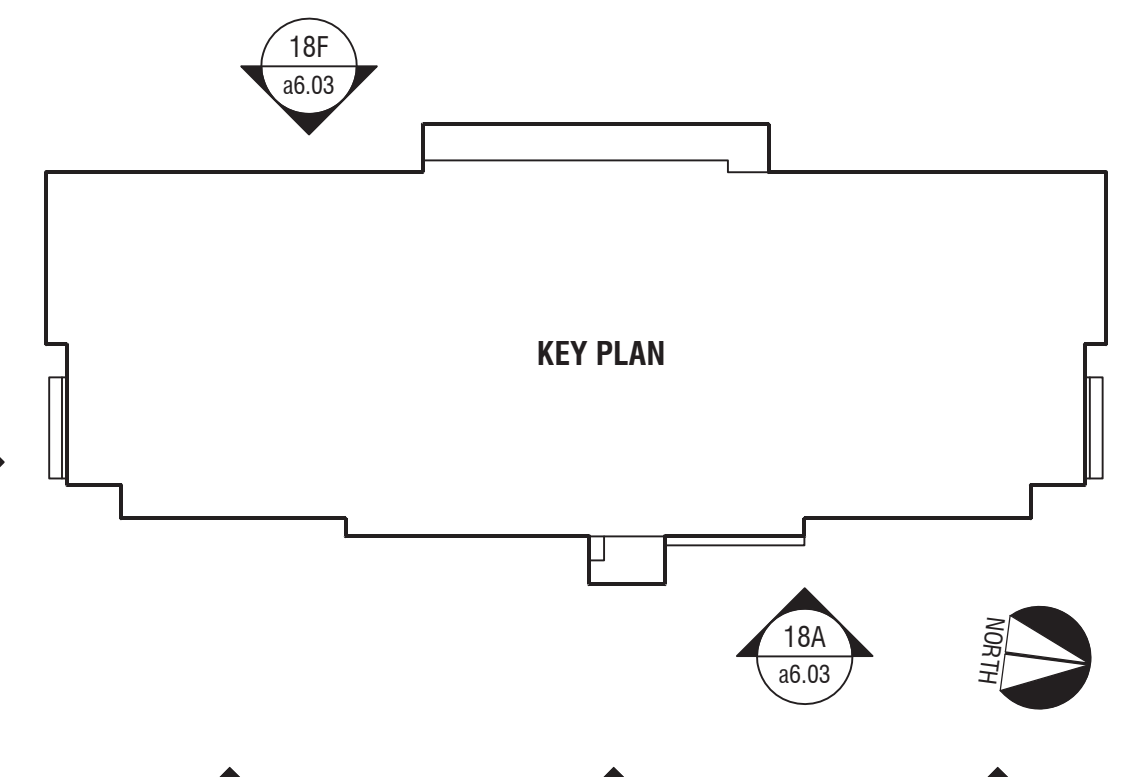
18L  
a6.03

**GENERAL NOTE:**  
EXISTING PARAPET WALLS ARE SCHEDULED TO BE REDUCED IN SIZE. NEW HEIGHT IS STILL ANTICIPATED TO SCREEN ALL EXISTING CONDENSING UNITS FROM VIEW AT THE PUBLIC RIGHT OF WAY. G.C. SHOULD VERIFY THIS AFTER EXISTING GABLE ROOF FRAMING HAS BEEN DEMO'D VIA SITE PHOTOS WITHIN THEIR REGULARLY SCHEDULED CONSTRUCTION REPORT.

- KEYNOTES:**
- 1 NEW "WELCOME" AND "CLEARANCE" SIGNAGE BY SIGN COMPANY
  - 2 NEW INTERNALLY LIT HAMPTON INN SIGNAGE BY SIGN COMPANY - PROVIDE SOLID BACKING AT SIGN LOCATIONS (MIN. 3/4" PLYWOOD)
  - 3 NEW ENTRY DOOR AND VESTIBULE ENTRY DOOR
  - 4 NEW WOOD PANEL AT ENTRY END WITH EIFS SILL AND CONCEALED LED STRIP FIXTURE - REMOVE EIFS AS NECESSARY FOR ATTACHMENT DIRECTLY TO EXISTING STRUCTURE
  - 5 REFER TO 18A, 18E, & 18G FOR EXTENT OF PORTE COCHERE RE-CONSTRUCTION
  - 6 NEW LED STRIP FIXTURES WITHIN EIFS REVEAL
  - 7 NEW EIFS "BORDER" BUILD-OUT - PROVIDE REVEAL AT AREA INDICATED TO HAVE LED STRIP FIXTURE
  - 8 NOT USED
  - 9 EXTEND FIN BUILD-OUT UP, OVER AND BEYOND ROOF PLANE AS INDICATED - BUILD UP ON CURB AND FLASH AT EXISTING ROOF MEMBRANE
  - 10 INSTALL NEW LED STRIP FIXTURE EQUIVALENT TO ACCLAIM MODEL: FLEXPX WITH FLX444 TRACK AND FROSTED POLYCARBONATE LENS. RATED AT 3000K AND 5.5 W/FT. SEE 8A, 8E, & 8G FOR ADDITIONAL COORDINATING INFORMATION
- \*\*ALL NEW FRAMING TO BE ANCHORED TO THE EXISTING WALL**

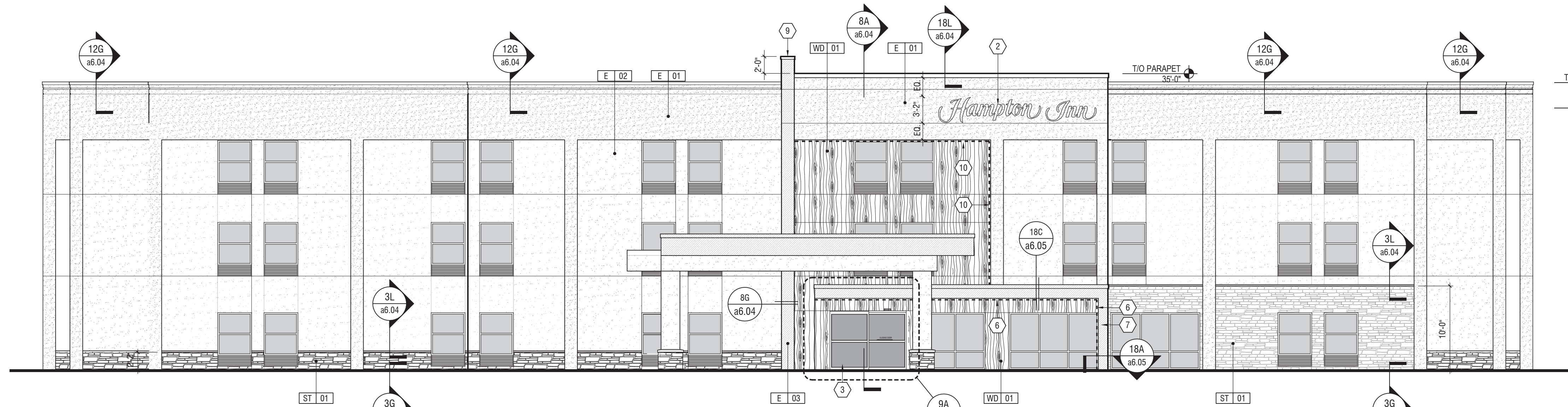
**FINISH LEGEND:**

ST 01	B-01 NICHHA PANELS PANEL: STACKEDSTONE COLOR: DESERT
E 01	BODY COLOR 01 (E-01) COLOR: SHERWIN WILLIAMS (HERON PLUME - 6070) FINISH: FLAT
E 02	BODY COLOR 02 (E-02) COLOR: SHERWIN WILLIAMS (ROYCROFT MIST GRAY - 2844) FINISH: FLAT
E 03	FRAME AND FIN COLOR (E-03) COLOR: SHERWIN WILLIAMS (BLACK FOX - 7020) FINISH: FLAT
E 04	ACCENT COLOR (E-04) COLOR: SHERWIN WILLIAMS (SUMMER WHITE - 7557) FINISH: FLAT
E 05	WINDOW ZONE COLOR (E-05) COLOR: SHERWIN WILLIAMS (GAUNTLET GRAY - 7019) FINISH: FLAT
E 06	WOOD MATCH COLOR (E-06) COLOR: MATCH WOOD PANEL FINISH: FLAT
WD 01	W-01 WOOD LOOK PANELS PANEL: STONEMOOD SELECT COLOR: MEXICAN CHERRY SELECT 4585-0A



**BUILDING ELEVATION - (WEST)**  
1/8" = 1'-0"

18F  
a6.03



**BUILDING ELEVATION - (EAST)**  
1/8" = 1'-0"

18A  
a6.03

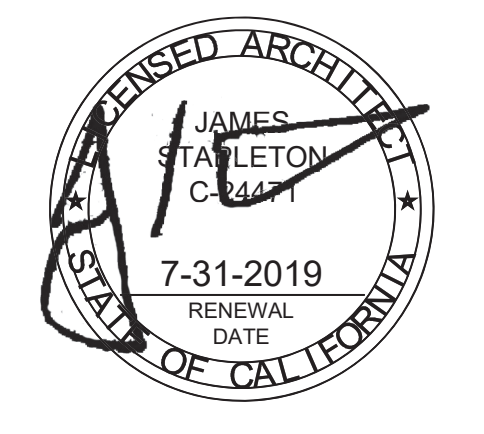
**ISSUED INFORMATION**

ISSUED:  
**12 October 2018**

REVISIONS:

1	BRAND REVIEW COMMENTS	11.05.18
2	REVISION 4 UPDATES	06.16.19
3	REVISION 5 UPDATES	08.27.19
4	REVISION 6 UPDATES	09.05.19

FRCH ARCHITECTURE, INC. P.C.



**PROJECT INFORMATION**

**Hampton Inn Exterior Renovation**

Hampton Inn, Tracy CA  
2400 Naglee Road  
Tracy, California 95304

AMBRIDGE PROJECT NUMBER:  
574118

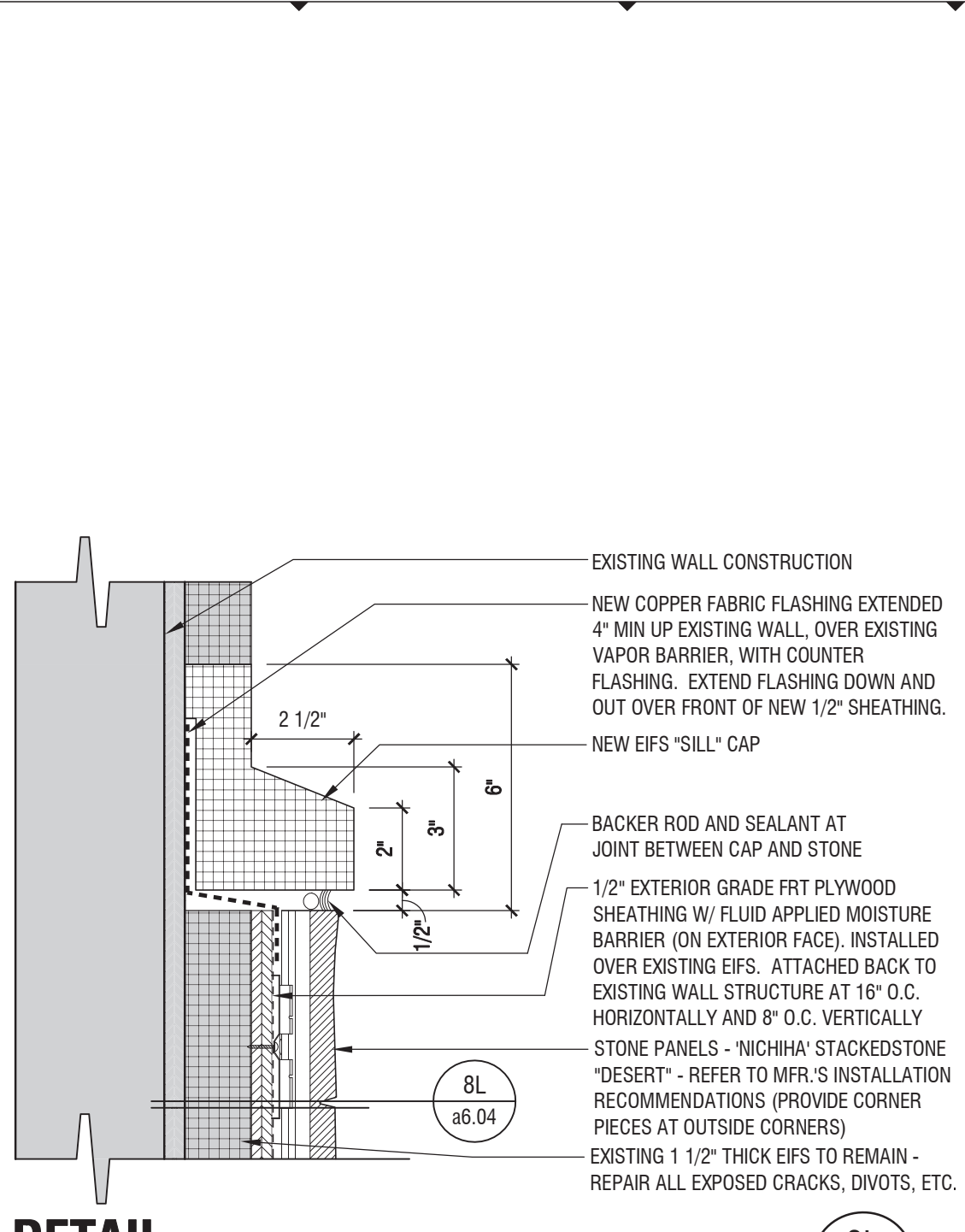
FRCH PROJECT NUMBER:  
35000.000

**SHEET INFORMATION**

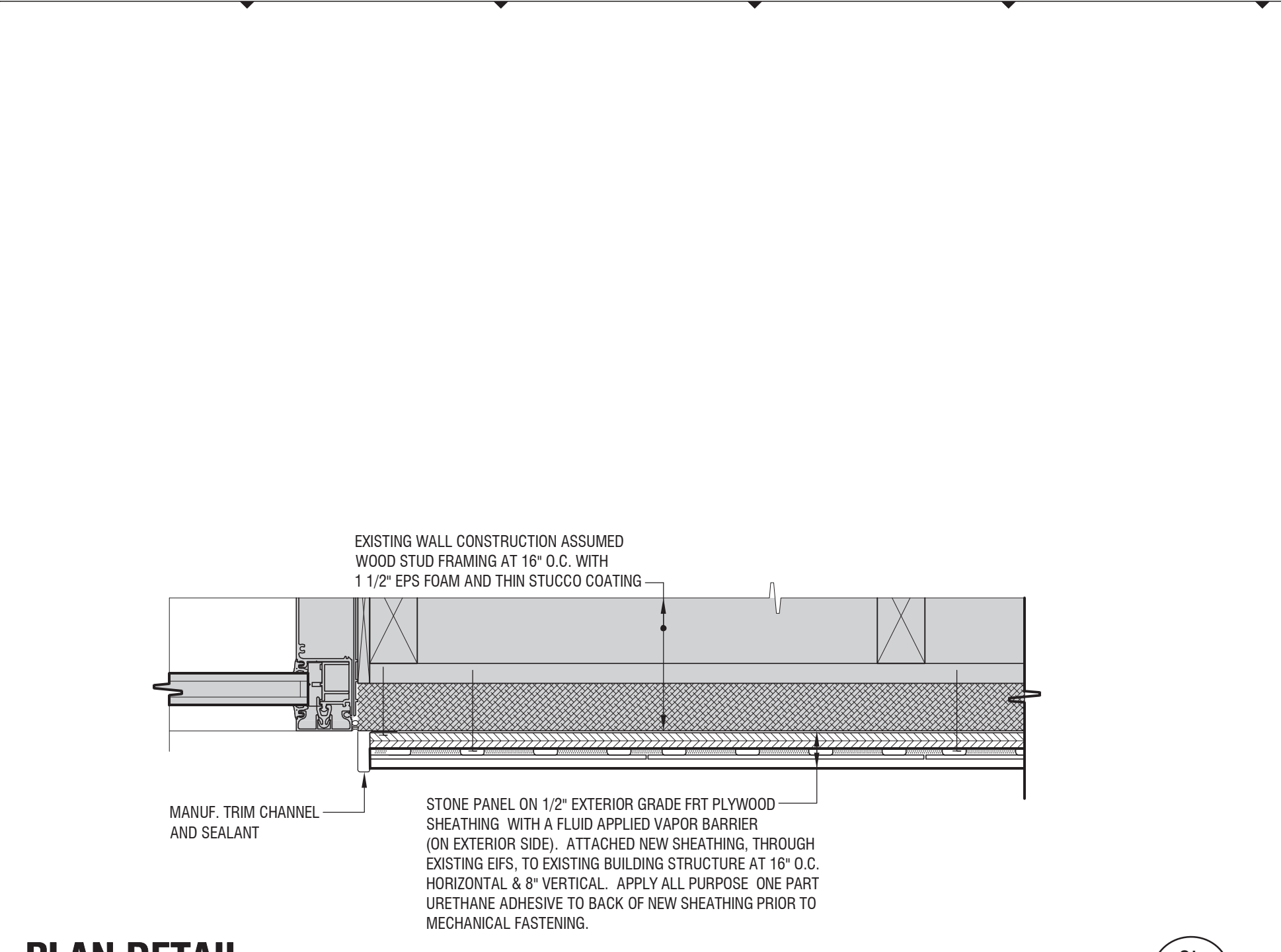
**Renovated Elevations**

DRAWN BY: T.Wilhelm  
REVIEWED BY: M.Kerling  
SCALE: As Noted  
AUTHORIZED FOR: PERMITTING

**a6.03**



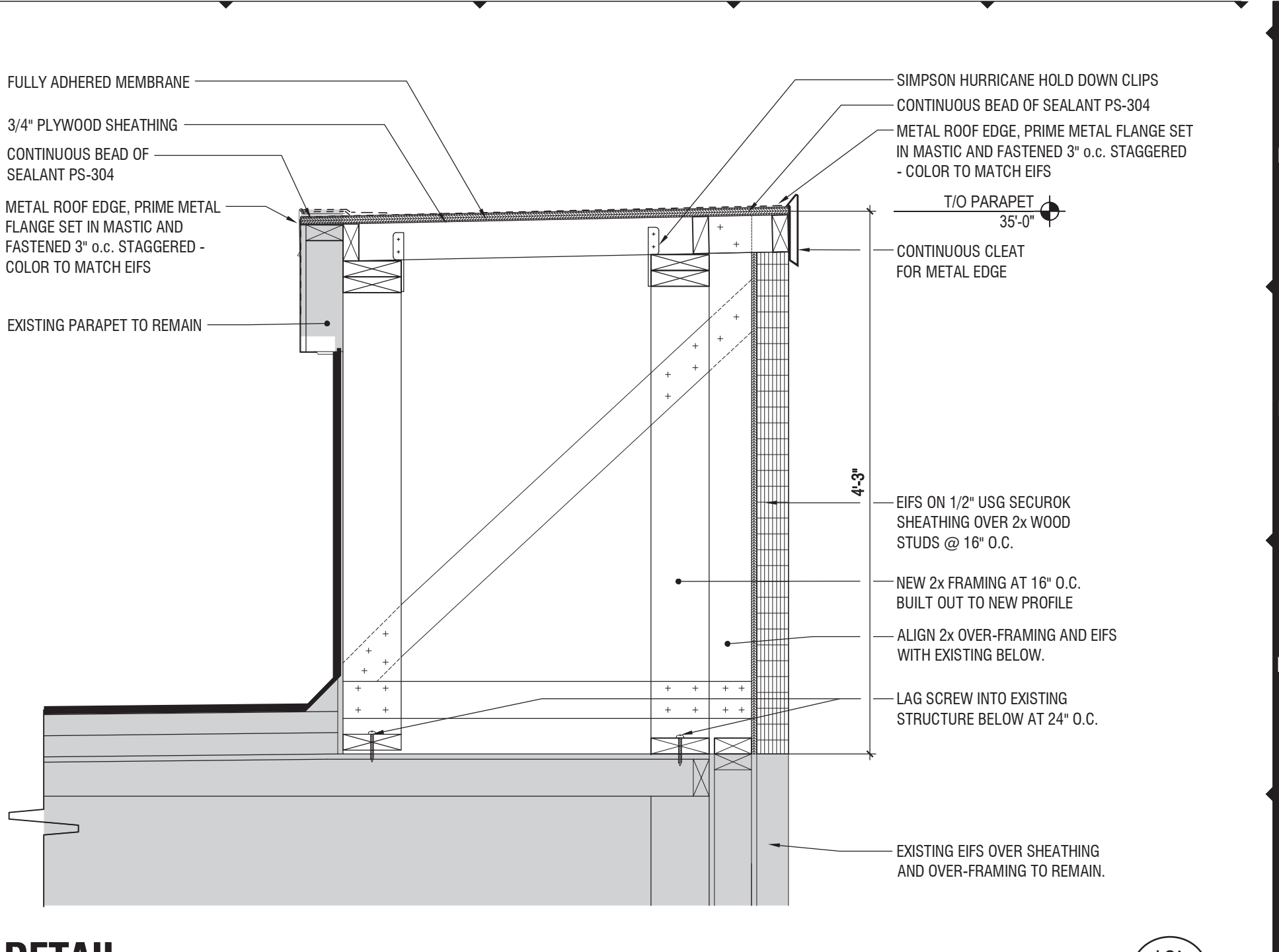
**DETAIL**  
3" = 1'-0"



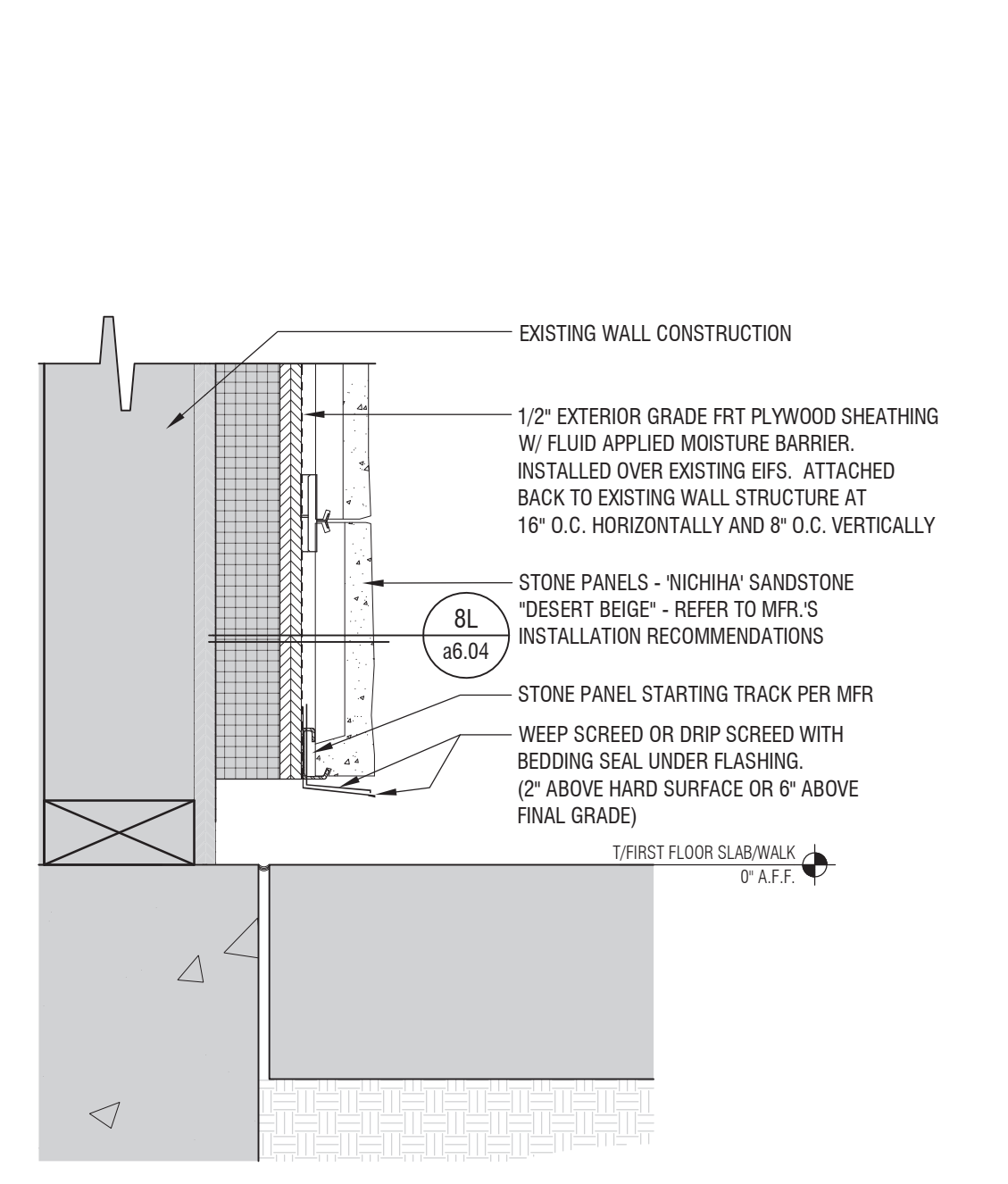
**PLAN DETAIL**  
3" = 1'-0"



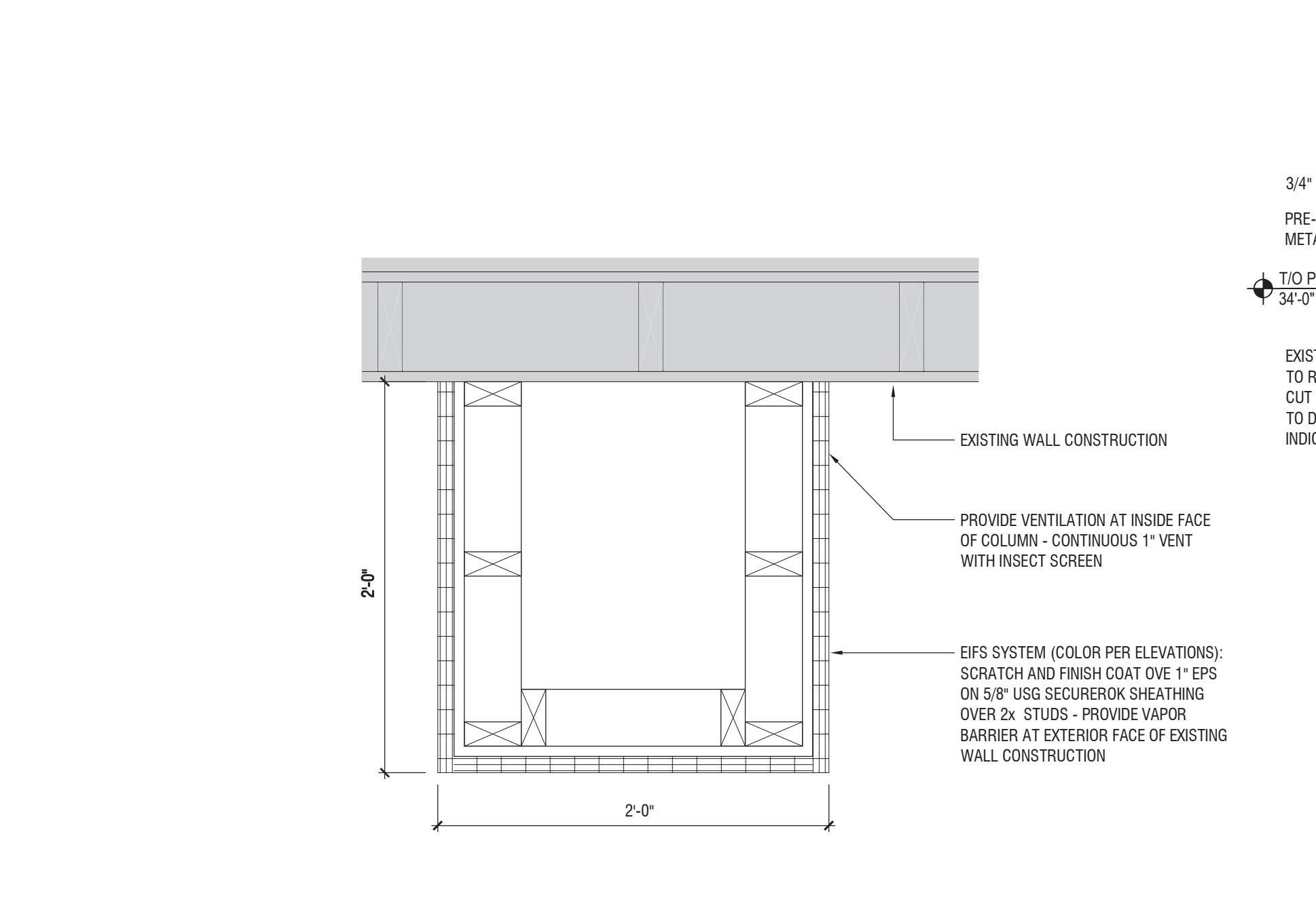
**DETAIL REMOVED (REVISION 6)**  
NA



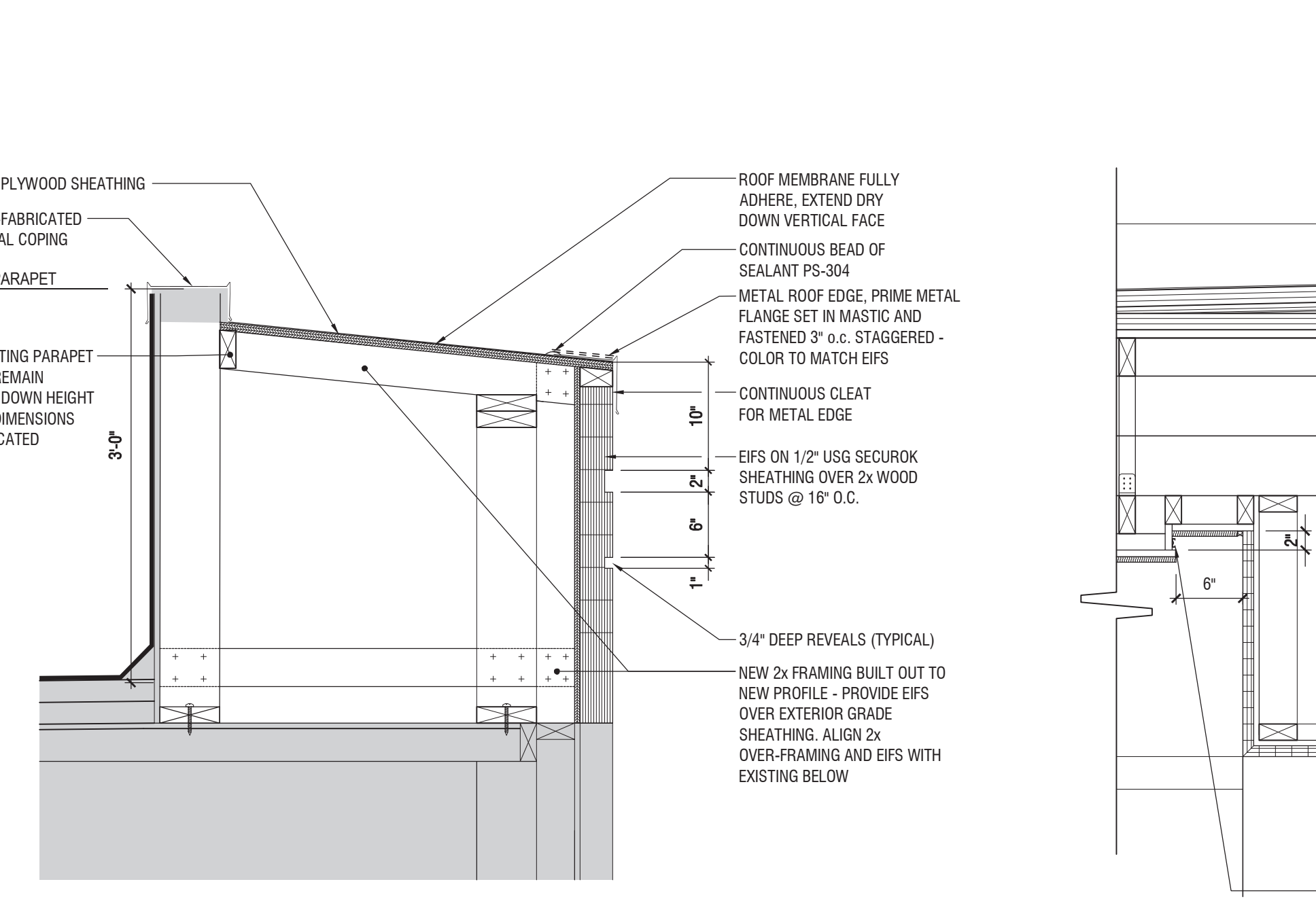
**DETAIL**  
1" = 1'-0"



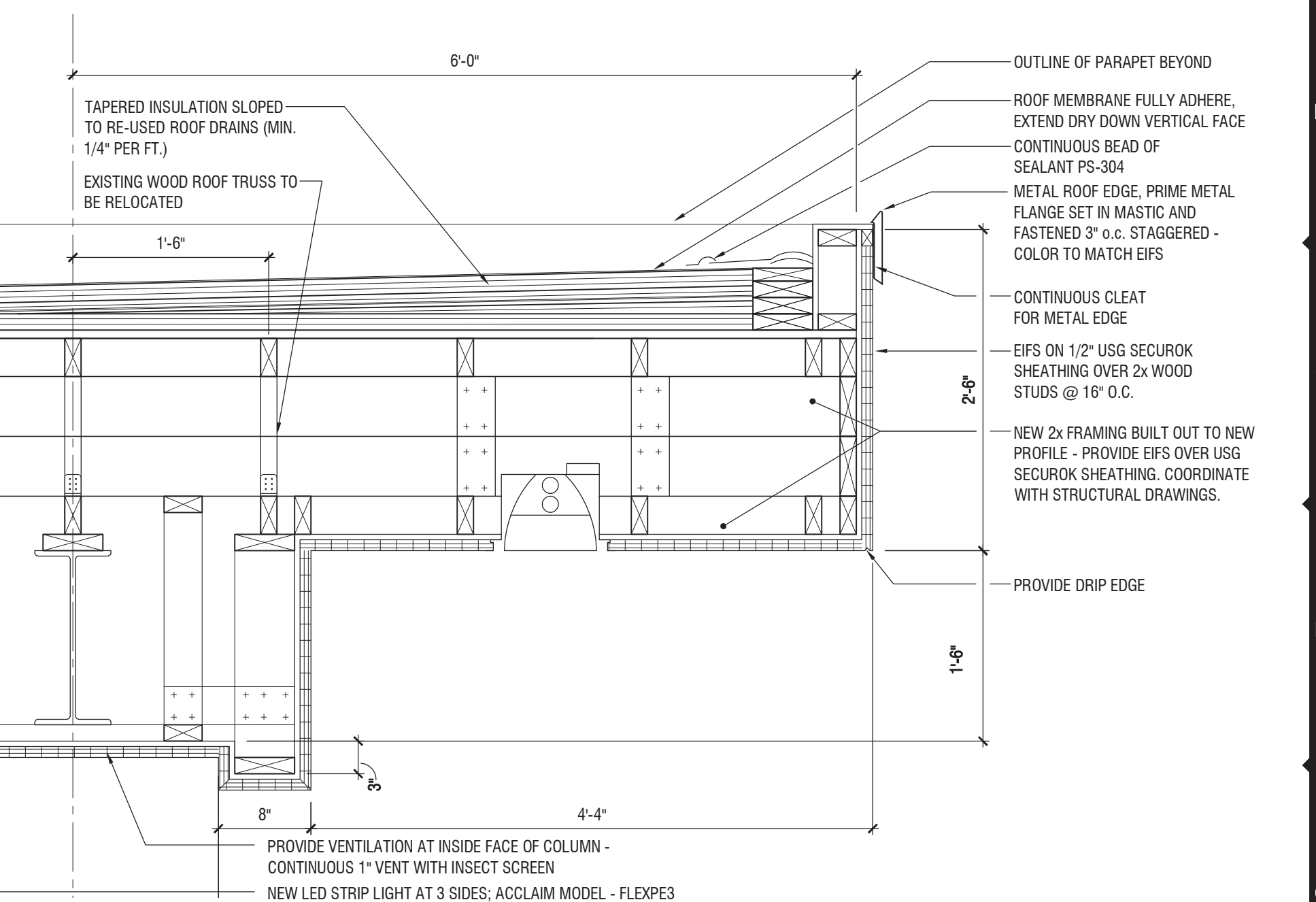
**DETAIL**  
3" = 1'-0"



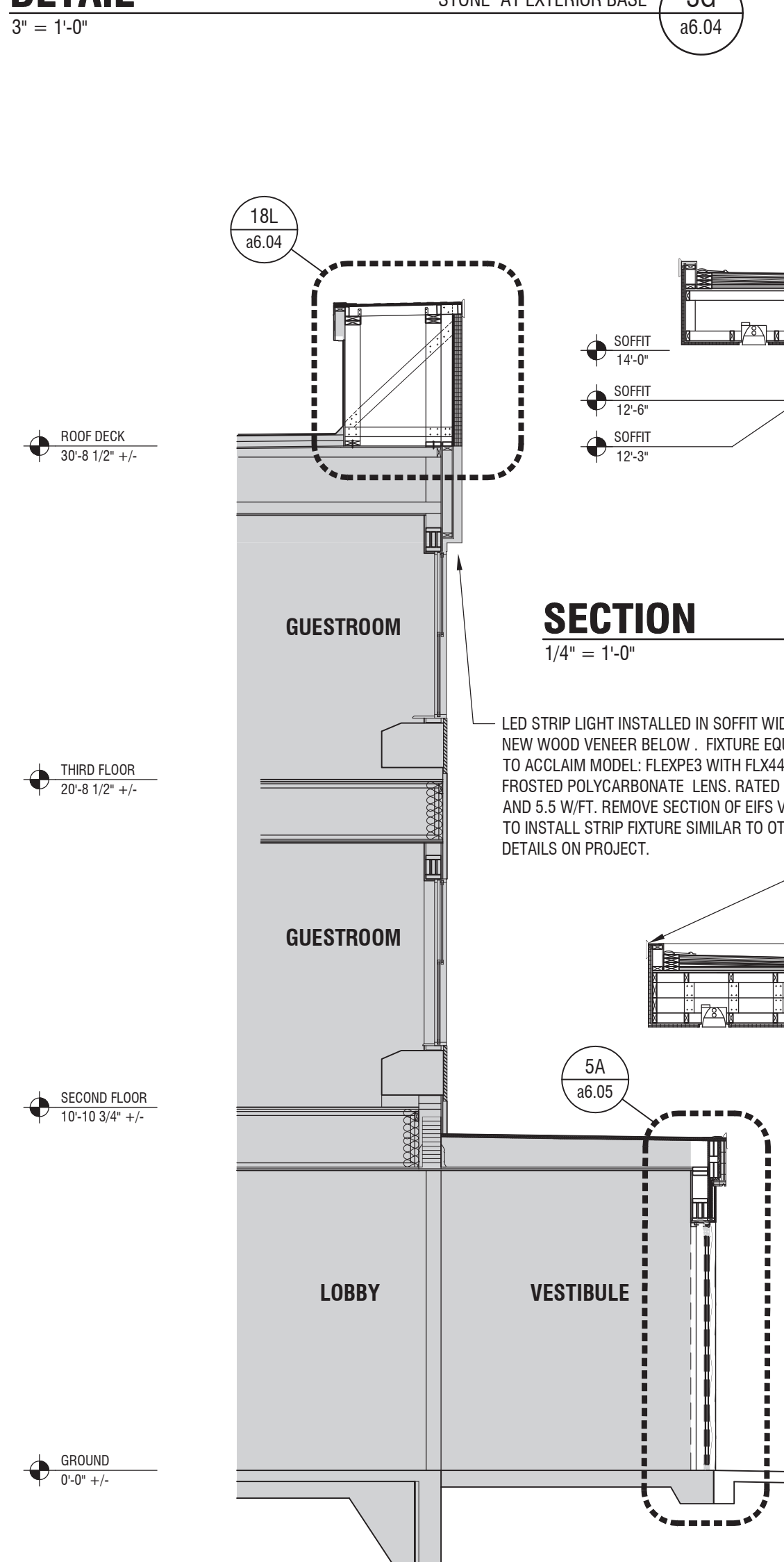
**DETAIL**  
1 1/2" = 1'-0"



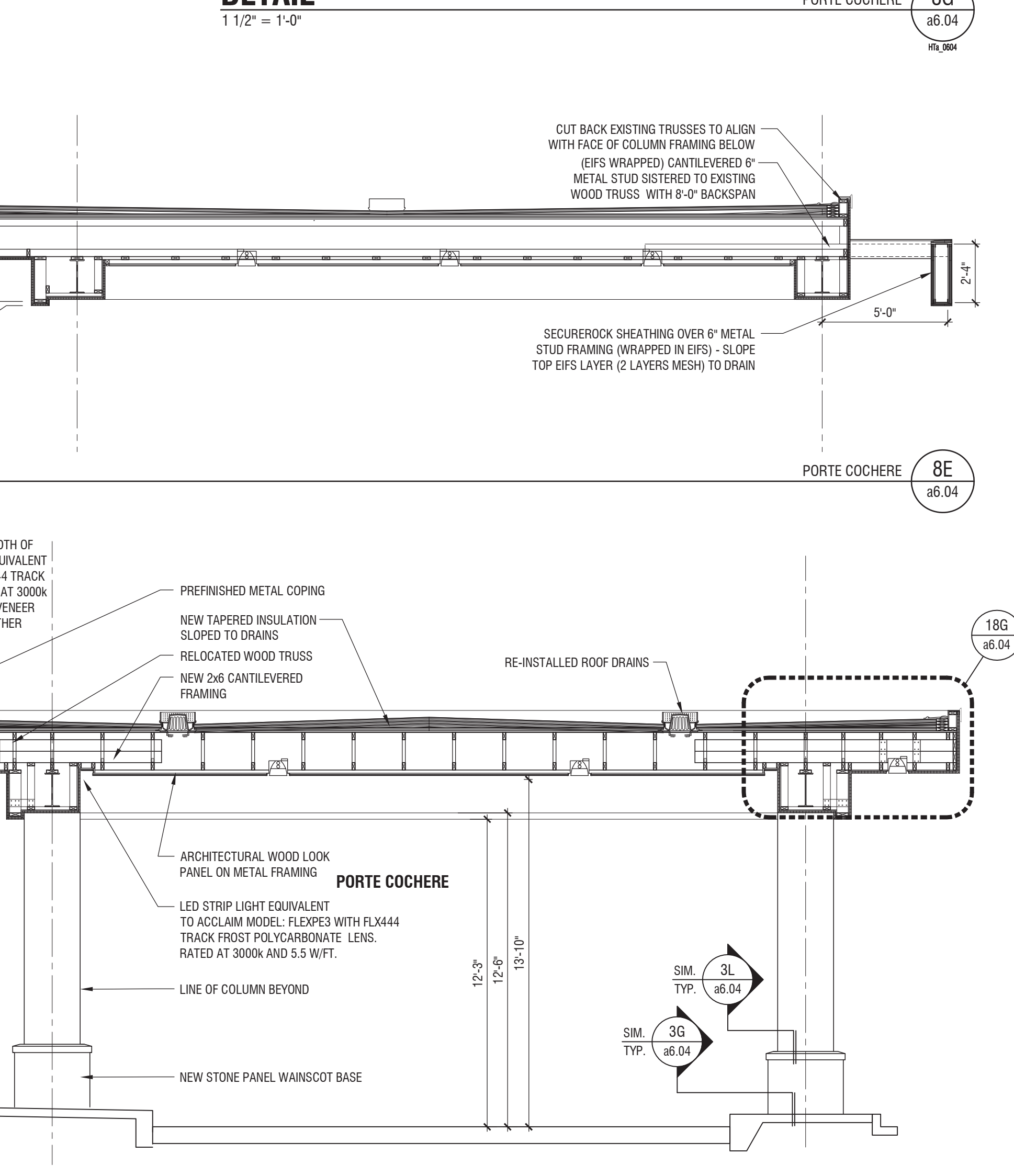
**DETAIL**  
1" = 1'-0"



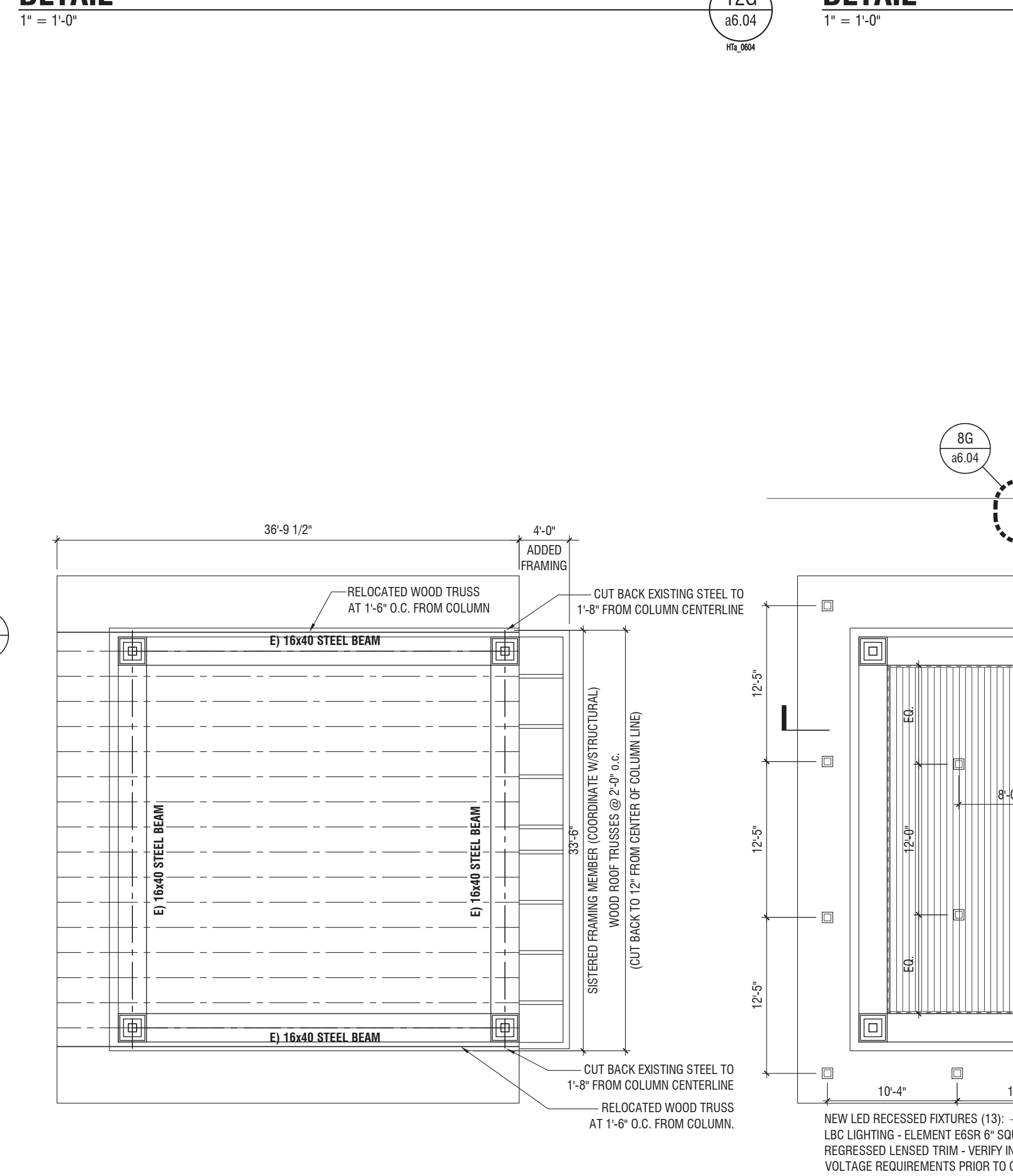
**DETAIL**  
1" = 1'-0"



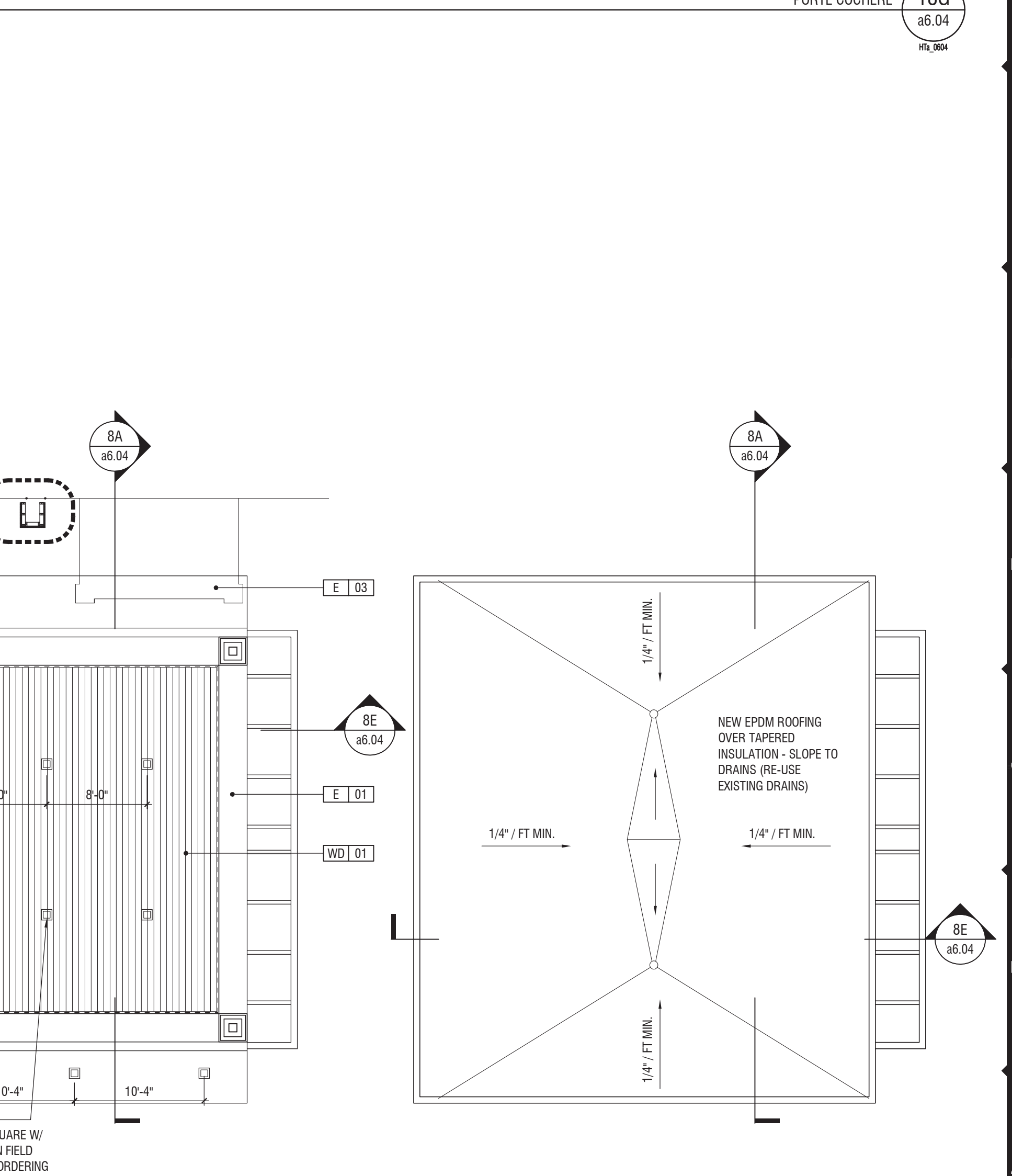
**SECTION**  
1/4" = 1'-0"



**SECTION**  
1/4" = 1'-0"



**FRAMING PLAN**  
1/4" = 1'-0"



**CEILING PLAN**  
1/4" = 1'-0"

**FRCH**  
a NELSON company  
311 Elm Street, Suite 500  
Cincinnati, OH 45202  
www.FRCH.com  
513.241.3000

**Hampton Inn**  
by HILTON

**Tracy, CA**  
Inn Code: TRACY

**Project Manager** 404.256.8800  
The John Hardy Group, Inc.  
6028 Barfield Road, NE, Suite 200  
Atlanta, GA 30328  
Nathan Hill, Senior Project Manager

**Architect** 513.241.3000  
FRCH Architecture  
311 Elm Street, Suite 500  
Cincinnati, OH 45202-2706  
Craig Jacobs

**Interior Design** 513.241.3000  
FRCH | Design Worldwide  
311 Elm Street, Suite 500  
Cincinnati, OH 45202-2706  
Kyler Burroughs

**ISSUED INFORMATION**

ISSUED:  
**12 October 2018**

REVISIONS:

BRAND REVIEW COMMENTS	11.05.18
REVISION 2 UPDATES	11.20.18
PERMIT SET	12.06.18
REVISION 06 UPDATE	09.05.19

FRCH ARCHITECTURE, INC. P.C.

**REGISTERED ARCHITECT**  
JAMES  
FRANKESTON  
C-4411  
1-31-2019  
RENEWAL  
DATE

**PROJECT INFORMATION**

**Hampton Inn Exterior Renovation**

Hampton Inn, Tracy CA  
2400 Naglee Road  
Tracy, California 95304  
AMBRIIDGE PROJECT NUMBER:  
574118  
FRCH PROJECT NUMBER:  
35000.000

**SHEET INFORMATION**

**Porte Cochere Plans, Details**

**DRAWN BY:** T.Wilhelm  
**REVIEWED BY:** M.Kerling  
**SCALE:** As Noted  
**AUTHORIZED FOR:** PERMITTING

**a6.04**

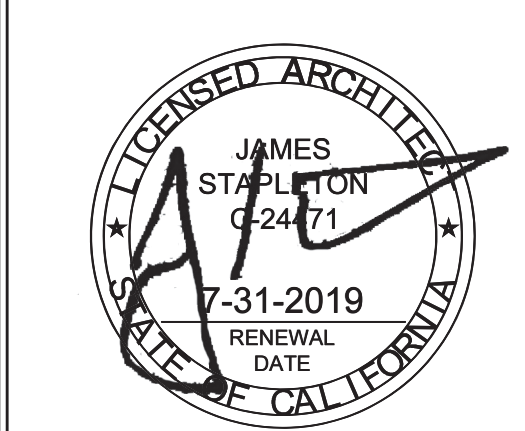
**ISSUED INFORMATION**

ISSUED:  
**12 October 2018**

REVISIONS:

BRAND REVIEW COMMENTS 11.05.18

**FRCH ARCHITECTURE, INC. P.C.**



**PROJECT INFORMATION**

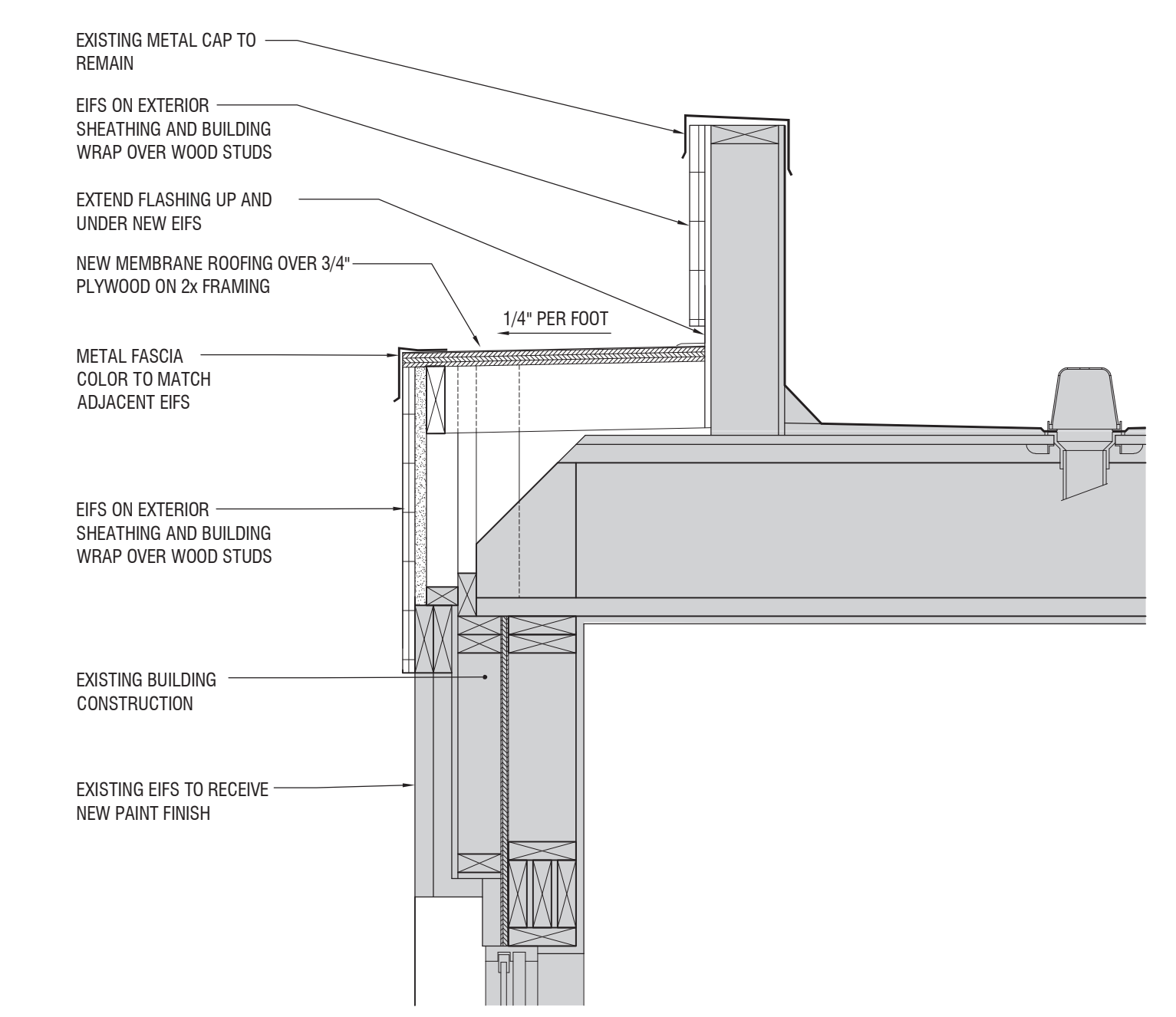
**Hampton Inn Exterior Renovation**  
 Hampton Inn, Tracy CA  
 2400 Naglee Road  
 Tracy, California 95304  
 AMBRIDGE PROJECT NUMBER:  
 574118  
 FRCH PROJECT NUMBER:  
 35000.000

**SHEET INFORMATION**

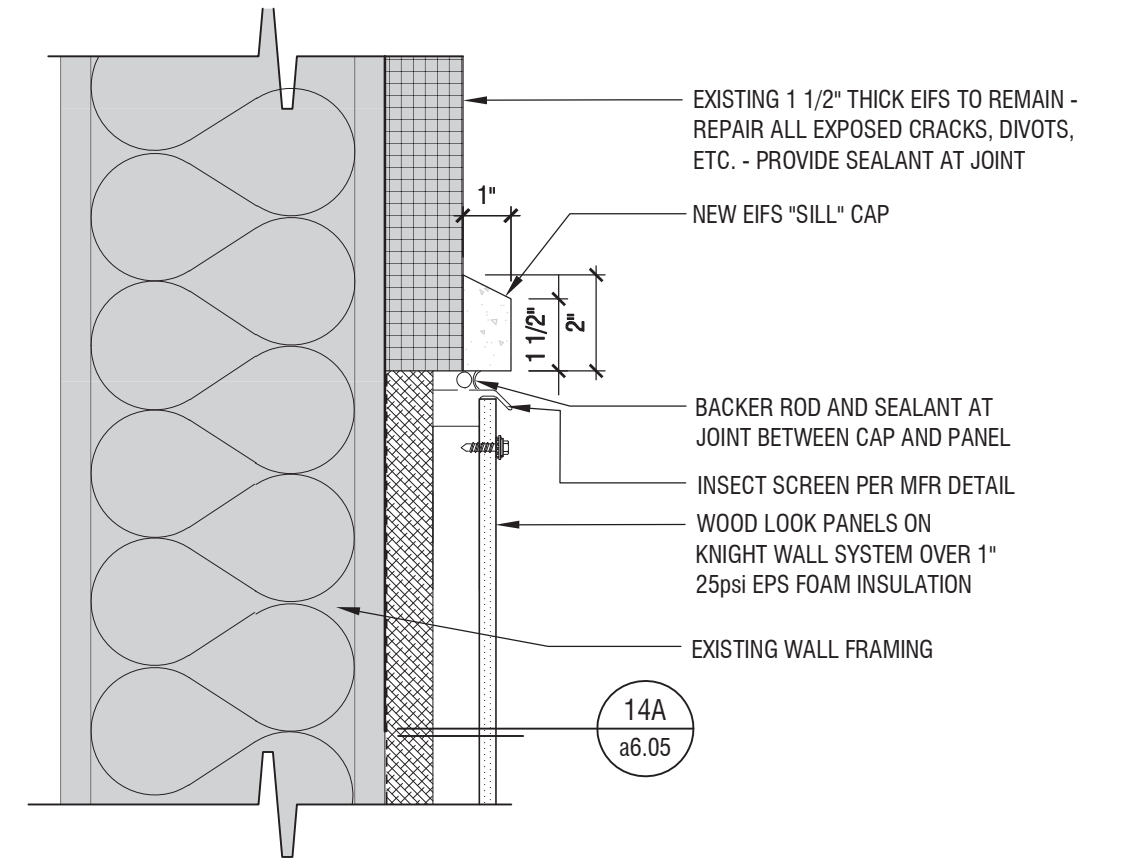
**Schematic Design:  
 Exterior Details**

DRAWN BY: T.Wilhelm  
 REVIEWED BY: M.Kerling  
 SCALE: As Noted  
 AUTHORIZED FOR: PERMITTING

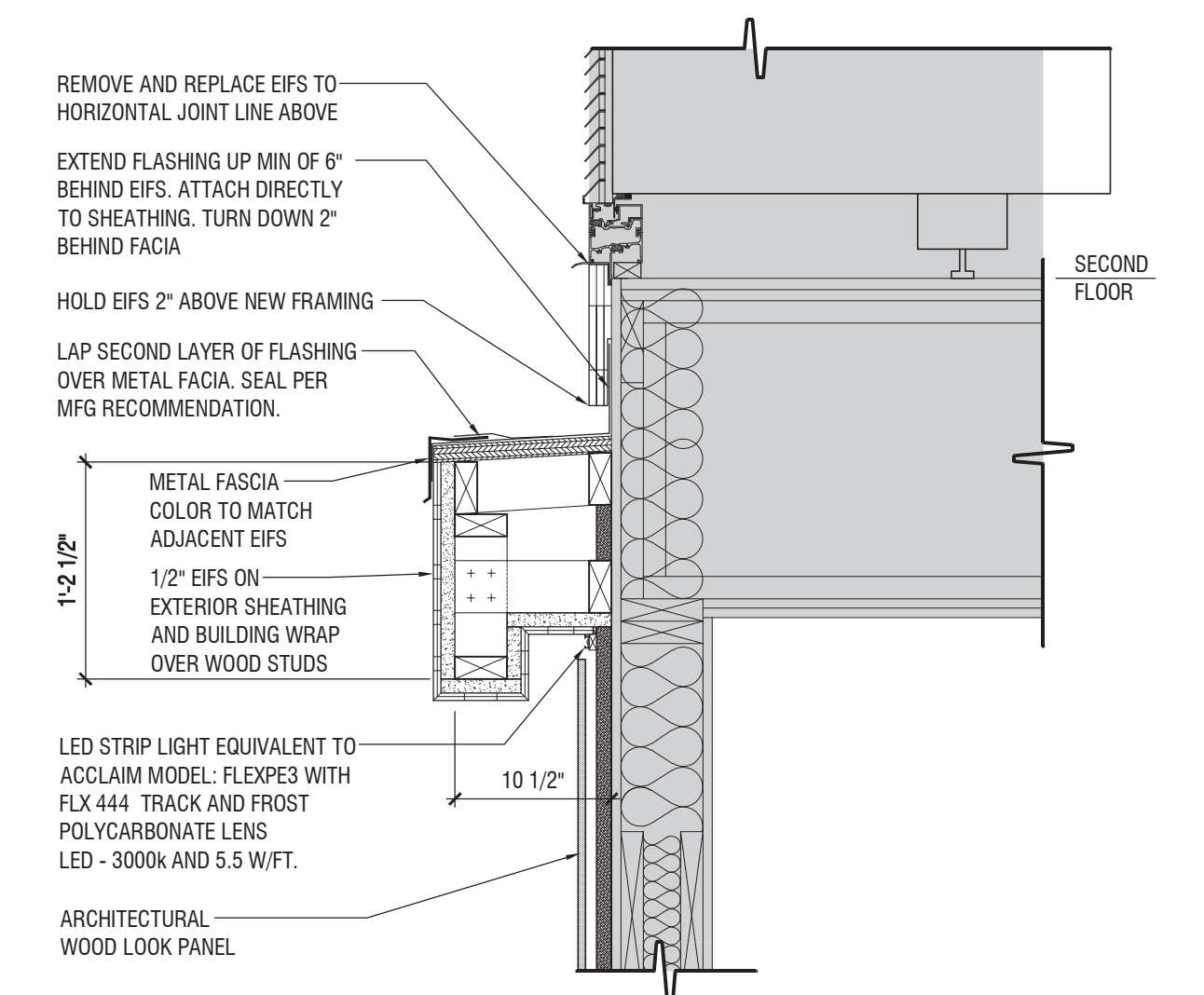
**a6.05**



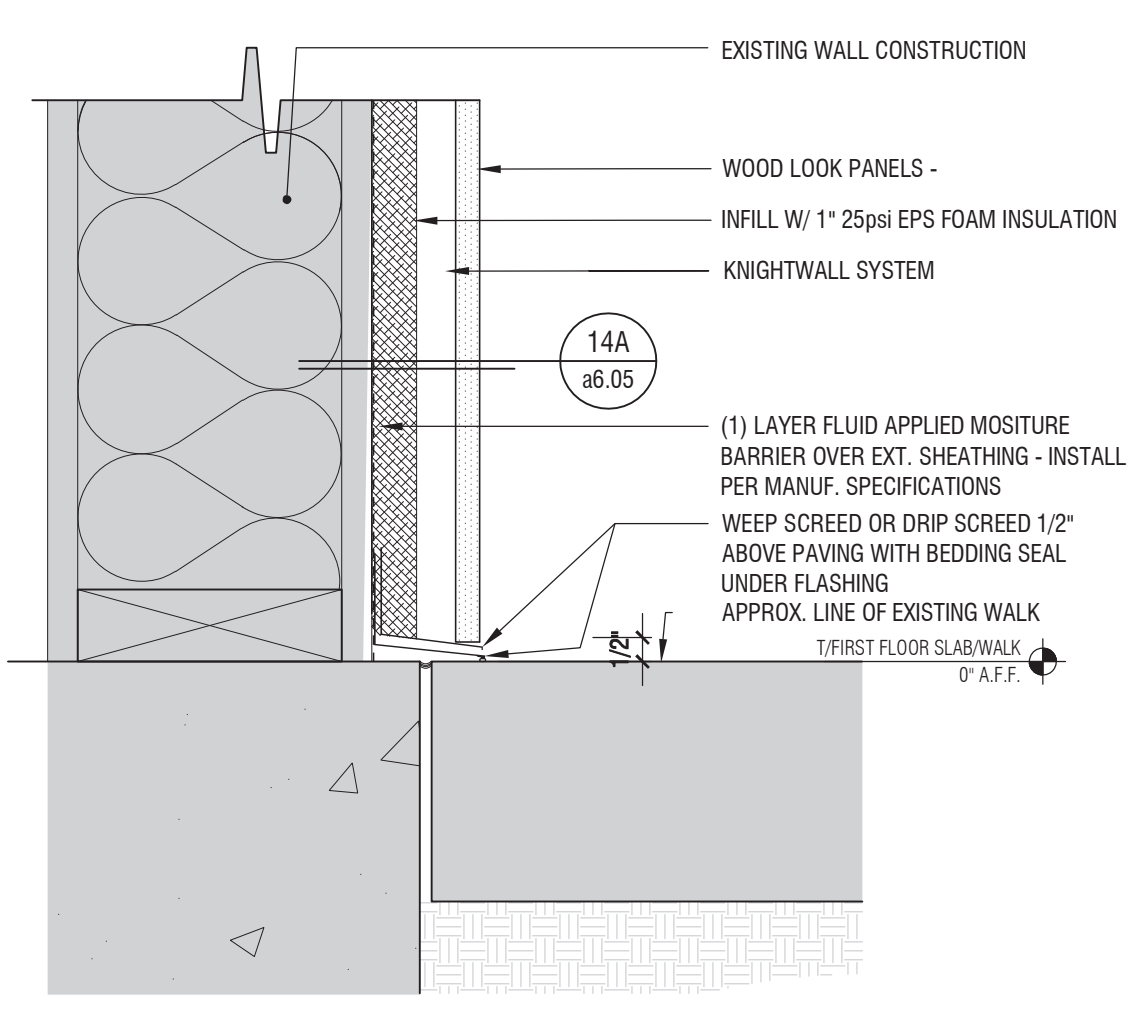
**DETAIL 18G**  
 OVERHANG AT POOL AREA  
 1 1/2" = 1'-0"



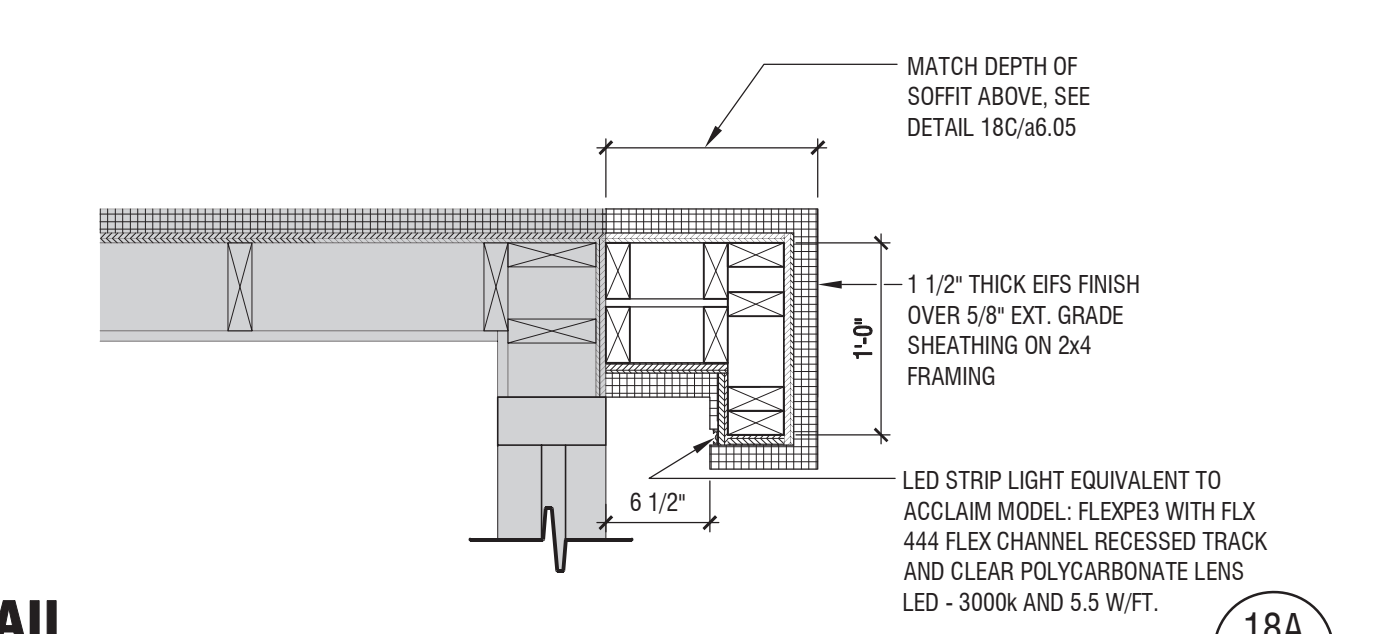
**DETAIL 14F**  
 AT EXTERIOR WOOD LOOK PANELS  
 3\"/>



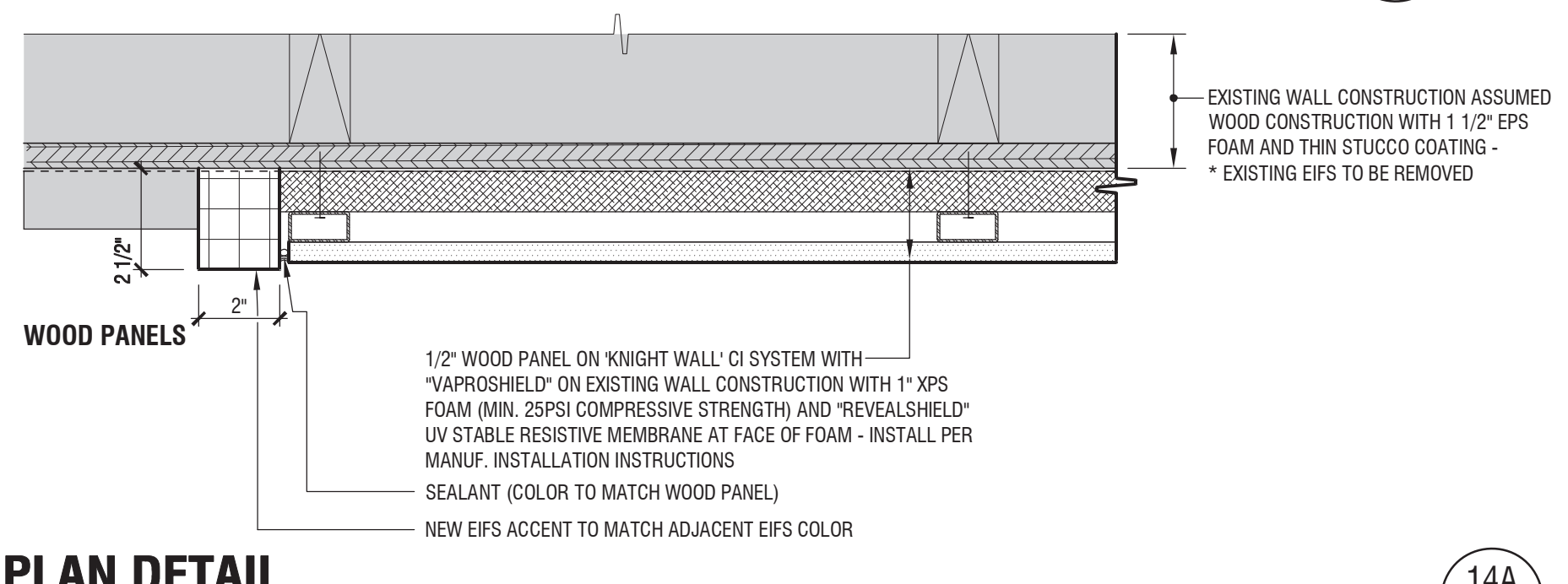
**DETAIL 18C**  
 OVERHANG AT STOREFRONT  
 1 1/2" = 1'-0"



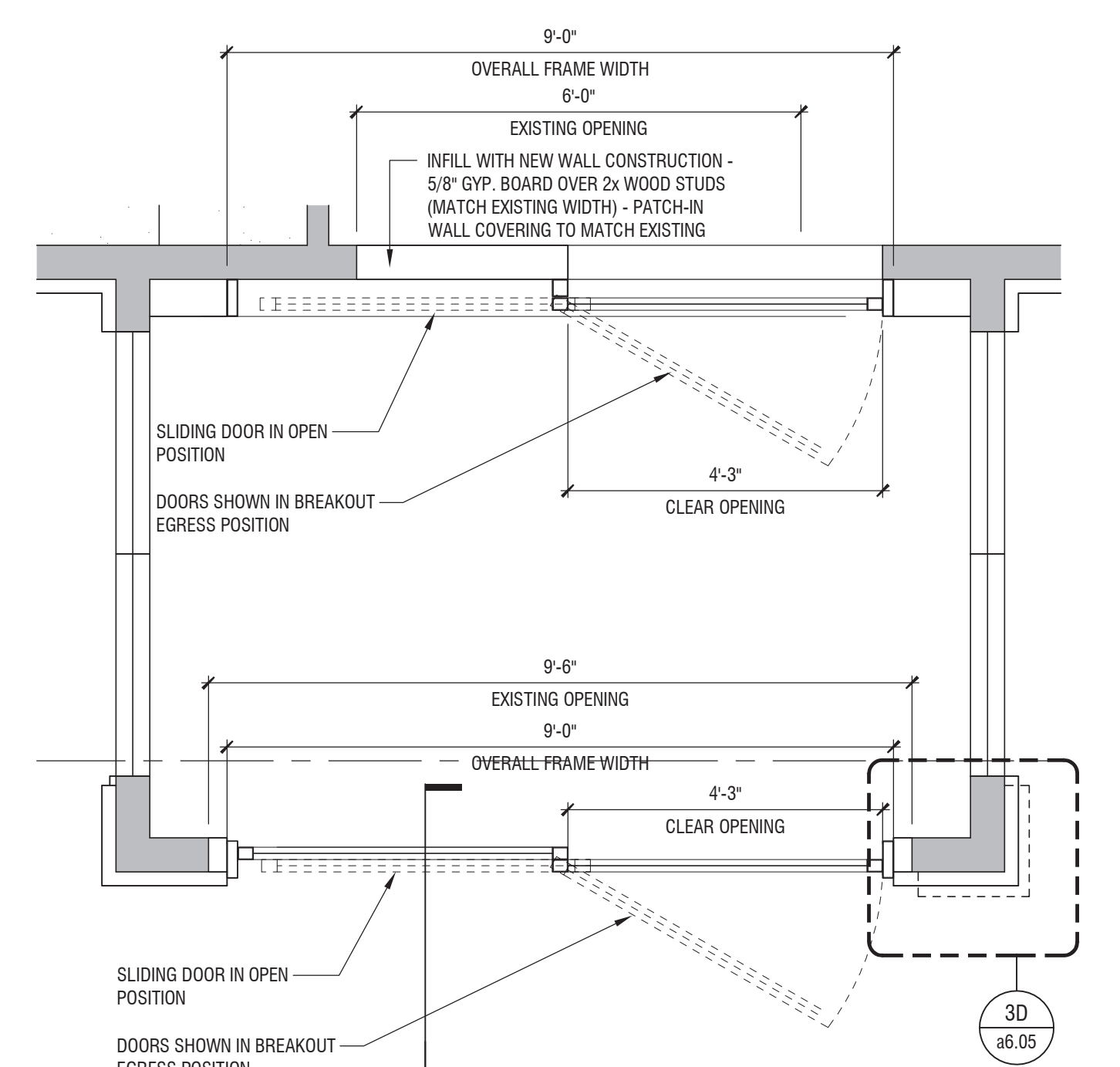
**DETAIL 14C**  
 AT EXTERIOR WOOD LOOK PANELS  
 3\"/>



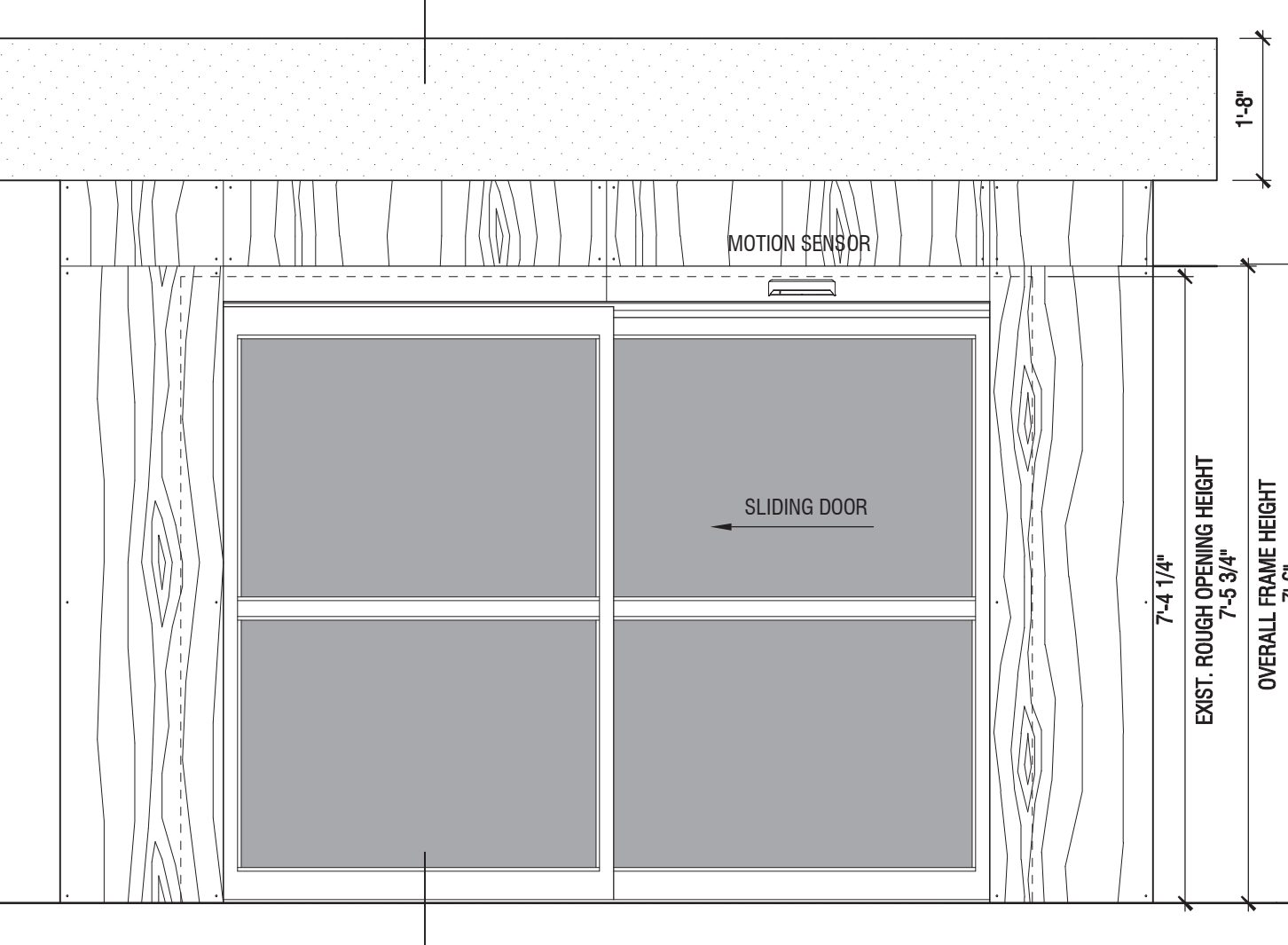
**DETAIL 18A**  
 1 1/2" = 1'-0"



**PLAN DETAIL 14A**  
 WOOD PANELING  
 3\"/>



**PLAN**  
 1/2" = 1'-0"

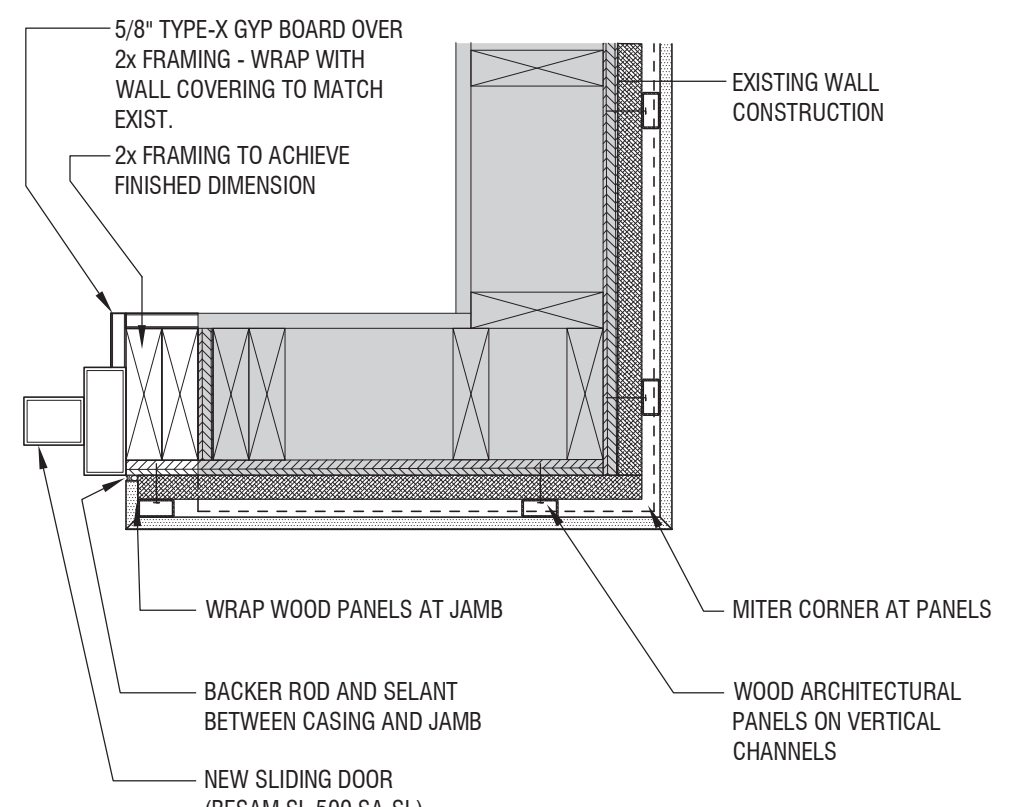


**ELEVATION**  
 1/2" = 1'-0"

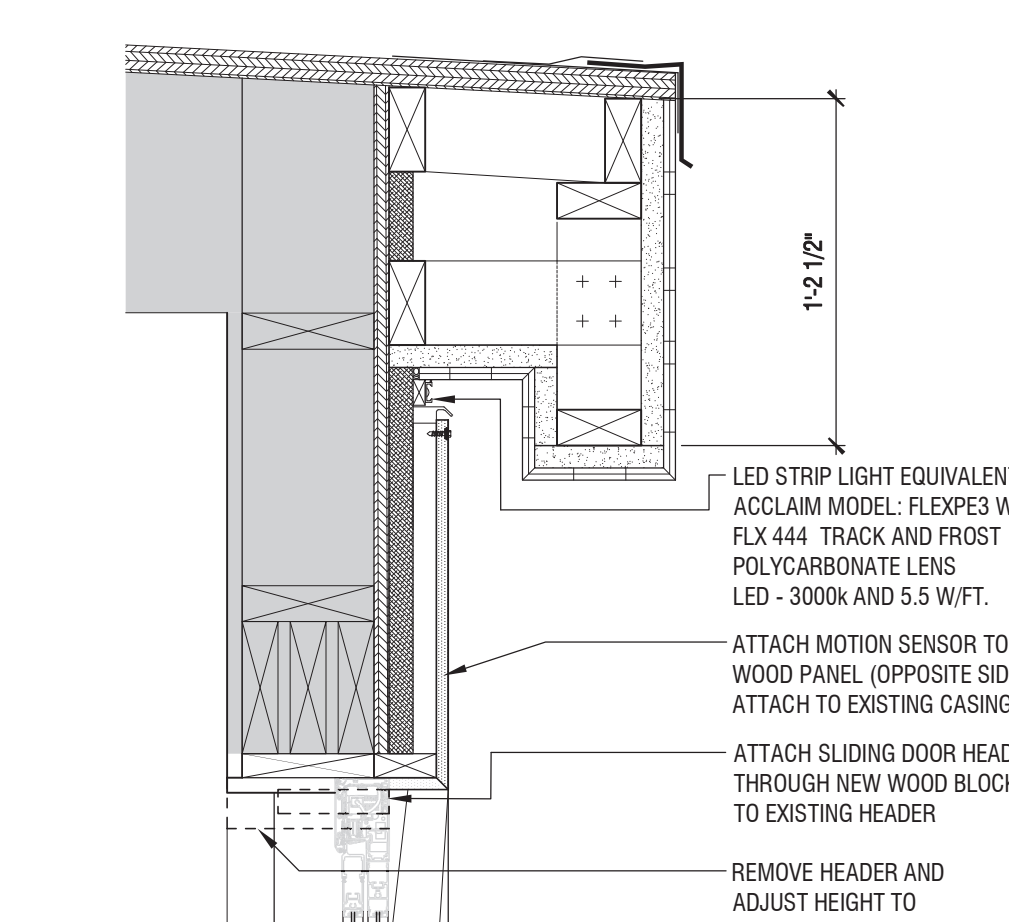
**ENTRY DOOR INFORMATION:**

**OUTER DOOR (ASSA ABLOY):**  
 BESAM SL500 OVERHEAD CONCEALED FULL BREAKOUT DOOR -  
 • NARROW STYLE SINGLE LEAF DOOR SYSTEM  
 • DARK BRONZE FINISH (AA-M12C22A1)  
 • SURFACE MOUNTED THRESHOLD  
 • MINIMUM CLEAR WIDTH OF OPENING - 36"  
 • PROVIDE POWER FEED TO UNIT

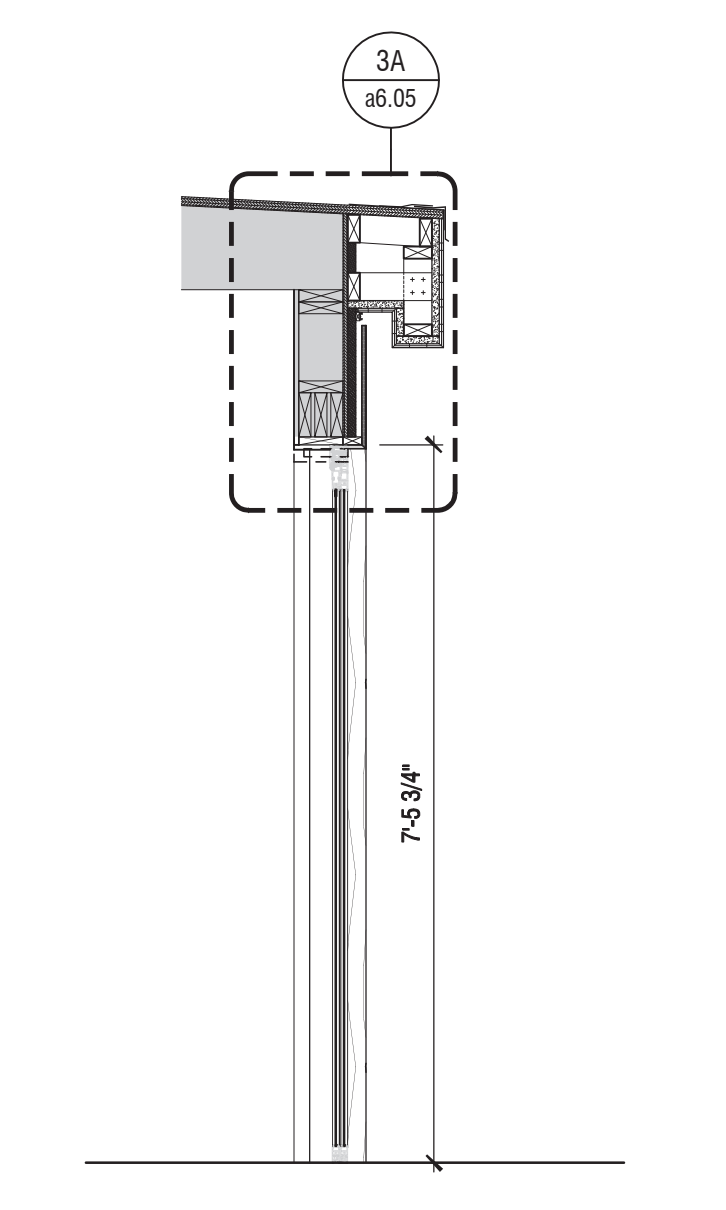
**INNER DOOR (ASSA ABLOY):**  
 BESAM SL500 OVERHEAD SURFACE APPLIED ACTIVE LEAF ONLY -  
 • NARROW STYLE SINGLE LEAF DOOR SYSTEM  
 • DARK BRONZE FINISH (AA-M12C22A1)  
 • SURFACE MOUNTED THRESHOLD  
 • MINIMUM CLEAR WIDTH OF OPENING - 36"  
 • PROVIDE POWER FEED TO UNIT



**DETAIL 3D**  
 1 1/2" = 1'-0"

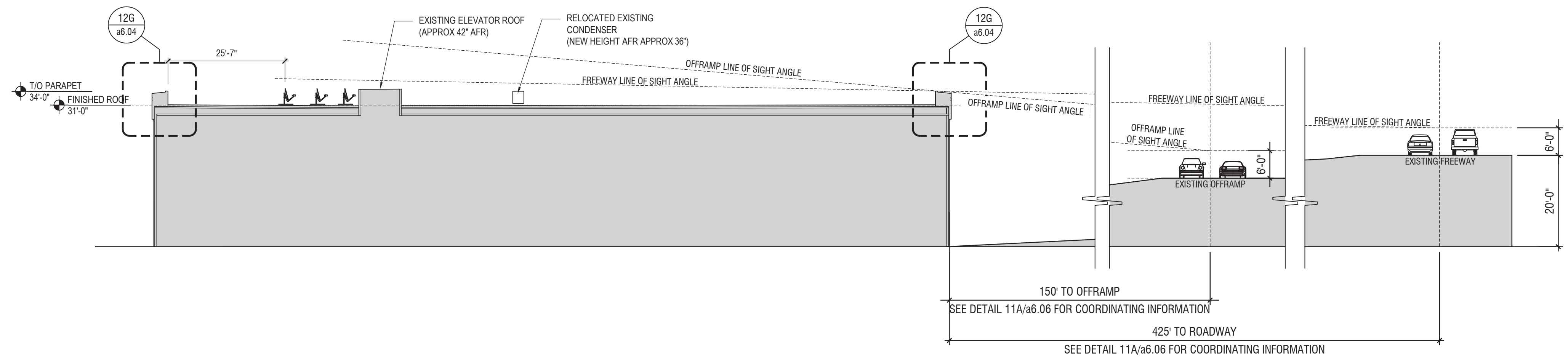


**DETAIL 3A**  
 1 1/2" = 1'-0"

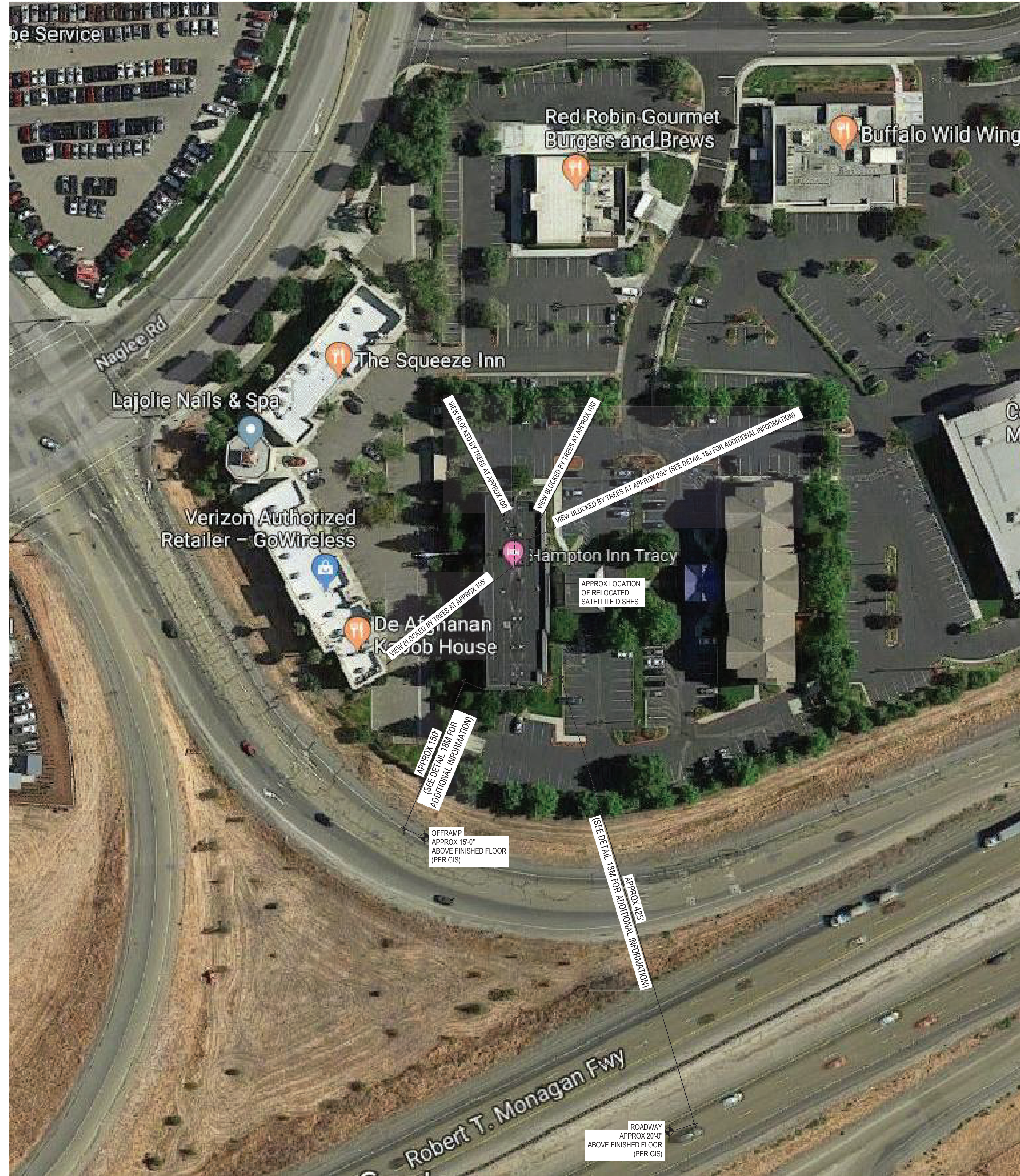


**SECTION 5A**  
 1/2" = 1'-0"

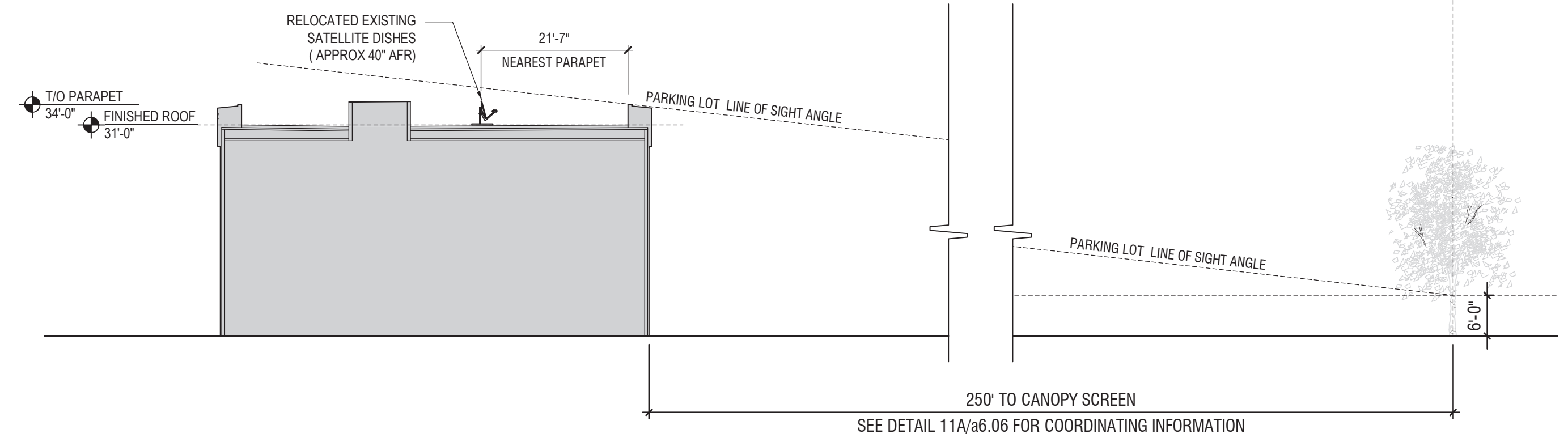




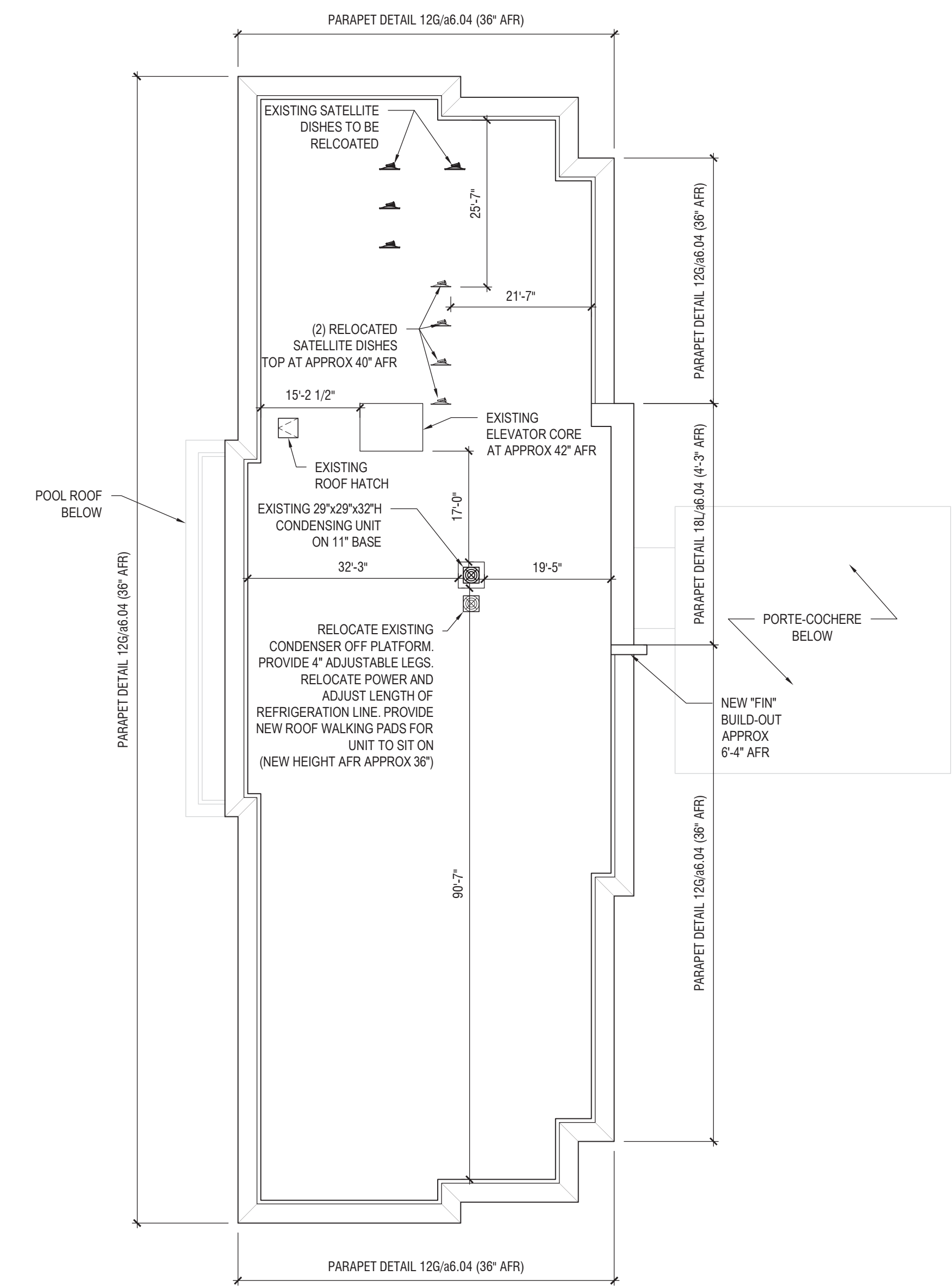
**LINE OF SITE STUDY**  
1" = 20'-0"



**OVERALL SITE PLAN**  
1" = 20'-0"



**LINE OF SITE STUDY**  
1" = 20'-0"



**OVERALL ROOF PLAN**  
1" = 20'-0"

**FRCH**  
a NELSON company  
311 Elm Street Suite 600  
Cincinnati, OH 45202  
www.FRCH.com  
513 241 3000



**Tracy, CA**  
**Inn Code: TRACY**

**Project Manager** 404.256.8800  
The John Hardy Group, Inc. ext 114#  
8085 Barfield Road, Suite 200  
Atlanta, GA 30328  
Nathan Hall, Senior Project Manager

**Architect** 513.241.3000  
FRCH | Architecture  
311 Elm Street, Suite 600  
Cincinnati, OH 45202-2706  
Craig Jacobs

**Interior Design** 513.241.3000  
FRCH | Design Worldwide  
311 Elm Street, Suite 600  
Cincinnati, OH 45202-2706  
Kyler Burroughs

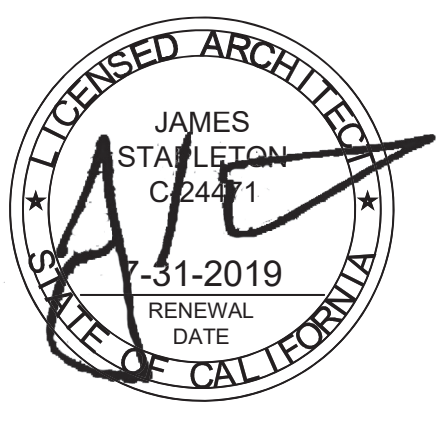
**ISSUED INFORMATION**

ISSUED: **30 August 2019**

REVISIONS:

REVISION	DATE
REVISION 06 UPDATES	09/06/19

FRCH ARCHITECTURE, INC. P.C.



**PROJECT INFORMATION**

**Hampton Inn Exterior Renovation**

Hampton Inn, Tracy CA  
2400 Naglee Road  
Tracy, California 95304

AMBRIIDGE PROJECT NUMBER:  
574118

FRCH PROJECT NUMBER:  
35000.000

**SHEET INFORMATION**

**Site Plan,  
Roof Plan,  
Site Line Study**

**DRAWN BY:** T. Wilhelm  
**REVIEWED BY:** T. Wilhelm  
**SCALE:** As Noted  
**AUTHORIZED FOR:** PERMITTING

**a6.06**